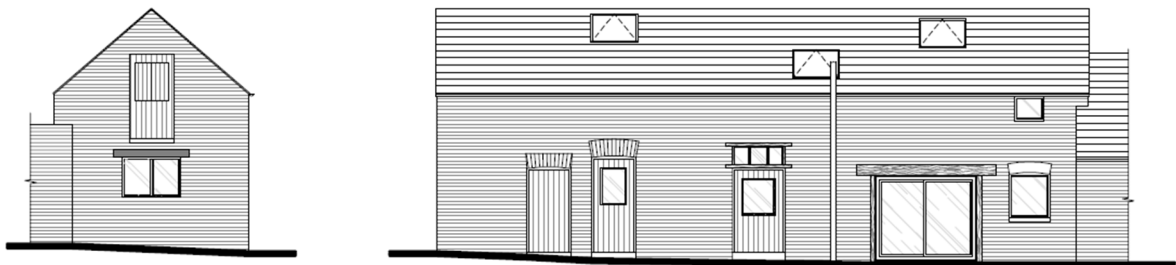


Heritage Impact Assessment

for the Conversion and Renovation of old barn building of Limes Farmhouse
at 15 Main Street, Kilby, Leicestershire, LE18 3TD



MD/21/100

Mr Martin Dorman

1.0 Introduction

- 1.1 As part of a planning application for the conversion of the old barn building at Limes Farmhouse, 15 Main Street, Kilby, Leicestershire to form a new annexed residential dwelling the council planning department has requested a heritage impact assessment.
- 1.2 The assessment will consider the potential impact of the new dwellings upon the old barn stores which are part of a heritage asset Grade II listing, entry number 1074736.
- 1.3 The application site is located to the western end of the village of Kilby. Further listed heritage assets are located within the village up and down Main Street.
- 1.4 The advice set out in Historic England, Historic Environment Good Practice Advice Planning Note 3 (second edition) the setting of heritage assets provides the basis by which the document has been produced. The guidance sets out a five-step assessment protocol to identify the heritage assets the contribution and significance to the local setting and the effects of the proposal on the setting whilst exploring ways to maximise enhancement minimising or avoiding any harm.

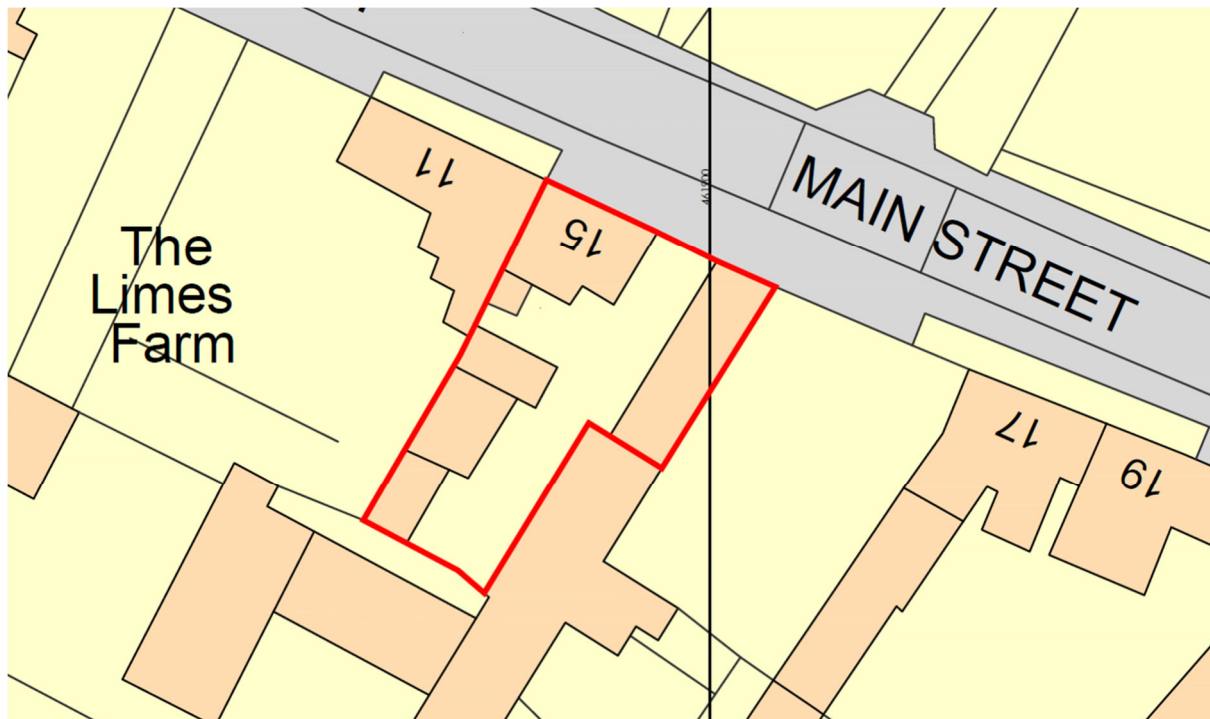


Figure 1 - Location Plan

- 1.5 This heritage assessment seeks to provide information required to fully inform Blaby District Council and their advisors with respect to any visual impact the proposal may have on the heritage asset affected by this application.
- 1.6 The assessment will be proportional to the scale and content of the proposal providing 'no more than is necessary' to assess the potential impact.

2.0 Physical Consent – Location (Step 1)

2.1 As previously set out in this short statement the redevelopment site lies on the western end of the village of Kilby, along the main road running through the village, Main Street.

The village location is close to Wistow and its surrounding attractive undulating landscape.

2.2 The Grade II listed building was first listed in October 1986 as part of the former Limes Farmhouse outbuildings, barn and stores.



Figure 2 – Kilby Historic England Listed Buildings

2.3 Limes Farmhouse falls to the south of the main road passing through Kilby village, opposite the school, which is itself a 1875 Grade II Listed Building (listing 1307566).

2.4 Due to the nature of the land where the site is located, to the south of the main road, all the existing houses are very prominent. Many of the older farm buildings along Main Street have been redeveloped to one degree or another to form sympathetic dwellings.

3.0 Step 2 – Assessing the Contribution that the Setting Makes to the Significance of the Asset

3.1 As previously mentioned in the earlier part of the statement the existing building sits along Main Street, with its gable end against the public highway, with the main elevation fronting the courtyard to 15 Main Street, Kilby.

3.2 The application site sits to the western end of Kilby, as part of 9 Grade II Listed Buildings within Kilby village.

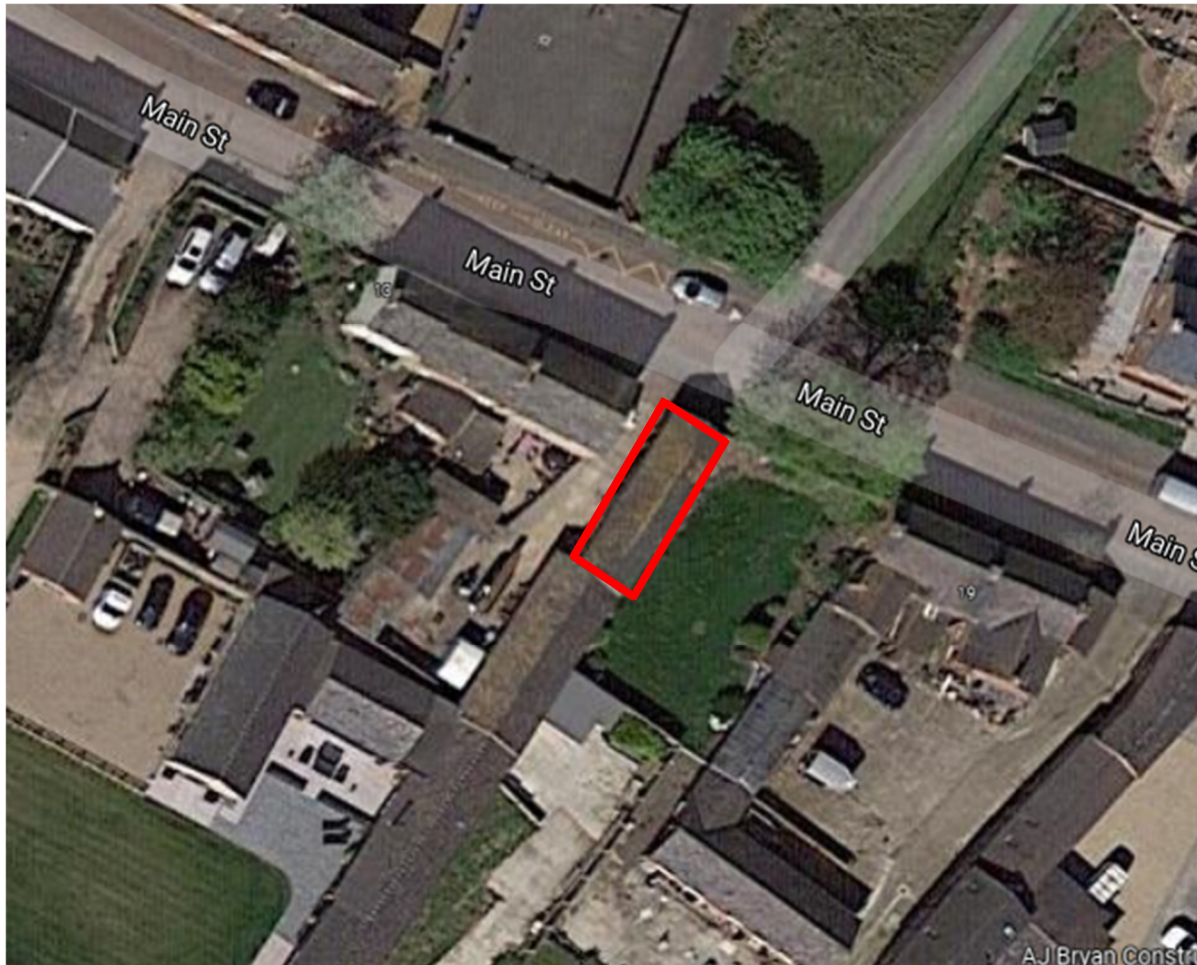


Figure 3 - Aerial Image of the Site

- 3.3 No demolition work is planned, with only restoration and sympathetic detailing required to turn an old run-down building, currently used as a storage barn, into a residential dwelling, for occupation by the son of the applicant [owners of 15 Main Street].
- 3.4 The checklist provided within step 2 of the staged approach, to proportionate decision making, has been considered and clearly the proposal would have no significant detrimental impact on the listed asset.
- 3.5 The new dwelling, with its design and location make a minimal visual impact on the setting and the designs proposed for the new dwelling should be considered an improvement on the current built form and condition.
- 3.6 The heritage asset (the second component of the checklist step 2) would not be adversely affected in terms of any of the factors in checklist 2 Historic England advice note 3 (GPA).

4.0 Step 3 Requires an Assessment to be made of the effects of the Proposed Development, whether beneficial or harmful

- 4.1 As indicated above, the proposal is for the restoration and redevelopment of an old farm building to form a new residential dwelling, with the property occupying the same site location and external footprint.
- 4.2 The county council feel that as a heritage asset it could be affected by this redevelopment.
- 4.3 However, with no demolition works planned or proposed, the potential conversion to a residential dwelling would only enhance the Historic England asset.
- 4.4 The redevelopment of the existing site at 15 Main Street would not detract from the view of the street scene.
- 4.5 The submitted design, detailing and the choice of materials is in keeping with the local vernacular and is sympathetic to the overall aesthetic of the village and respects the heritage of the surrounding built form.
- 4.6 Clearly the redevelopment would have minimal affect on the existing styling by way of conversion to residential standards.
- 4.7 It should be considered, with the enhanced design and improved structure of the proposal, that the scheme would be welcomed as an improvement and as being beneficial to the setting and the heritage asset.

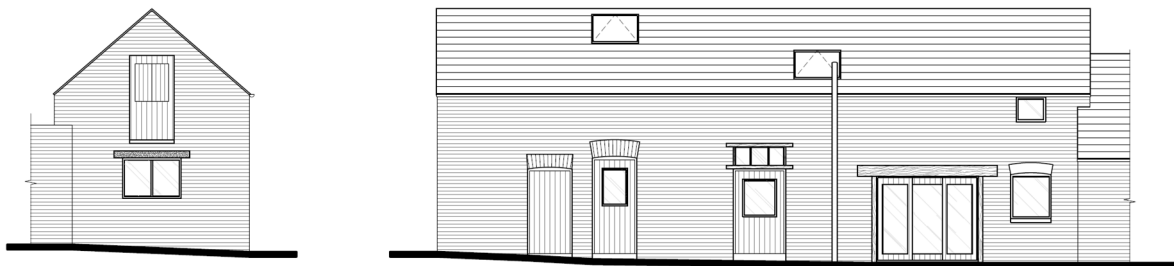


Figure 4 - Proposed Street and Principal Elevations

5.0 Step 4 Of the Practice Advice – Maximising enhancement and minimising harm

- 5.1 The redevelopment has been designed to be sympathetic to the surrounding built form within the village whilst minimising any potential harm that may arise from the scheme.
- 5.2 Existing features, such as the structural bracing bars and door/window opening brick arch detailing, will be retained as part of the conversion, with essential new features, such as doors and windows, designed with a sympathetic nod to the building setting and the local vernacular.
- 5.3 The submitted scheme includes the use of a local palette of good materials and the inclusion of vernacular design features in keeping with the village as a whole, as advocated in paragraph 28 of the GPA note 3.

6.0 Step 5 – Making and Documenting The Decision And Monitoring Outcomes

- 6.1 This short statement provides the documentation of the setting of the heritage asset and the anticipated affect of the proposed redevelopment of the existing old barn store at 15 Main Street, Kilby.
- 6.2 In conclusion the proposal would not adversely affect the setting of the heritage asset or dimmish its significance.

7.0 Conclusion

- 7.1 The proposed redevelopment of the site fully accords with the requirements of the current local plan and the emerging plan.
- 7.2 The redevelopment is within the defined limits of the development to convert to a residential dwelling.
- 7.3 The design and choice of materials for the dwelling meets the requirements to preserve or enhance the setting of the heritage asset with no harm resulting. The scheme respects the setting and importance of the heritage asset.
- 7.4 The scheme will ensure the preservation of the listed building, as set out in the good practical advice planning note 3 protocols published by Historic England.
- 7.5 The proposal accords with all relevant national and local planning policies, and it is hoped full planning consent can be grated.

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