



**WILKINSON**  
PLANNING

## Planning Statement

### SITE

Barley Lodge, Bower Farm, Thurleston Lane,  
Akenham, Suffolk, IP1 6TQ

### PROPOSAL FOR

Change of use of agricultural building and land within its curtilage (including reasonably necessary operational development) to 3 no. dwellings under Part 3, Class Q of the Town and Country Planning (General Permitted Development) Order (2015) (as amended)

### PROPOSAL BY

M Frost

August 2022

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## 1.0 Introduction

- 1.1 This statement is prepared on behalf of Mr M Frost in respect of an application for; Change of use of agricultural building and land within its curtilage (including reasonably necessary operational development) to 3 no. dwellings under Part 3, Class Q of the Town and Country Planning (General Permitted Development) Order (2015) (as amended) at Barley Lodge, Bower Farm, Thurleston Lane, Akenham, Suffolk, IP1 6TQ
- 1.2 It will consider the planning legislation including the relevant material planning considerations engaged in the proposed development.
- 1.3 The extract below shows the location of the site relative to its surroundings and other nearby development:



**Figure 1.3.1** Aerial View

## 2.0 Site and Surrounding Area

- 2.1 The proposal site includes an existing redundant agricultural building, located to the west of Thurleston Lane located within the countryside outside of Akenham (Countryside Village). The site falls within a cluster of dwellings (Barley Lodge, Bower Farm, Bower House and Longacre)

accessed via private track from Thursleston Lane and just south east of the site accessed separately off of Thursleston Lane is Fairview Farm. To the north, west and south is a mixture of Grade 2 and Grade 3 agricultural land. There are two Public Rights of Way located east along Thursleston Lane, which are bridleways 5 and 6. The site is located approximately 1.4 miles north of Ipswich.

2.2 The site does not fall within any Conservation Area and the nearest listed building is located approximately 330 metres to the south west of the site (Grade II\* listed Church of St Mary). The site itself is comprised of an unlisted building. The site is not within any designated landscape area (for example Special Landscape Area or Area of Outstanding Natural Beauty). The site falls within the 13km Zone of Influence of the Stour and Orwell Estuaries Special Protection Area and Ramsar Site and is within Zone A for the purposes of contributions to the emerging Suffolk Recreational Avoidance and Mitigation Strategy. There are no trees on site or nearby which are protected by Tree Preservation Orders. The site sits within Flood Zone 1 (low fluvial flood risk) and is also at a low risk of pluvial flooding.

### 3.0 Proposal

3.1 The proposal is for; Change of use of agricultural building and land within its curtilage (including reasonably necessary operational development) to 2 no. dwellings under Schedule 2, Part 3, Class Q of the Town and Country Planning (General Permitted Development) Order (2015) (as amended). The proposed plans provide context:

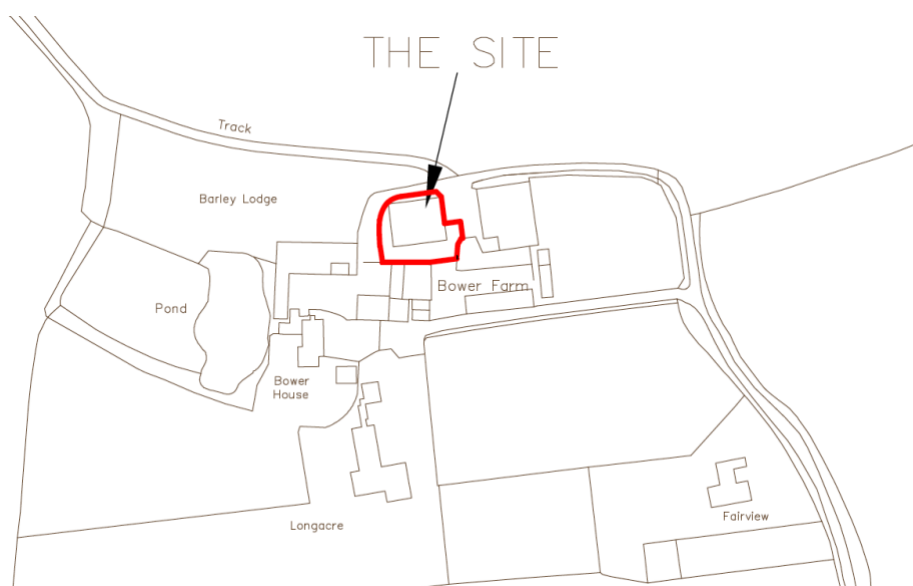


Figure 3.1.1 Site Location Plan

3.2 The application is supported by a suite of plans and documents including:

- Application Form
- Planning Drawings
- Planning Statement
- Land Contamination Report
- Ecology Report
- Structural Report

#### 4.0 Planning Law

4.1 The assessment of this application is considered through Schedule 2, Part 3, Class Q of the Town and Country Planning (General Permitted Development) Order (2015) (as amended). The LPA must determine whether prior approval is required when framed against Class Q. The LPA must firstly assess the application against the prescriptive criteria under Class Q, Q.1. Secondly, against specific aspects of the development as detailed under Q.2.

4.2 The NPPG clarifies how these specific aspects should be assessed in respect of policy. The NPPF should only be considered to the extent that it is relevant to the matter on which prior approval is sought.

#### 5.0 Planning History

5.1 Whilst there is no planning history specifically relating to the agricultural building proposed for conversion, there are a range of previous applications in and around the site within the cluster of dwellings. The granted permissions relate to a range of developments, from extending existing properties to converting redundant agricultural buildings into dwellings as listed below:

Application Reference: DC/17/04933

Site Address: Barley Lodge, Thursleston Lane, Akenham

Proposal: Erection of single storey extension

Application Reference: DC/17/04038



Site Address: Fairview, Bower Farm, Akenham

Proposal: Erection of single-storey timber building for use as a garden therapy room. Change of use from residential (domestic) to a mixed use of the site (domestic and day car facility)

Application Reference: 0348/08

Site Address: Fairview, Bower Farm, Akenham

Proposal: Change of use of land from agricultural to domestic curtilage and erection of cartlodge. Alteration of existing vehicular access

Application Reference: 1801/06

Site Address: Longacre, Bower Farm, Akenham

Proposal: Erection of single storey extension link

Application Reference: 1877/05

Site Address: Bower Farm, Akenham

Proposal: Proposed conversion of redundant barns complex into single dwelling together with associated drainage treatment system

Application Reference: 0066/04

Site Address: Longacre, Bower Farm, Akenham

Proposal: Extension to existing bungalow

Application Reference: 0609/02

Site Address: Longacre, Bower Farm, Akenham

Proposal: Retention of covered link and garage

Application Reference: 0989/01

Site Address: Fairview, Bower Farm, Akenham

Proposal: Removal of Condition 3 of planning permission W/8302 (agricultural occupancy condition)

- 5.2 Whilst none of the above applications strictly relate to the site itself, they nonetheless illustrate a precedent on site for the conversion of agricultural buildings into residential use.

There have also been several extensions to nearby properties which have inevitably diluted the agricultural character of the immediate locality.

## 6.0 Material Planning Considerations

### 6.1 Principle of Development

6.2 Schedule 2, Part 3, Class Q of the Town and Country Planning (General Permitted Development) Order (2015) (as amended) enables the use of agricultural buildings as dwellinghouses subject to a number of criteria. As of 6<sup>th</sup> April 2018, Class Q was amended, for which this proposal is assessed against.

6.3 The proposed development has been assessed against Class Q, summarised as follows:

- The site is solely in agricultural use and has not be used for any other use - **Compliant**
- The cumulative floor space of the building changing use under Class Q within an established agricultural unit does not exceed 465sqm2 - **Compliant**
- The cumulative number of separate dwellinghouses developed under Class Q within the established agricultural unit would not exceed 3 (or 5 smaller dwellinghouses) - **Compliant**
- The site is not occupied under an agricultural tenancy - **Compliant**
- No development under Class A(a) or Class B(a) of Part 6 of this Schedule (agricultural buildings and operations) has been carried out on the established agricultural unit - **Compliant**
- The development would not result in the external dimensions of the building extending beyond the external dimensions of the existing building at any given point - **Compliant**
- The development under Class Q (together with any previous development under Class Q) would result in a building or buildings having more than 450 square metres of floor space having a use falling within Class C3 (dwellinghouses) of the Schedule to the Use Classes Order - **Compliant**
- The development under Class Q (together with any previous development under Class Q) would not result in a building or buildings having more than 465 square metres of floor space having a use falling within Class C3 (dwellinghouses) of the Schedule to the Use Classes Order - **Compliant**

- The development under Class Q(b) would not consist of building operations other than:
  - the installation or replacement of:
    - (aa) windows, doors, roofs, or exterior walls, or - **Compliant**
    - (bb) water, drainage, electricity, gas or other services, to the extent reasonably necessary for the building to function as a dwellinghouse; and - **Compliant**
  - partial demolition to the extent reasonably necessary to carry out building operations allowed by Q.1(i)(i); - **Compliant**
- The site is not on article 2(3) land
- The site is not, nor does it form part of:
  - a site of special scientific interest - **Compliant**
  - a safety hazard area - **Compliant**
  - a military explosives storage area - **Compliant**
- The site is not, nor does it contain, a scheduled monument - **Compliant**
- The building is not a listed building - **Compliant**

6.4 Accordingly, the development meets the Class Q criteria tests.

6.5 Q.2(1) of the Schedule 2, Part 3, Class Q of the Town and Country Planning (General Permitted Development) Order (2015) (as amended) confirms that the LPA's consideration of the Class Q(a) Prior Notification procedure is limited to:

- Transport and highways impacts of the development
- Noise impacts of the development
- Contamination risks on the site
- Flooding risks on the site
- Whether the location or siting of the buildings makes it otherwise impractical or undesirable for the buildings to change from an agricultural use to a use falling within Class C3 (dwellinghouses) of the Schedule to the Use Classes order; and
- The design or external appearance of the buildings.

6.6 The application hereby submitted relates expressly to Class Q(a) only. The Order is clear that:



*“(2) development is permitted subject to the condition that before beginning the development, the developer must apply to the local planning authority for a determination as to whether the prior approval of the authority will be required as to the items referred to in sub-paragraphs (1)(a) to (e) and the provisions of paragraph W (prior approval) of this Part apply in relation to that application”.*

6.7 As directed, the applicant is only required to consider matters a) – e) of Class Q as set out in paragraph 6.5 above, which this statement will now go on to discuss.

#### 6.8 Transport and Highways

6.9 The site is accessed via a long established agricultural entrance. The vehicular capabilities of the site, surrounding area and highways efficiency are unquestionably sound, as the proposal would utilise an existing highways arrangement which has capacity. The capacity of the site itself, and the spatial set out of the existing access in enabling agricultural vehicles to access unimpeded, lends good potential to the proposal. The land surrounding the defined red line outline is owned by the applicant, and would remain in the applicant’s control.

6.10 The transport and highways impacts are summarised as follows:

- Site can accommodate the vehicular amount proposed
- Site can facilitate LHA compliant access
- Parking to LHA standards

6.11 The proposal accords with this part of Class Q.

#### 6.12 Noise Impact

6.13 The nature of the proposed end use is entirely suited the area. Residential dwellings are located close by, and the introduction of 3 no. residential uses would harmonise with the area. There are no intense arable or livestock uses which would diminish the domestic enjoyment experienced by future owner / occupiers of the proposed end use, such that the development would be exposed to unacceptable noise potentials. Additionally, the proposed

end use would cause limited harm to adjacent domestic residences. The site is secluded and would not present adverse noise potential of any form.

6.14 The proposal accords with this part of Class Q.

6.15 Land Contamination

6.16 There is no known land contamination issue, with an extremely low contamination potential. The site is not considered to present risk to future owner / occupier through land contamination. The site is not subject to any potential, when assessed against LPA spatial data either. Nonetheless, the proposal is supported by a Land Contamination Report.

6.17 The proposal accords with this part of Class Q.

6.18 Flood Risk

6.19 The site is not located in a vulnerable flood zone area, therefore the risks of flooding are considered to be low. Given that the application is considered 'minor', on site attenuation and surface water management / disposal is nonetheless provided, ensuring that the sites 'sealed surfaces' are properly managed. The applicant is fully aware of their obligation to comply with Part H (Drainage and Disposal) of the Building Regulations 2010.

6.20 The site does not give rise to adverse flood risk potential to future owner / occupiers and as such is acceptable in this regard.

6.21 The proposal accords with this part of Class Q.

6.22 Sustainable Location of the Building

6.23 The test of sustainability is not engaged, as per the Planning Practice Guidance (PPG) issued by the Government on 5th March 2015. The LPA can only consider whether the building would be impractical or undesirable to change to the proposed end use. In this instance, the building is amongst other residential dwellings, and would be entirely suitable to the cluster. There is nothing about the location of the site which would make the proposed end use



impractical or undesirable. As discussed above, the site presents no harm in respect of highways, noise, land contamination or flood risk. Future owner / occupiers would not therefore be subject to any adverse impact, and is entirely appropriate in its own right and in light of adjacent land uses.

6.24 The proposal accords with this part of Class Q.

6.25 Design or External Appearance of the Development

6.26 The building would require marginal alteration to facilitate the proposed end use. The building would remain largely unaltered in terms of form, and is capable of conversion whilst retaining the established extent. The relationship between the building and the layout of the site within the wider area is acceptable also, and would not result in a scheme which would spill into open countryside. The proposal would sit comfortably within the established site.

6.27 The proposal accords with this part of Class Q.

## 7.0 Other Matters

7.1 Ecology

7.2 Whilst ecology is not an express matter for consideration under Class Q, the applicant acknowledges the duty imposed upon the LPA to assess the potential for protected species and habitats. In this instance, the building presents no visible signs of bat or barn owl presence, as underpinned by the accompanying Ecology Report.

7.3 Therefore, there is no reason to suggest the scheme should be refused on ecology grounds, and the change of use of the building can take place without contravening the Habitat Regulations 2017.

7.4 Structural

7.5 As presented in the accompanying structural report, the building presents no structural integrity concerns. The conversion of the building is achievable without wholesale structural

works. The proposed end use could be facilitated through conversion, and would not result in 'fresh build' or new build. The building is of solid form with robust foundations.

7.6 Therefore, there is no reason to suggest the scheme should be refused upon structural concerns.

## 8.0 Planning Balance

8.1 The proposal seeks prior approval for; Change of use of agricultural building and land within its curtilage (including reasonably necessary operational development) to 3 no. dwellings under Part 3, Class Q of the Town and Country Planning (General Permitted Development) Order (2015) (as amended).

8.2 The proposal complies with Schedule 2, Part 3, Class Q in full, as underpinned by accompanying reports. The scheme is a wholly deliverable prospect, making effective use of space without undue harms. The proposal has been assessed against the test criteria of the Order, presenting no issues in respect of; transport and highways, noise, contamination, flooding risk, location, or design and appearance.

8.3 The structural integrity of the building is sound, and there is nothing to suggest the building isn't capable of conversion structurally. The proposal accords with all test criteria elements of Class Q(a).

8.4 In light of this, and taking account of all the considerations set out above, it is hoped that the LPA will support and confirm this position accordingly.