

**General Notes**

All dimensions to be checked on site. All details and dimensions relating the sub-contractors or suppliers work must be checked and agreed between the subcontractors or supplier and the general contractor.

Works to comply with current Codes of Practice, British Standards and Building Regulations.

Contractor to establish with the local authority their requirements for inspecting the works, and adhere to these, from the outset.

Contractor to provide all necessary vertical and lateral restraint strapping in order to comply with The Building Regulations.

Existing Structure - Existing walling and foundations to be exposed and confirmed as adequate prior to works taking place. Structural Engineer to be consulted if any differences are found prior to works taking place

Temporary Stability - Contractor to provide all necessary temporary propping to safely undertake the works.

Masonry Strength - Contractor to confirm strength of existing brick/blockwork and mortar class is in accordance with assumptions prior to commencing or ordering materials. Refer to Structural Engineer if found to be different for revised pier/padstone calculations.

Proprietary items to be used in accordance with manufacturer's instructions.

All dimensions, levels, insulations, DPM, waterproofing and setting out of structures by contractor.

All works to Building Inspector approval.

**Designer Risk Assessment**

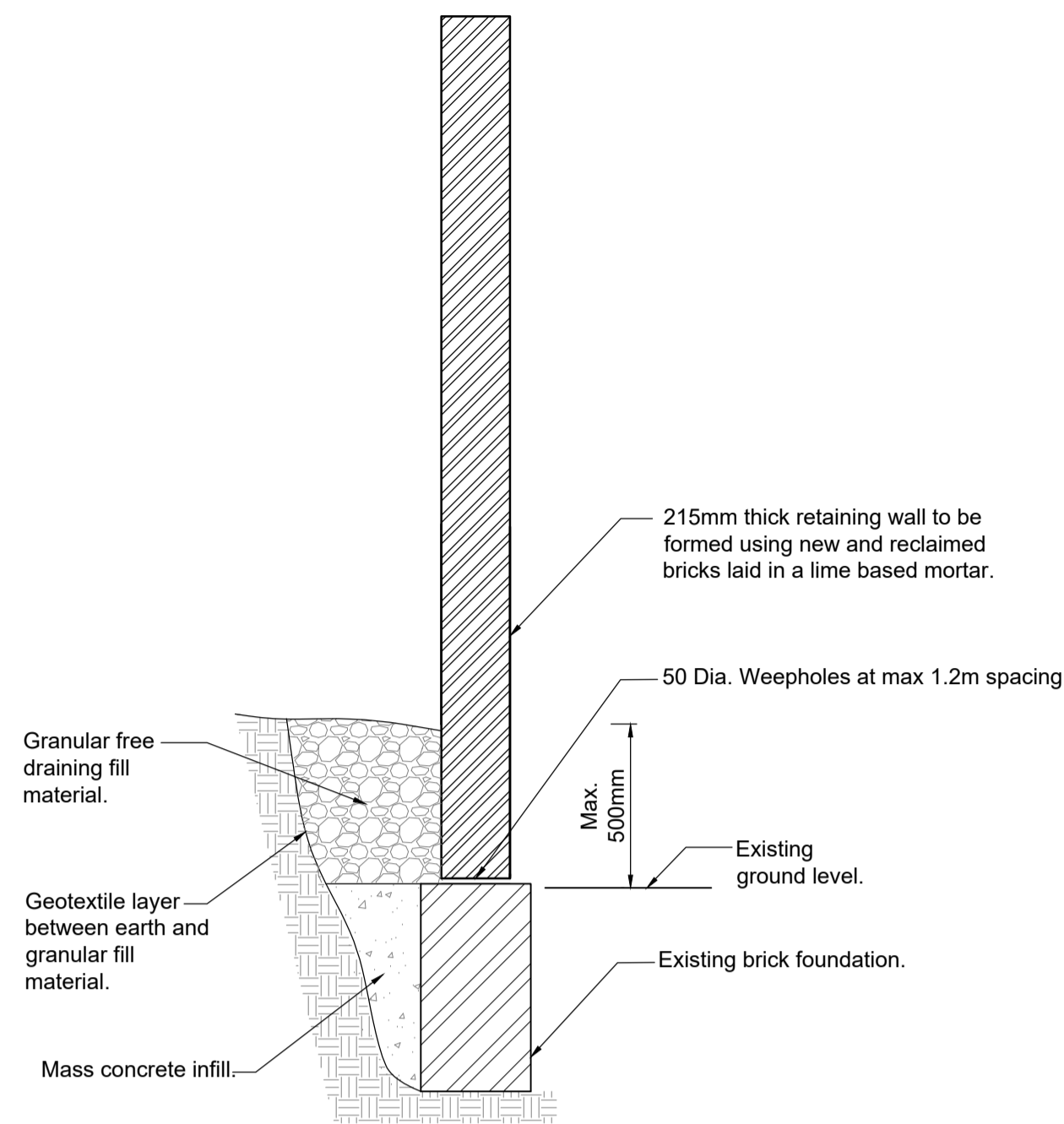
The contractor is to provide all necessary temporary propping & temporary works to safely undertake the work and maintain structural stability. The contractor is to be aware that the property may be occupied during construction and temporary works loading to consider this.

The assumptions made within the calculations and drawings should be confirmed on site, prior to commencement of works. Any differences should be discussed with Structural Engineer, in order to check calculations.

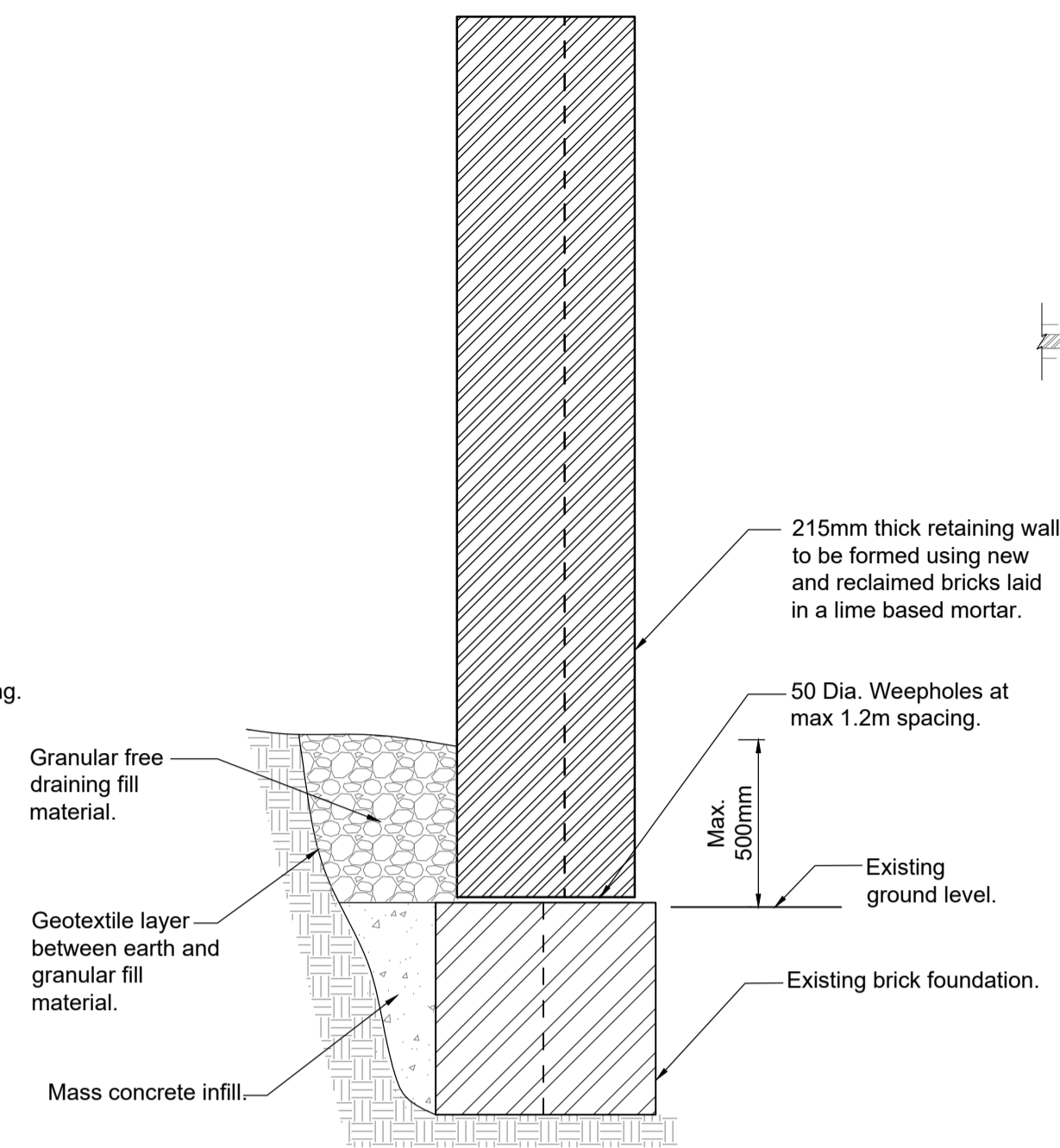
Contractor to take all measures to control noise and dust.

All appropriate scaffold and edge protection should be put in place to ensure safety while working from height.

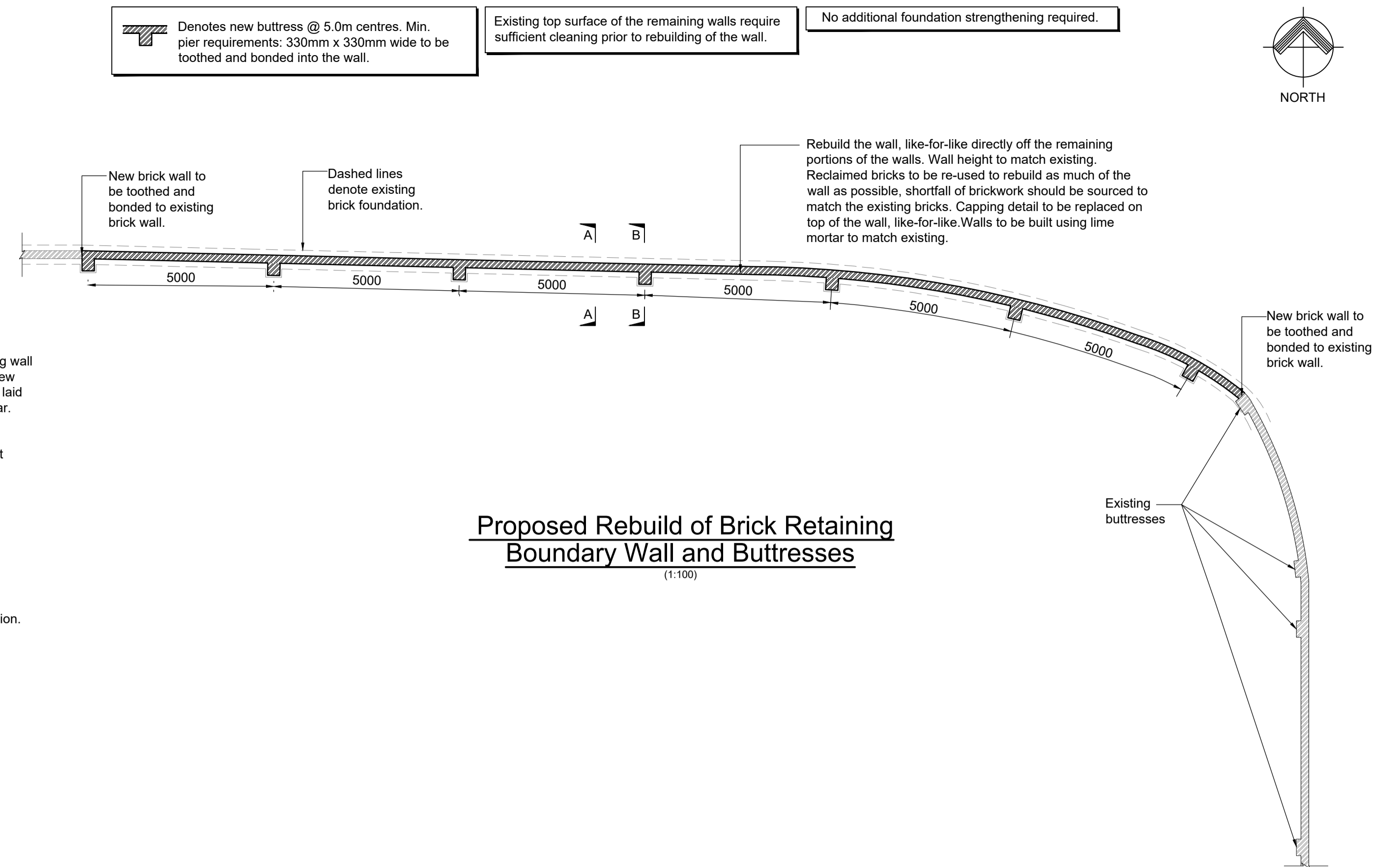
The BCO and contractor are to investigate the adequacy of the existing foundations prior to ordering materials.



**Typical Section through Rebuilt Retaining Wall (Section A-A).**  
(1:20)



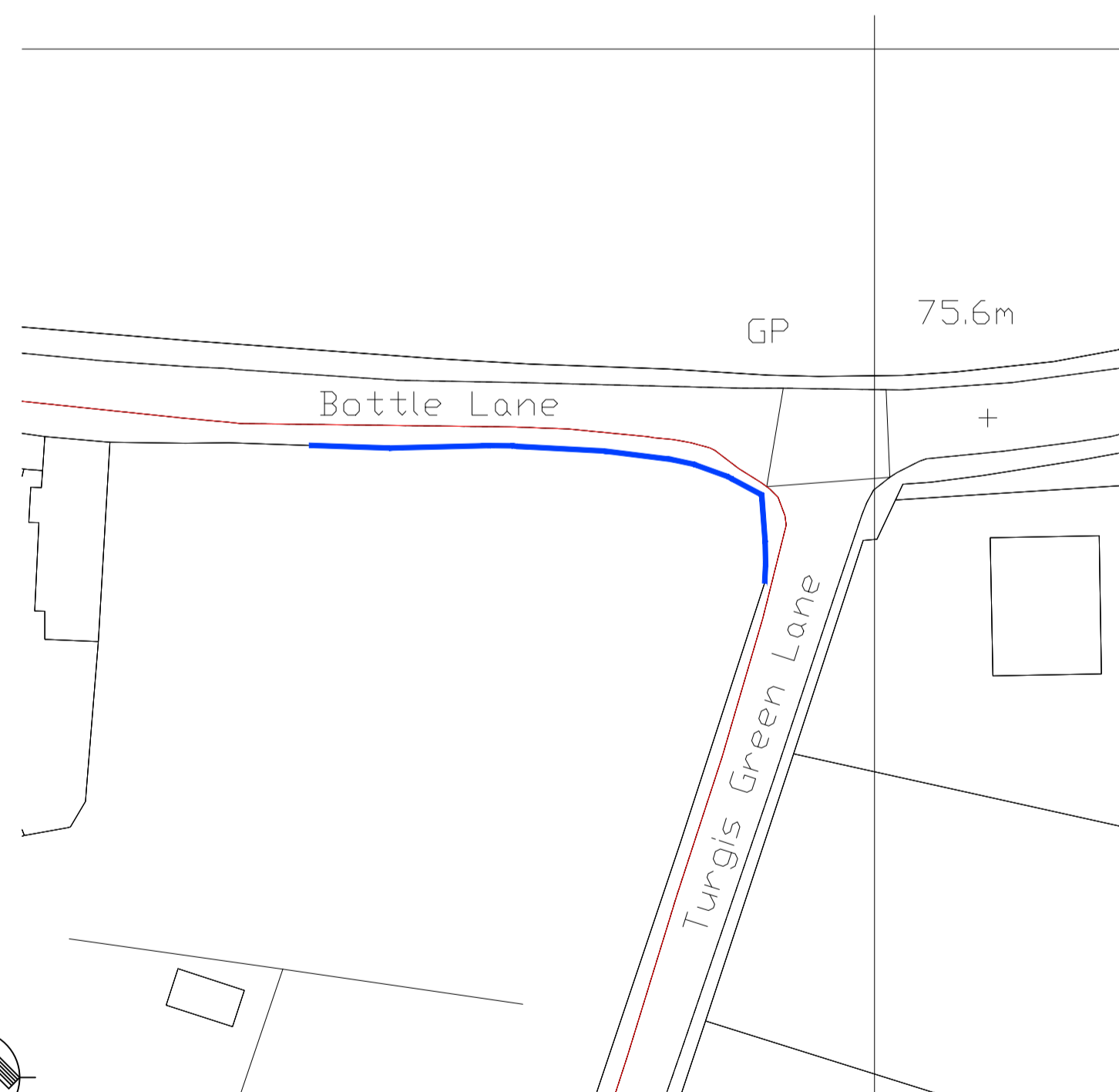
**Typical Section through Rebuilt Retaining Wall Buttress (Section B-B).**  
(1:20)



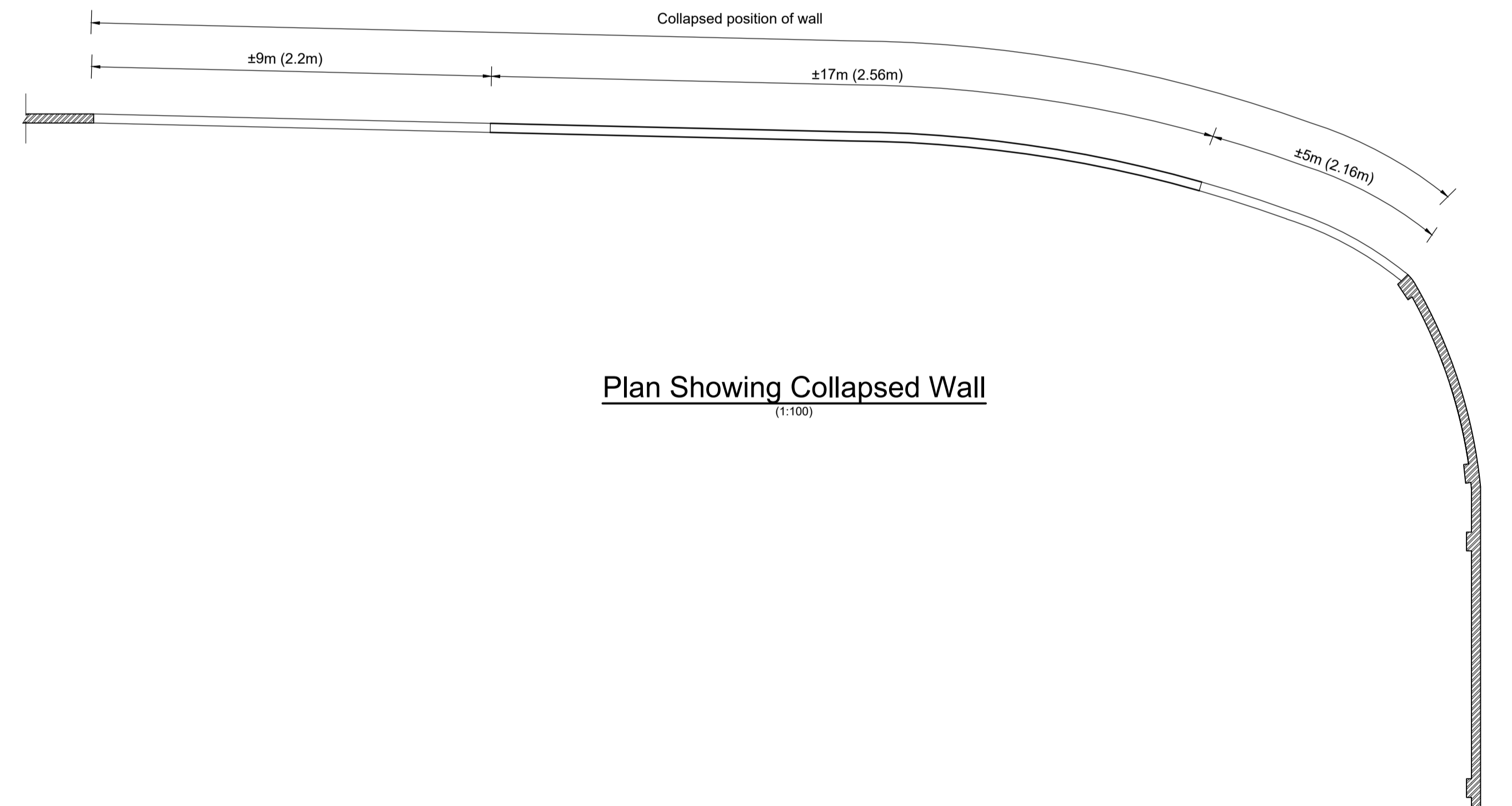
**Proposed Rebuild of Brick Retaining Boundary Wall and Buttresses**  
(1:100)



**Location Plan**  
(1:1250)

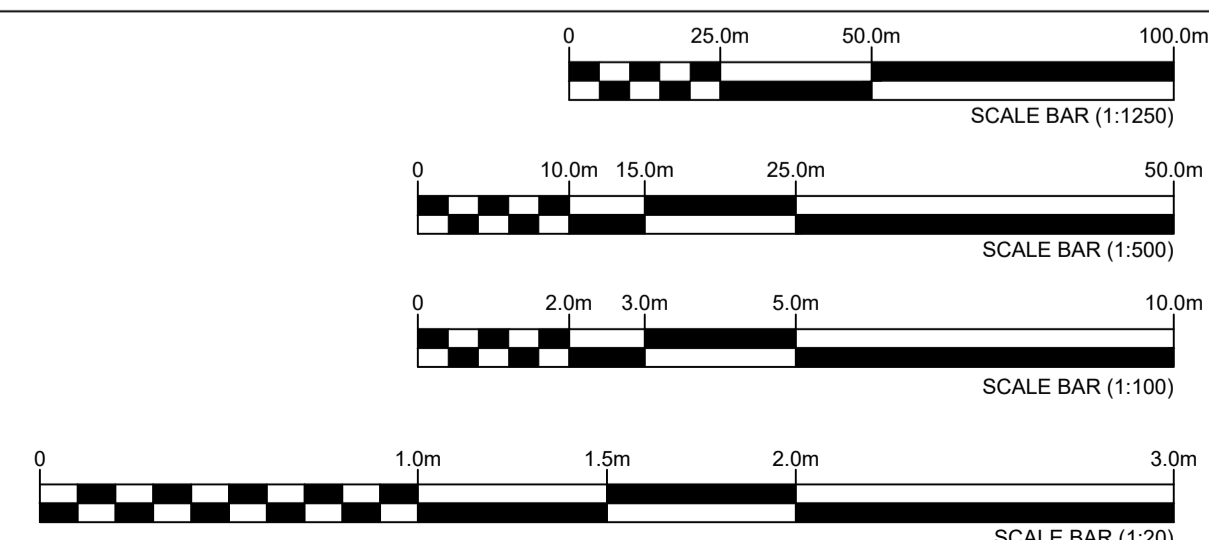


**Site Plan**  
(1:500)



**Plan Showing Collapsed Wall**  
(1:100)

**IT IS CONTRACTOR'S RESPONSIBILITY TO EXPOSE ALL REQUIRED LOCATIONS PRIOR TO ORDERING STEELS TO CONFIRM ASSUMPTIONS. REFER BACK TO PGA IF FOUND DIFFERENT. IF IN DOUBT, ASK.**



Revision:	Date:	Description:
A	27.09.22	Additional Information Added
B	28.09.22	Site & Location Plans Amended

**PHILIP GOACHER ASSOCIATES**  
Consulting Civil and Structural Engineers  
Park House • 122A Newland Road • Worthing • West Sussex • BN11 1LB  
TEL: 01903 217723 • EMAIL: mail@pgoacher.co.uk  
www.pgoacher.co.uk

Scale(s):	Date:
As Shown	SEP'22
Engineer:	Checked:
AA	DG

**Azur c/o McLarens Private Clients**  
Hartley House, Hartley, Wespall  
PROPOSED ALTERATIONS

Project No: 22136  
Drawing No: 001  
Revision: B