



GRANGE FARM

2020-040: G05 | DESIGN, ACCESS & HERITAGE STATEMENT

REV A

DETAIL ARCHITECTS

Detail Architects are a Leeds & London based architecture and design studio dedicated to creating projects with a positive impact on users, the environment and the surrounding community.

We work on projects of all scales; from individually crafted buildings to strategic master plans.

We adopt a collaborative and explorative approach which explores careful analysis of context, informing architecture that is sensitive and appropriate to its place.

For every scale of project, we always seek to deliver broader social and environmental benefits through our design — working with our clients to make their projects do more. We are interested in the raw materials of architecture: the use and control of light; the creation of forms that delight and inspire; and the clever use of building materials.

1.0 INTRODUCTION

This document has been prepared to support an application on behalf of Mr and Mrs Ward relating to a proposed extension and refurbishment of the existing Farm House at Grange Farm, York (B1).

This document aims to communicate the design process that has been undertaken to ensure the highest quality of design has been achieved and to illustrate the manner in which the proposal integrates with its surroundings.

The farmstead currently comprises the following:

- B1 - Dwelling/Farm House
- B2a - Office
- B2b - Ancillary Building
- B3 - Barn
- B4 - Ancillary Building
- B5 - Barn
- B6 - Potting Shed



Google earth view

2.0 WIDER CONTEXT

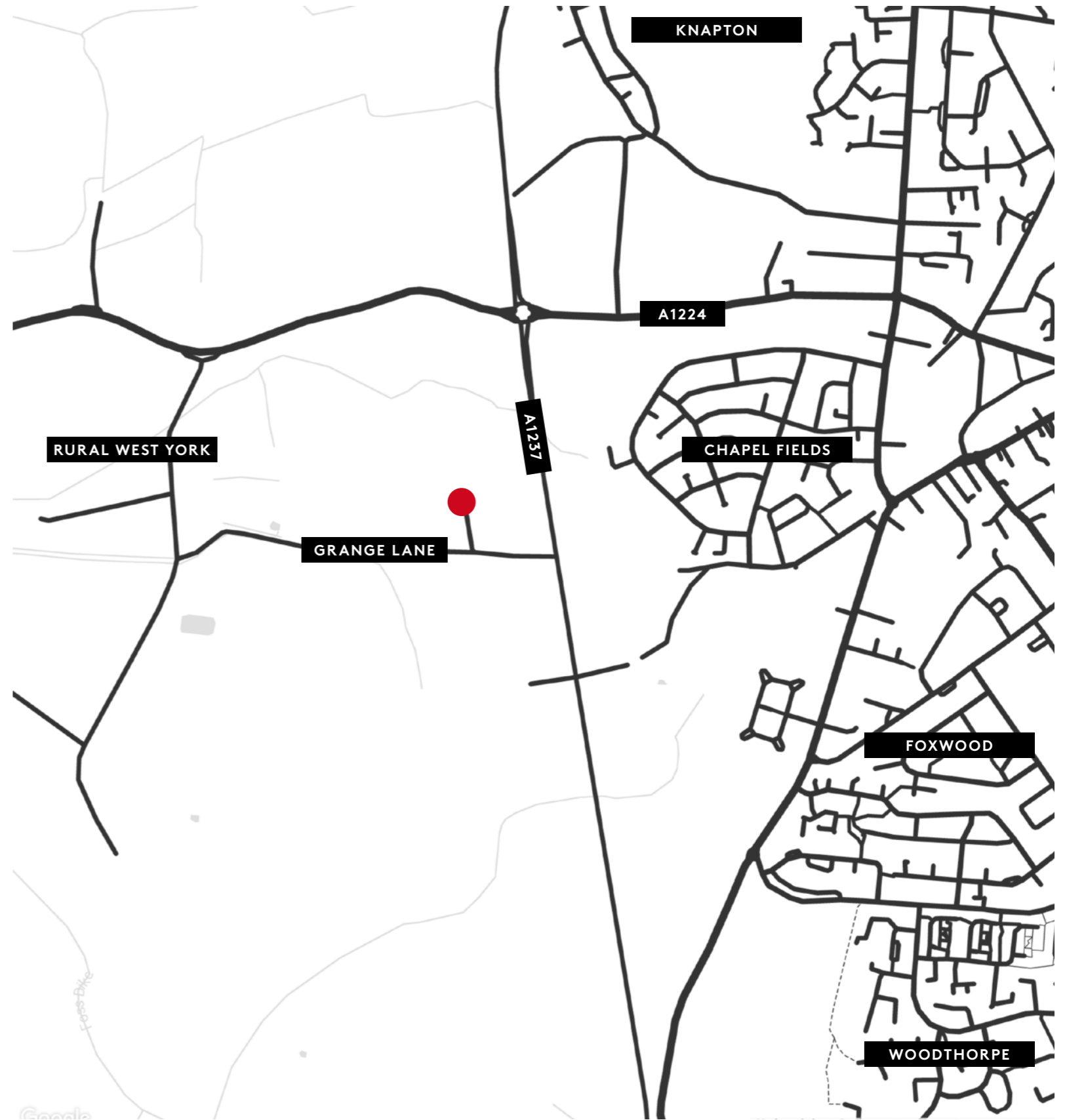
2.1 SITE LOCATION

Grange Farm is an idyllic site located to the west of York in North Yorkshire, approximately 3 miles from the York City Centre, located within the Knapton Parish.

The site is located off Grange Lane, off the A1237: a key road that runs to the west and north of York. It forms part of the York Outer Ring Road as either end of the route forms junctions with the A64 to the south-west and east of the city to act as a city distributor.

The site is located within Rural West York - one of the outer wards of the unitary authority of City of York. Situated to the west of the city the ward includes the villages of Askham Bryan, Askham Richard, Hessay, Knapton, Nether Poppleton, Rufforth, Skelton and Upper Poppleton.

The nearest local town to the site is Knapton, located approximately 1 mile to the North of the site.



2.2 SITE HISTORY

Grange Farm was built in 1796 and has a fold yard to the rear with a Barn and Granary. Access is via a private drive from the highway (Grange Lane)

The site is no longer a working farm with the Farm House being a private residence for many years.

The proposals seek to extend the existing farm house which will see the internal layout rationalised; providing natural light, flexible living spaces to serve modern living.



View from Grange Lane looking towards the farmhouse



The farmhouse on arrival

3.0 DESIGN

3.1 INVOLVEMENT

The design proposals have been generated from a physical analysis of the site, its context and the existing facilities, together with consultations with the Client.

3.2 PLANNING POLICY CONTEXT

The proposals put forward are compliant with National, Regional and Local Planning Policies and seek an appropriate type, amount and scale of development within this location.

Please refer to supporting Planning and Heritage Statement.

Key :

V1 - View 1 (Pg7)

V2 - View 2 (Pg7)

V3 - View 3 (Pg8)

V4 - View 4 (Pg8)

V5 - View 5 (Pg8)

V6 - View 6 (Pg8)



Google birds eye 3D view

3.0 DESIGN

3.3 SOCIAL + ECONOMIC CONTEXT

The proposals seek to extend and refurbish the existing farm house to create a more sizable home, which meets the requirements of modern family living.

The proposed high quality dwelling will fulfil the requirement of the local housing market in this area.

3.4 USE

The site is no longer an active farm as it once was. The current use of the farmhouse building is residential and this is maintained.



View 1 - looking towards the farm house



View 2 - looking towards the side gable of the farm house on approach from Grange Lane



View 3 - from the courtyard looking towards the farm house



View 4 - View looking towards the low quality lean to (barn 3d)



View 3 - looking towards the existing garages (B4)



View 6 - the former unused Agricultural Barn (B5)

3.5 SITE ANALYSIS : THE DWELLING

The principal farm house is the cornerstone around which the arrangement of agricultural structures has developed over time and was thought to have been constructed during the late 18th century.

The 1850 Ordnance Survey (OS) map (based on an 1846 to 1848 survey) shows the main farmhouse is shown with rear and side extensions including screen wall to the east. It is thought that the historic easterly extension (no longer visible today) may have been a garden building or barn range set forward of the retained screen wall.

Whilst the appearance of the other buildings/structures' are derived from their function, the dwelling combines both function and formal neo-classical design. It's appearance provides a record of the importance and social stature of the farmstead at the time of it's construction.

The building can be analyzed in two zones :

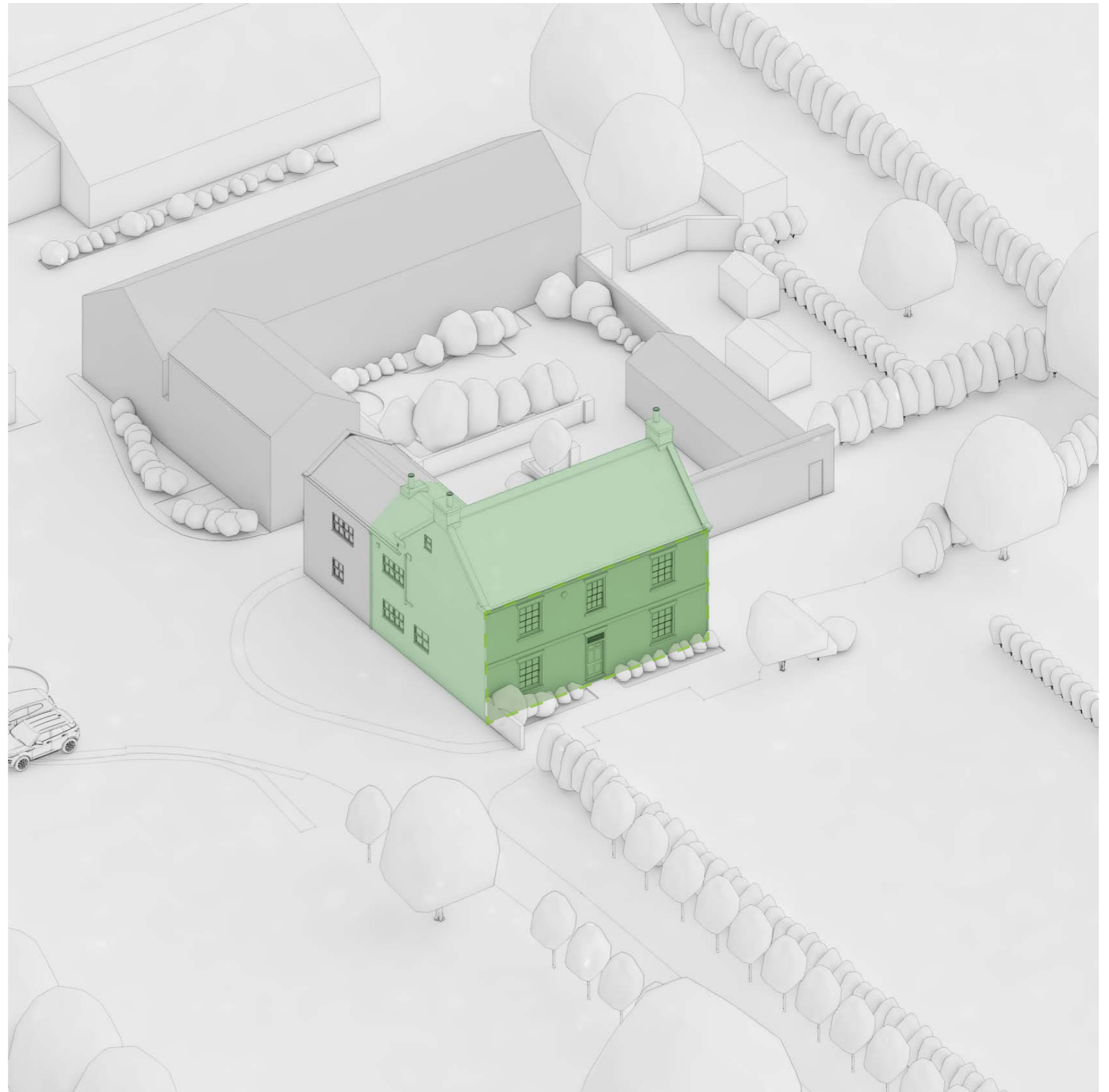
- 1) The front facade (highlighted in dark green)
- 2) The side and rear facade's

The front facade is the 'formal' entrance to the dwelling; regimented and symmetrical with beautiful Georgian fenestration and detailing. This entry point (used by 'formal' visitors) comprises a large door leading in to an entrance hallway with feature staircase.

Two formal reception rooms lead off from the entrance hall on either side and access to the kitchen & rear of the property is only possible through these rooms, thus creating separation between the front and the rear of the house.

The rear facade faces onto a yard, whilst a secondary 'informal' entrance provided access for farmers and workers - denoted by the simple and functional fenestration.

Please refer to the analysis of the existing plan and building facades found later in this document.



3.6 SITE ANALYSIS : COURTYARDS

The main farmstead has developed over its history around the fold yard (an enclosure for sheep or cattle) to the rear of the main dwelling highlighted in yellow.

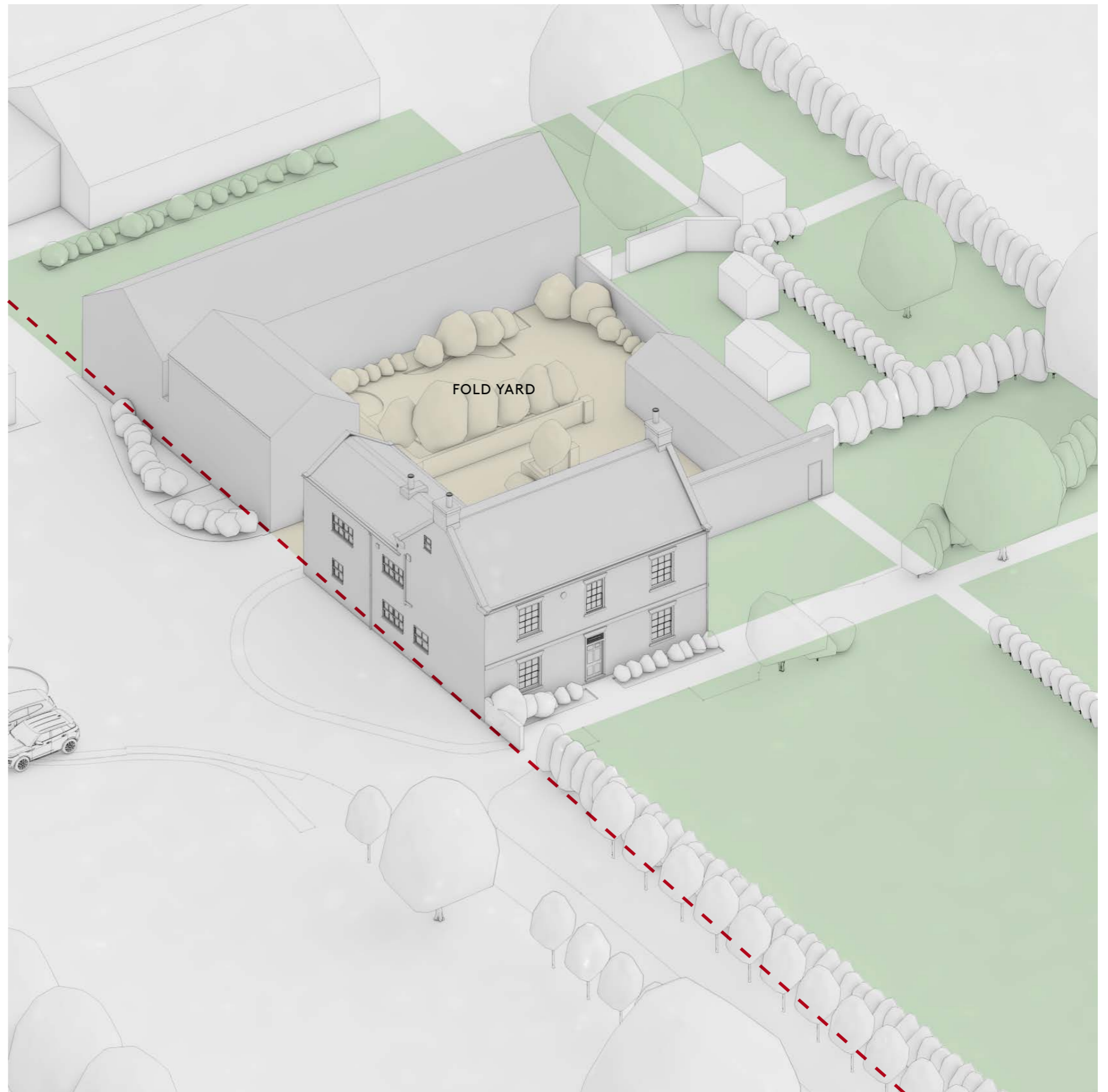
The 1895 OS map shows the surrounding barns in a slightly different formation - whilst the main farmhouse has side extensions that are no longer present, a larger barn range existed to the north along with a separate barn to the north west with orchard land enclosure to the rear.

The historic map also shows an enclosed area of garden land is shown to the east and south of the house and east of the barn range (please refer to supporting heritage Statment within Appendix A).

The farm complex developed further by 1895 with the historic map indicating that the barn range was extended to link with the east wing of the house to enclose the courtyard area. By 1910 the historic OS map suggests the covering of the central foldyard and the extension of the barn range to the north-west.

This historic evolution has created a strong narrative of buildings placed inside and outside of boundary walls. As can also be seen on the diagram opposite, this enclosed rectangular format has spread out throughout the landscape, continuing the theme of interlinked, semi enclosed spaces.

It's also very evident that this pattern of rectangular enclosed spaces is constrained to the right hand side of the fold yard, primarily due to the access routes to the left hand side, which is highted in red. This offset is a stark and awkward contrast to the ordered symmetry of the front facade of the main dwelling.



3.7 SITE ANALYSIS : HISTORIC ACCESS

The 1850 Ordnance Survey (OS) map (based on an 1846 to 1848 survey) marks the site as 'Rufforth Grange', with drive access taken from the south off Grange Lane with a second field track shown to the north.

As the farm has modernised over the years, it's evident that it's owners have made a series of amendments to adapt the dwelling to suit the demands of living/changing lifestyles;

- 1a) Access was required for more farming machinery and in order to access the buildings located towards the north of the site
- 1b) It was undesirable for this traffic to approach the front facade of the building and so a more direct route was established (marked in red)
- 2) The front of the building was maintained as a "formal" space as lawned gardens are introduced. (marked in green)
- 2a) Privacy is required from the main access route to create an enclosed and private space. A wall (marked in blue) and then a hedgerow (marked in purple) is placed on the western side of the front elevation
- 2b) A landscape buffer (marked in green) has been placed between the access route and the dwelling, pushing the access away from the west elevation windows (marked in grey). Vehicle parking is located to the west of this access.
- 3) The change in culture between staff and residents shifts and more entertaining is done within the farmhouse kitchen which becomes the heart of the home. The rear facade becomes the primary entrance due to its direct connection to the kitchen
- 3b) The front facade is rarely used except for access to the gardens, of which the route is convoluted.

The end result is ;

- A new primary entrance to the rear of the house that is hidden from the arrival point
- The formal front facade becomes a very special, private facade which sits awkwardly within its formal gardens due to the boundary treatments which surround it



3.8 SITE ANALYSIS : FACADES & USE

As discussed in the previous diagram, the arrival facades have become confused and disjointed due to the change in living styles and the historic development of the site.

The kitchen has become the heart of the house and the de-facto primary reception room for regular and 'informal' guests. The applicant is happy with this relationship as this allows the formal dining and living spaces to be used for special events.

The kitchen window (highlighted in blue) currently looks out onto the parking area and so allows the residents to spot the arrival of "informal" guests - this works well and the applicant wishes to retain this arrangement.

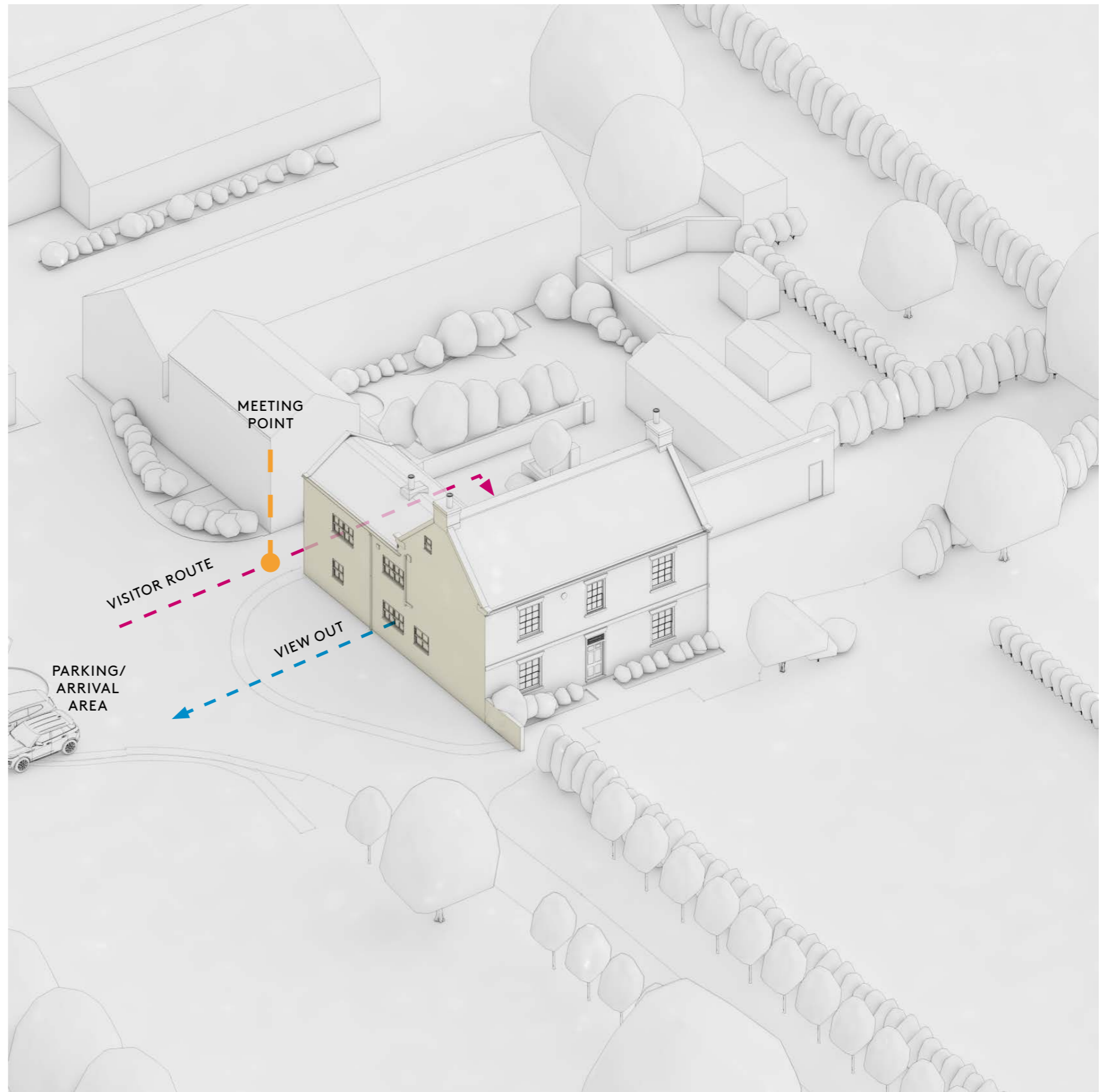
The issue then arises with the greeting of said guests, as the formal front entrance point provides access into the dwelling only via passing through the formal, private dining and reception room. As such, it's role as the primary entrance to the dwelling has been eroded through the change in social etiquette.

The rear access has evolved into the natural entry point, having easier access to the kitchen area however, its position proves difficult for visitors to locate from the parking /arrival area and often requires the residents to leave the dwelling in order to greet those arriving.

The proposed new intervention would retain the visual connection from the kitchen to the arrival point, whilst allowing direct and easy access into the west facade & family kitchen area.

This new access would allow :

- The main facade front door to be retained as a 'formal' entrance.
- The rear access to revert back to a 'workers' entrance, or mud room, for use by the residents only.



3.9 SITE ANALYSIS : FACADES & USE

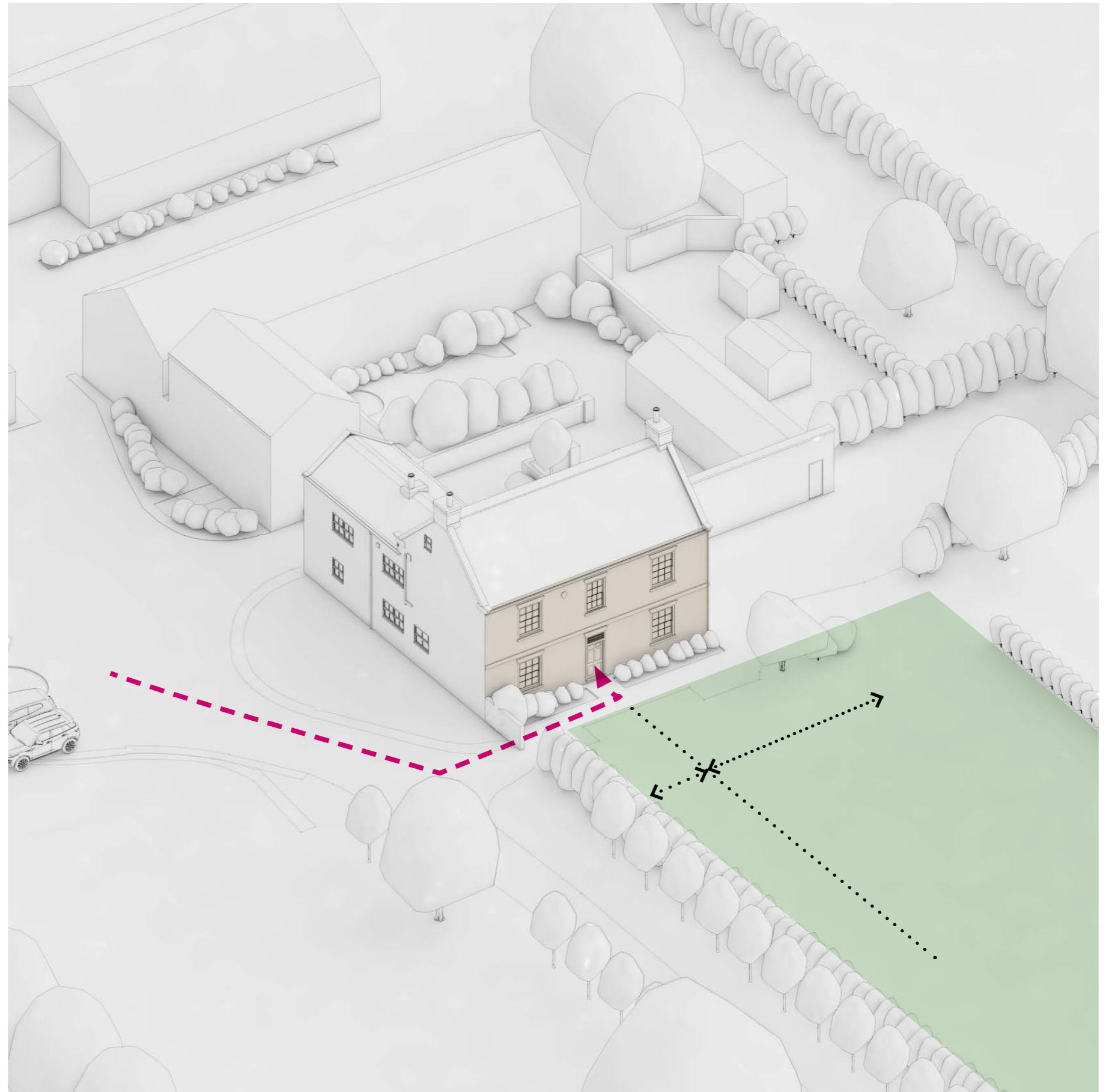
The front facade is the 'formal' face of the building and sits, tucked away, facing onto a dramatic lawn garden. Despite its setting, its near perfect symmetry and simple detailing result in it being the centerpiece of the gardens.

As previously discussed, the front entrance is currently used for formal events where guests are greeted within the hallway and brought through to the formal living area and subsequently, the dining room. The location of these rooms and their connection to the garden lawn is the perfect setting for a garden party during the Summer months.

However, access to the kitchen for catering is convoluted, forcing users to pass through the front door, hall and dining before entering into the kitchen.

The strong symmetry and rhythm of the existing front facade is weakened by its 'off centre' positioning within the formal lawn space as demonstrated in the diagram. The western end of the garden is bound by a hedge & garden wall providing no breathing space for the facade.

As such, providing additional space to the west side of the facade will be considered in order to balance and strengthen the overall elevation. Any new extensions should be subservient, lightweight in appearance and provide a symmetry that reinforces the existing Georgian architecture.



3.10 DESIGN DEVELOPMENT : GARDEN WALLS

The starting point for the design development was to look at creating a logical feature that relates to the context of the dwelling into which the extension could be formed.

The diagram shows how we can relocate the hedge line to achieve this, whilst retaining the existing trees in order to provide balance and symmetry to the front facade by increasing the width of the garden it faces onto.

To enclose this with a build form around the dwelling, we proposed to extend the garden walls that snake around the fold yard to the west. The proposed wall will sit at the junction between the original house and the historic extension ; thus reinforcing the time-line of amendments to the dwelling.

This building placement ensures the access route is diverted away from the dwelling, but does not amend the parking area by extending it into the countryside. The proposed new driveway would sit within the frontage of the existing garage & storage building to the north (this can be seen in plan later in the document).



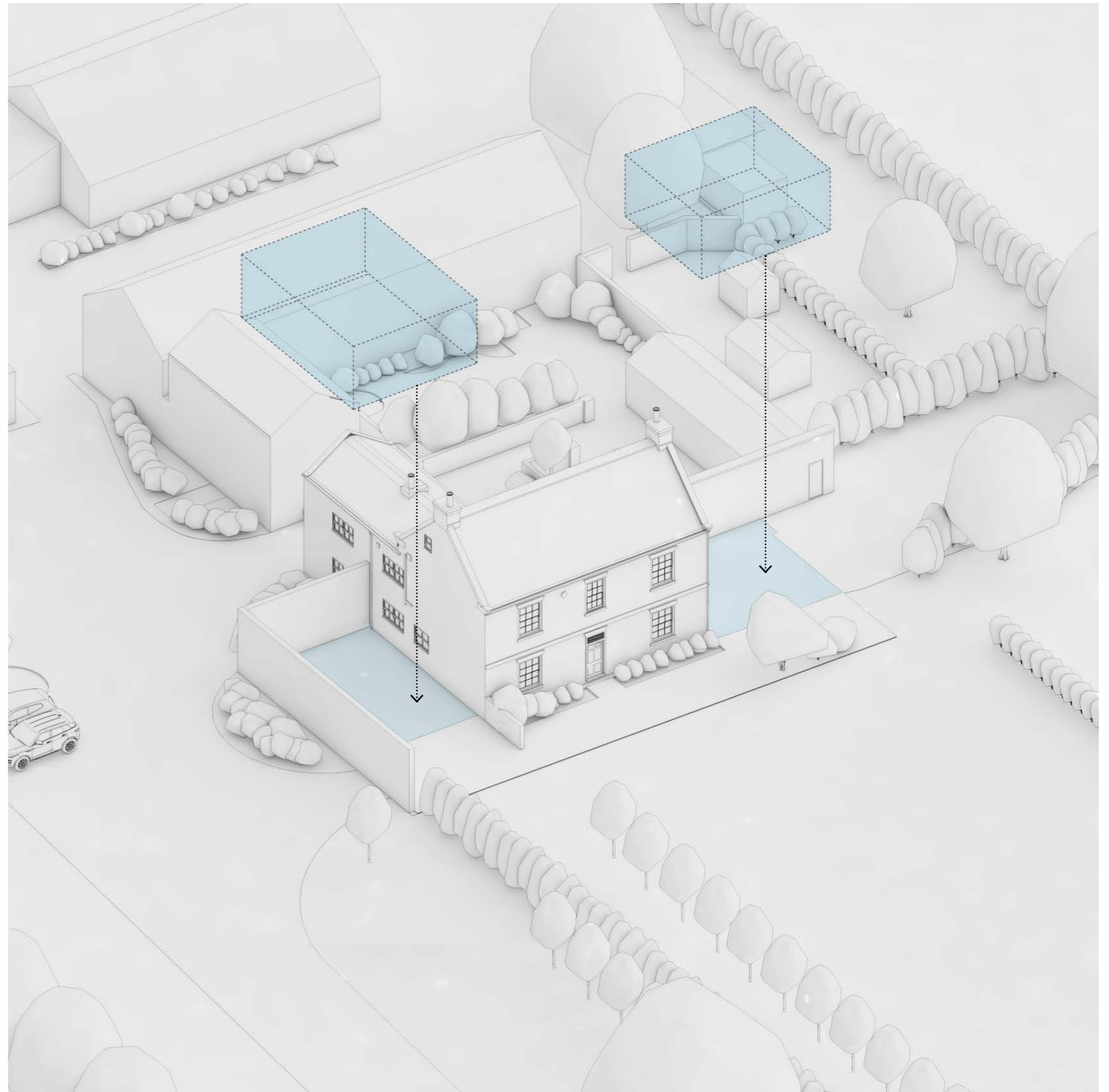
3.11 DESIGN DEVELOPMENT : GLAZED FORMS

The next stage of the design development process was to create a built form into which the extensions could be housed.

It is critical that any new additions to the farmhouse must be subservient to the main historic facade and that they limit the increase in mass of the principle elevation.

The lightweight appearance of 'glass boxes' ensure the proposed intervention acts as a lightweight infill between the house and the garden walls. As such, their appearance would not detract from the main facade whilst also appearing as subservient to the new garden wall.

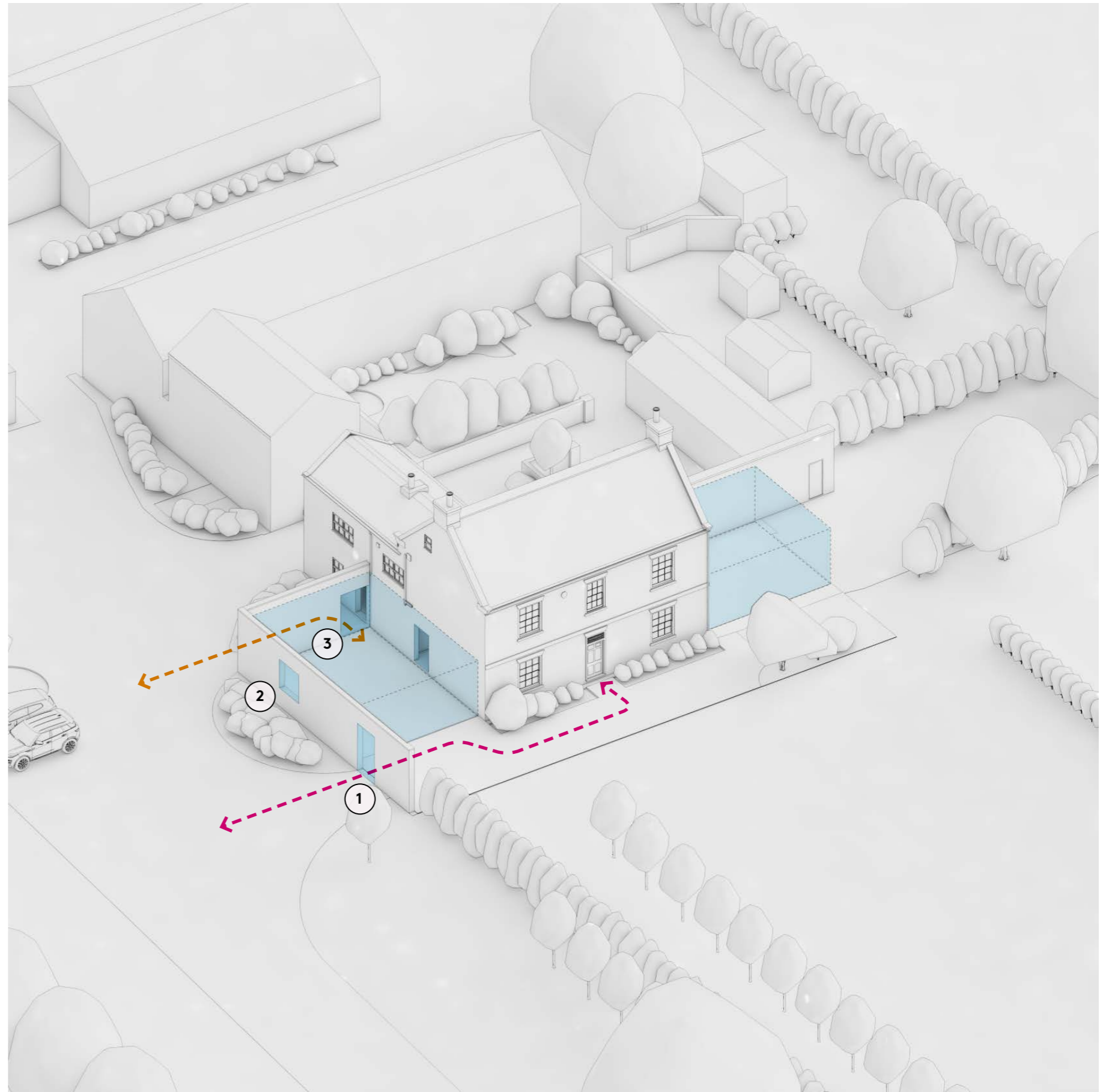
Whilst the depth of the glazed boxes differs, the width is replicated on either side of the dwelling, further reinforcing the symmetry of the regimented Georgian facade.



3.12 DESIGN DEVELOPMENT : ARRIVALS

A series of openings will be punched through the garden wall to provide views and access.

- 1) Firstly, an archway will be formed to provide access to the front facade and 'formal' entrance. This brick opening references country garden courtyards and with it brings romance & drama to the entry point of the magical garden and front facade.
- 2) A single picture window is punched through the new garden wall, hinting at the glazed extension beyond. This proposed window aperture replicates the existing kitchen window that works so well as a visual connection to arrivals to the dwelling.
- 3) Finally, a new entrance porch will be located on the northern facade of the garden wall. Its small projection allows easy identification as the entry point with a small cloaks area for arrivals.



3.13 DESIGN DEVELOPMENT : GARDENS

The final 'solid' intervention is to the eastern elevation of the glazed forms where a brick garden wall provides a 'bookend' to balance the front elevation.

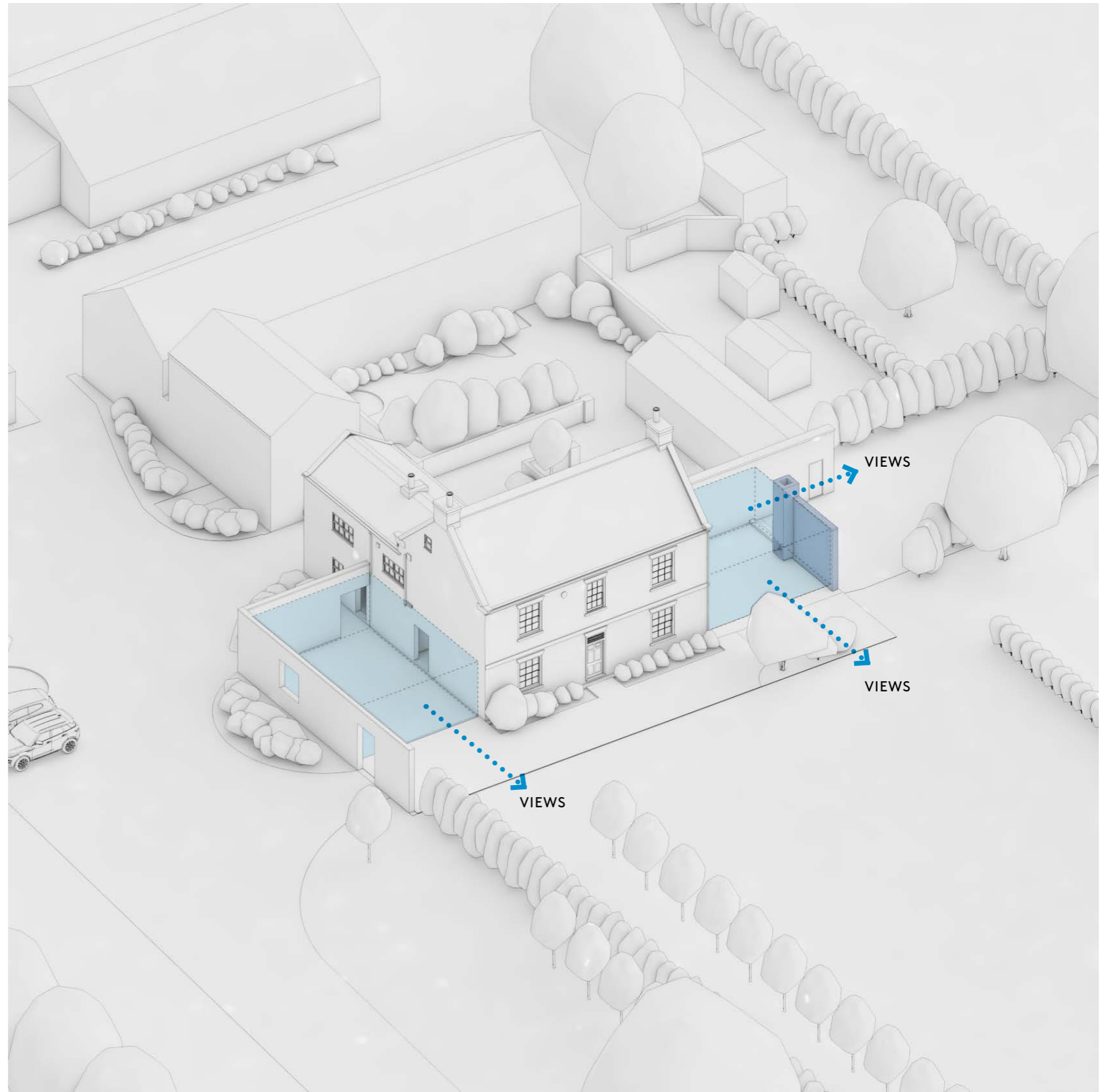
The wall is stopped short of the existing garden wall to retain the appearance of lightweight structures 'slotted' within landscape features.

A chimney is placed upon the centre-line of the wall, a subtle reference to the existing dwelling (please refer to the proposed elevations).

As the new extensions are designed to feel part of the landscape - full height glazing will provide wide views over the landscape, whilst the 'garden walls' will restrict views elsewhere, providing privacy and enclosure.

Sliding doors within both wings provide a direct connection from the kitchen out to the gardens spaces, without the use of the front door.

This proposed lightweight approach and carefully proportioned fenestration does not compete with the original brick built facade and primary entrance - ensuring the farmhouse's historic character is maintained.



3.14 DESIGN DEVELOPMENT : THE CONCEPT

The final design concept results in a dual faced proposal.

The western facade provides only a hint of the extension that lies behind it, presenting a recognizable landscape feature that sits in front of the secondary western elevation. It does not compete with the existing architectural forms, merely suggest that the dwelling is maintained beyond.

The proposed opening within the garden wall provides a glimpse of the garden and main facade beyond, creating romance and drama to such an important elevation.

The new entrance to the north provides a secondary entrance that resolves internal circulation issues, without making the other entrances redundant, nor superceding them in importance.

The front facade is maintained in solid built form, the glazed wings sit delicately and symmetrically to either side of the Georgian architecture, reinforcing the main buildings importance, and being bound by recognisable landscape features on either side.



3.15 EXISTING SITE ANALYSIS

- B1 - Dwelling/Farm House
- B2a - Office
- B2b - Ancillary Building
- B3 - Barn
- B4 - Ancillary Building
- B5 - Barn
- B6 - Potting Shed

- Key**
- Existing Farm House
 - Historic Potting Shed and Former Agricultural Barn formed around garden courtyard
 - Central garden courtyard
 - Natural 'defensible' landscape buffer providing privacy to garden space
 - Formal front lawn has become offset to existing farmhouse
 - Main pedestrian and vehicular access route
 - Pedestrian routes across the site through garden wall openings
 - West/side elevation has become the 'primary' elevation due to location on arrival
 - Formal arrival point
 - Casual arrival point
 - Existing garden walls creating privacy and enclosure



3.16 PROPOSED SITE PLAN

- B1 - Dwelling/Farm House
- B2a - Office
- B2b - Ancillary Building
- B3 - Barn
- B4 - Ancillary Building
- B5 - Barn
- B6 - Potting Shed



3.17 EXISTING FLOOR PLAN

The existing internal layout is dark and disconnected, creating a warren of internal spaces that do not serve modern living.

As discussed earlier in the document, it should be noted the circulation routes from the front door of the dwelling to the kitchen is through the dining room (marked in red). Also, the route from the kitchen window to collection point of visitors (marked in blue)

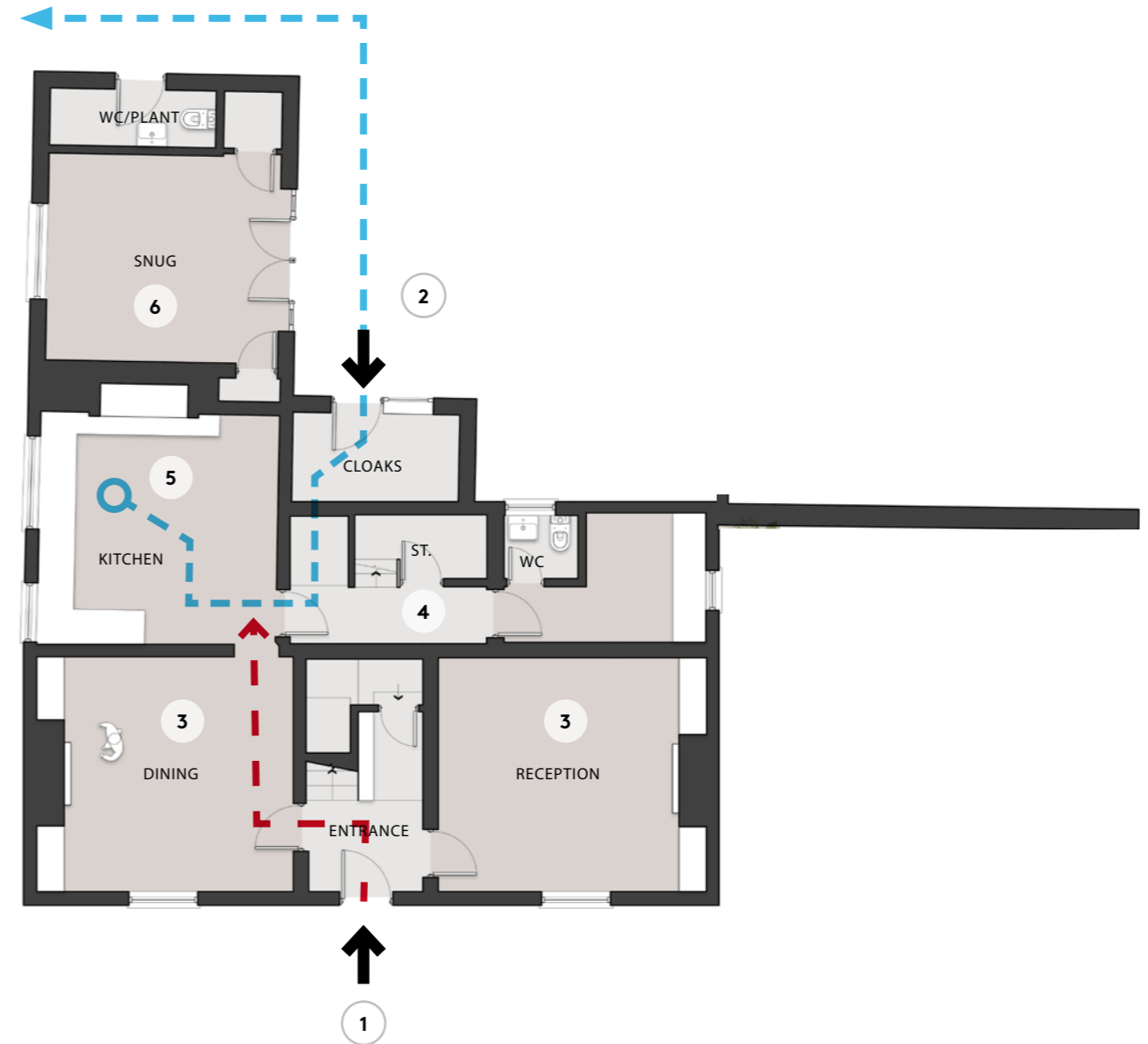
Existing GIA

Ground Floor : 122.8m²

First Floor : 116.5m²

Key

1. Formal front entrance to South Elevation
2. Informal rear entrance via lean to porch
3. Dining and Reception room have no connection to the rest of the farmhouse
4. Dark narrow corridor to the centre of the property
5. Kitchen only accessed via the Dining room
6. Lounge is entirely separated from the rest of the farmhouse, only accessible via the patio doors off the courtyard



3.18 PROPOSED FLOOR PLAN

The proposal seeks to reconfigure and extend the existing farmhouse in order to provide light filled, flexible living spaces to serve modern living.

Proposed GIA

Ground Floor : 233.4m² (110.6m² increase)

First Floor : 116.5m² (no change)

Proposed New Build Footprint Increase

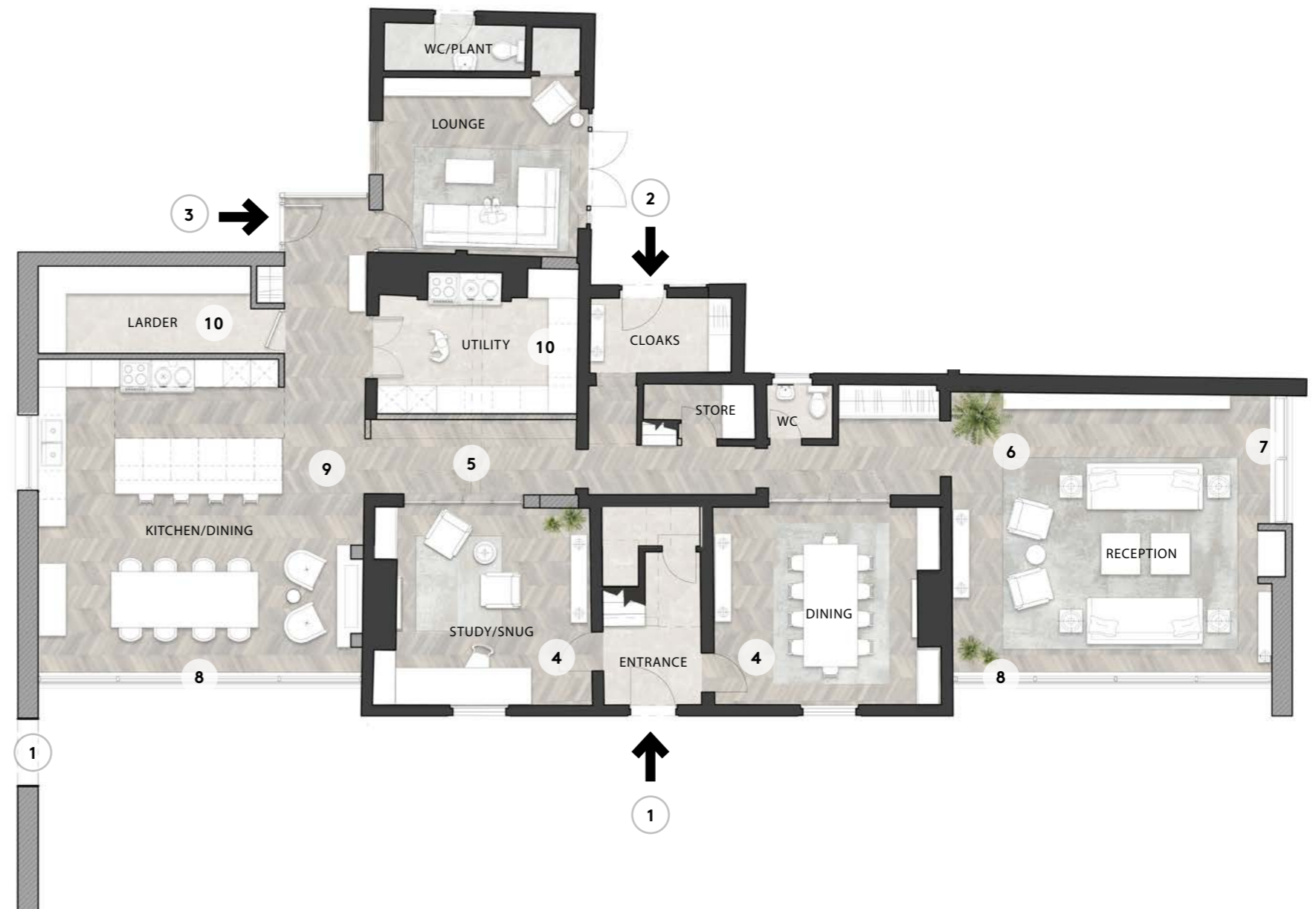
Kitchen/Dining/Larder : 64.4m²

Reception Room: 42m²

(Total 110.6m²)

Key

1. Formal front entrance to South Elevation
2. Informal rear entrance via lean to porch
3. New informal entrance pod, creating connection to existing lounge
4. Formal access for guests through existing lounge
5. Connection between existing rooms and hallway to allow natural light to penetrate into the centre of the farmhouse
6. New Reception Room which can be closed off for privacy/ formal events
7. Glazed link between new brickwall wall and existing garden wall
8. Lightweight glazing denotes extensions as contemporary additions
9. New open plan kitchen dining to serve modern needs
10. New larder and utility to create much needed storage space



3.19 LAYOUT

The existing internal layout is dark and disconnected, creating a warren of internal spaces that do not serve modern living.

The proposed extensions to the east and west gables will provide much needed additional and improved use of space. The rationalisation of the internal layout will provide light filled living spaces that will afford greater flexibility for family occupants and extend their suitability through family life.

The proposed symmetrical glazed side additions seek to maximize garden connectivity and increase natural light into the existing house footprint whilst ensuring minimal visual impact on the site and surrounding area. The new rear porch will provide a lightweight connection between the new brick extensions and the existing house.

By retaining the existing garden wall to the rear of the new Reception Room (between the farm house and B6 Dwelling Annex/Converted Barn), and creating a new 'garden wall feel' to the west elevation - the new additions do not compete with the layout and architecture of the existing farmhouse and simply enhance the existing setting.

As a result, the proposals respond to the specific site conditions including the physical context, surrounding character and site constraints.

