

3.20 SCALE + MASSING

Whilst the overall footprint of the building is to be enlarged, the existing scale is to be maintained with no alterations proposed to alter the height and mass of the existing farmhouse.

The proposed use and architectural intervention has been designed to sit harmoniously with the historic farm context and are considered to be of a suitable scale and mass within the context of the surrounding built environment.

Furthermore, the proposed use of glass and timber for new additions will ensure the farmhouse's historic character is to be maintained. Lightweight construction and carefully proportioned fenestration ensures a sensitivity and appropriateness to the surrounding area.

Careful detailing of the window head, placing the glazing in front of the ceiling / roof zone will allow the two extensions to remain lightweight in appearance.

All of the new garden walls will be constructed in pre weathered, hand made bricks to match the existing property. Their height will match the existing with no modern flashings or copings.

The new extensions will be sympathetic, subordinate to the parent building and as such will enhance the amenity of the farmhouse and surrounding context.

The addition of a oak framed entrance with glazed infill, with covered canopy.

This proposed detailing and choice of materials take reference from the full height glazed openings to the north elevation of B2. It's materiality is a reference to the timber present in the surrounding barns. Please refer to precedent images later in the document.



Proposed Front (South) elevation



Proposed Rear (North) Elevation

The new proposals will ensure:

- All existing buildings and views that contribute to the amenity of the area are retained and enhanced
- Existing key views and vistas are not interrupted
- The privacy, day lighting and amenity of the existing farmhouse is not affected
- Proposed landscaping will be an integral part of the design and where appropriate incorporate locally native plants

By the use of careful boundary treatment, landscaping, design, scale, form and materials the proposals therefore, enhance the existing setting of the area, making a positive contribution to the local character.



Proposed Side (West) elevation



Proposed Side (East) elevation

4.0 APPEARANCE



4.1 APPEARANCE

The proposals ensure the architectural features and character of the existing farm house are retained.

The proposed scheme interprets aspects of the existing farm house, reflecting the rhythm and character of the existing fenestration but does not attempt to imitate it. The proposed extension of the existing garden wall to form the west elevation provides a consistent architectural language across the site, ensuring the new additions will stand the test of time.

The chosen palette of materials take reference from the surrounding buildings to ensure that the dwelling is of good quality, will age well and sit comfortably within the context of the surrounding buildings.

The proposed new extensions embrace contemporary construction materials, adding to the history of the site, therefore making a positive contribution to the character of the area. Their detailing will be modest and elegant allowing the new building elements to be discernibly concurrent, whilst appearing subservient and respectful to the original dwelling house.

Key design qualities are:

- New extensions will be expressed in light weight glazing to maximize garden connectivity whilst ensuring minimal visual impact on the site and surrounding area.
- Proposed material treatment will denote the new additions from the original farm house.
- The proposal will incorporate an extension to the existing garden wall, to create a recognisable language across the site.

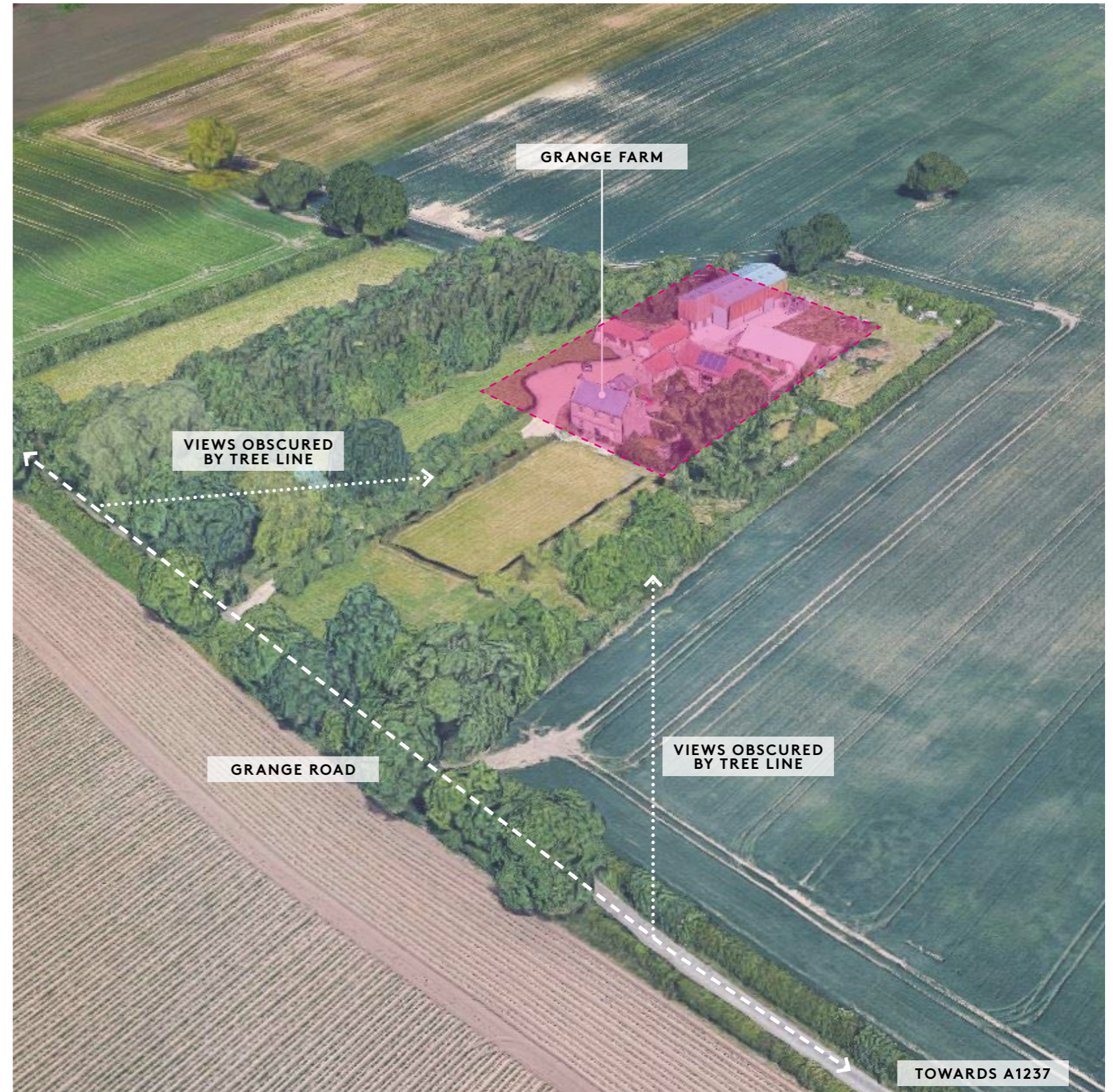


5.0 VISUAL IMPACT

5.1 VISUAL IMPACT

Given the isolated location of Grange Farm, the site is incredibly private and not visible from Grange Lane. The proposals therefore present no overlooking issues or visual impact to any neighboring buildings or properties.

Although it is established development plan policy that York should have a Green Belt, its boundaries have never been defined. The proposals however respect the intrinsic character and beauty of the landscape. The extensions are also all contained within the built curtilage (shown in pink) of the established farmstead and therefore have no impact on the openness of the Green Belt.



5.2 SOUTH ELEVATION COMPARISON

Existing and Proposed South Elevation 1

- The existing garden wall and box hedging creating privacy buffer to garden space
- The new 'garden wall' creates continuity across the site whilst centering the farmhouse on the formal front lawn
- New garden brick wall to match height and appearance of existing
- Lightweight glazing elements to read as obvious contemporary addition
- Slimline glazing bars create lightweight appearance whilst mimicking the strong rhythm and symmetry of the main house
- The symmetrical additions reinstate the southern view as the primary elevation, centering the primary facade on the formal garden lawn



Material Key:

1. New brickwork to match existing
2. Aluminum window system
3. Step down to meet external garden level
4. Brick coping detail
5. Existing garden wall beyond
6. Timber cladding
7. Aluminium capping/pressing detail



5.3 EAST ELEVATION COMPARISON

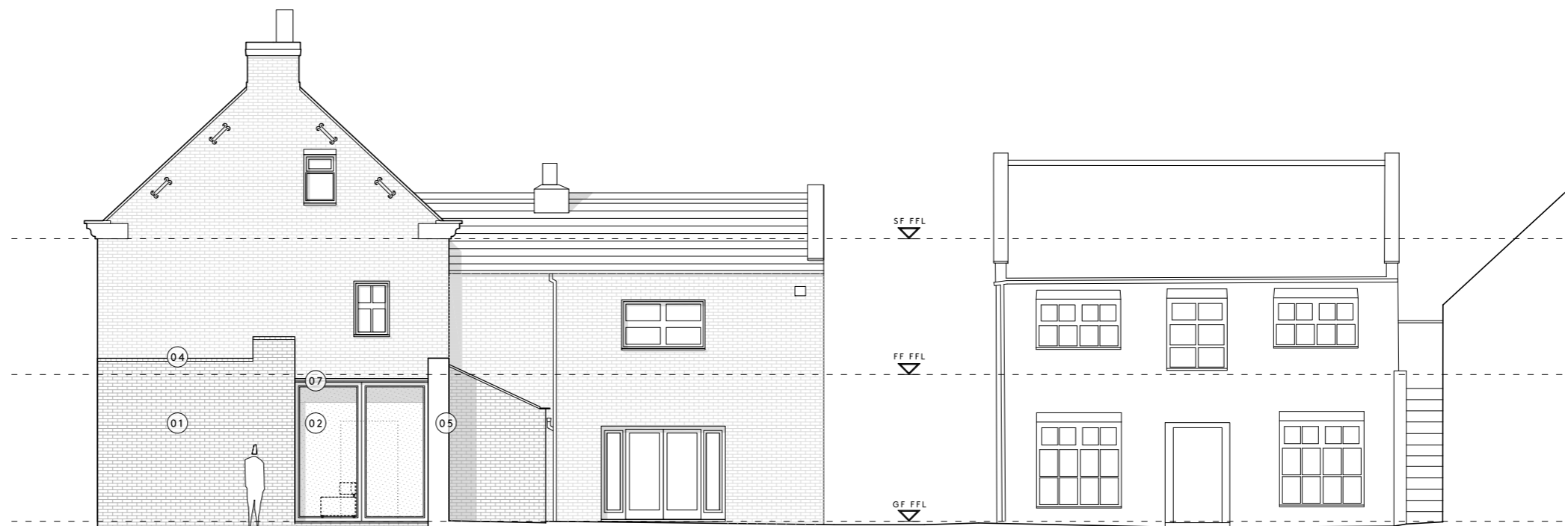
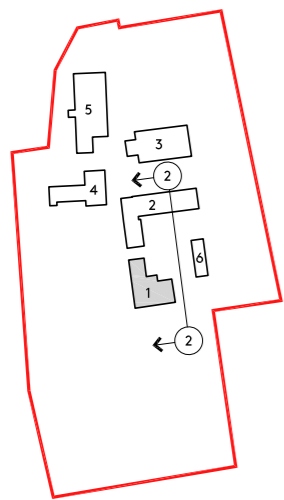
Existing and Proposed East Elevation

- New brick wall to match height and appearance of existing
- Contemporary chimney to align with existing
- New lightweight glazed link connecting the new brick gable with the existing garden wall



Material Key:

1. New brickwork to match existing
2. Aluminum window system
3. Step down to meet external garden level
4. Brick coping detail
5. Existing garden wall beyond
6. Timber cladding
7. Aluminium capping/pressing detail



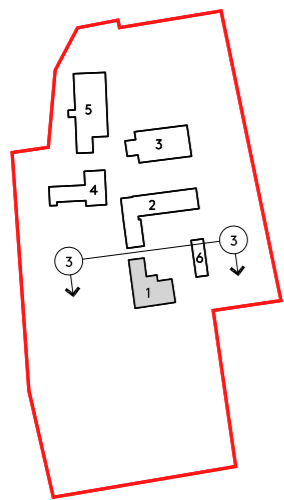
5.4 EAST ELEVATION COMPARISON

Existing and Proposed North Elevation 3

- Covered timber porch creating direct connection to kitchen space
- New 'garden wall' to match existing

Material Key:

1. New brickwork to match existing
2. Aluminum window system
3. Step down to meet external garden level
4. Brick coping detail
5. Existing garden wall beyond
6. Timber cladding
7. Aluminium capping/pressing detail



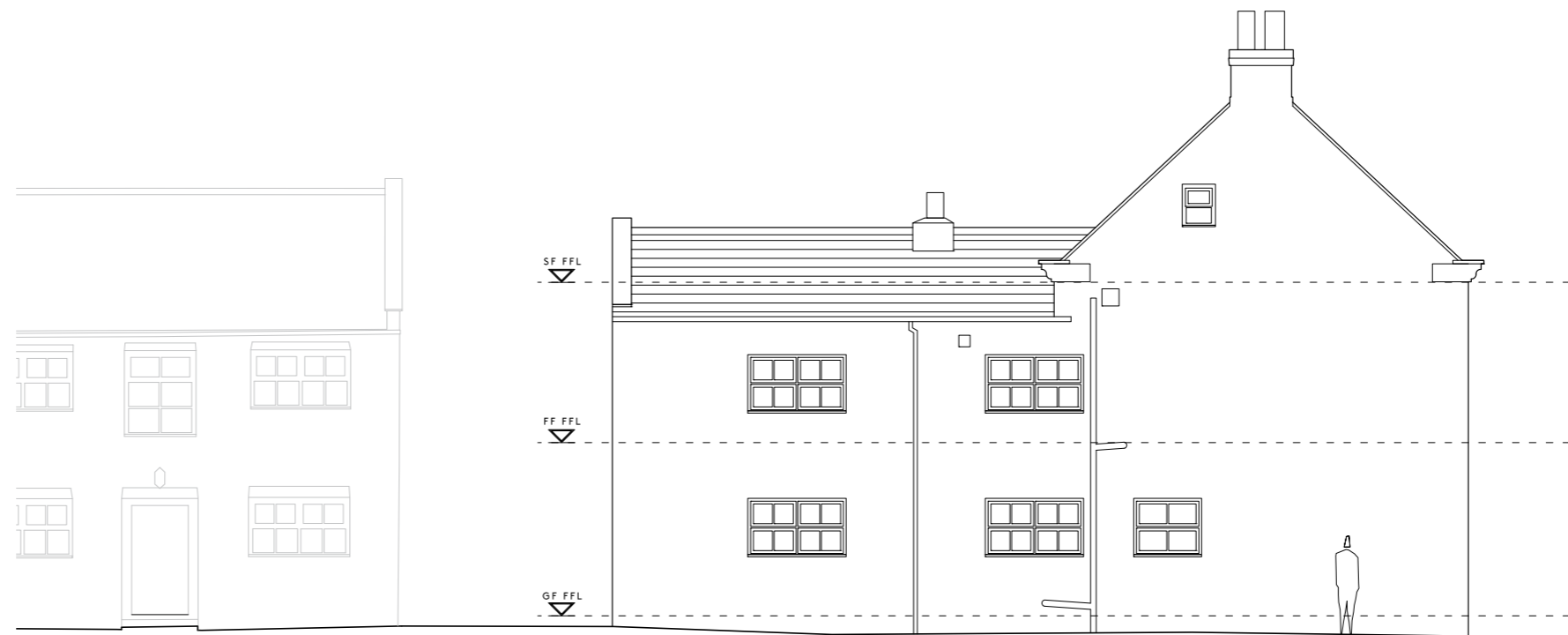
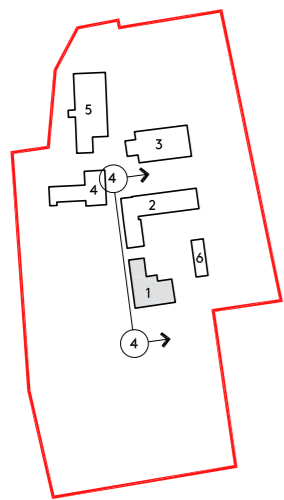
5.5 EAST ELEVATION COMPARISON

Existing and Proposed West Elevation 4

- Side elevation has by it's orientation become the primary elevation
- New informal covered rear porch to create access into kitchen space
- New simple aperture punctured into brickwork wall
- Opening through garden wall, creating access to formal front entrance
- Continuity of garden wall principle denotes defensible boundary to the formal entrance and garden lawn, re-establishing itself as a secondary elevation

Material Key:

1. New brickwork to match existing
2. Aluminum window system
3. Step down to meet external garden level
4. Brick coping detail
5. Existing garden wall beyond
6. Timber cladding
7. Aluminium capping/pressing detail



5.6 MATERIALITY

The predominant materials evident are those which are traditional to the area; brick, slate and timber. As such, the chosen palette of materials takes reference from the surrounding host building to ensure the proposal is of good quality, will age well and sit comfortably within the context of the surrounding buildings.

In addition to this, the creation of a new 'garden wall' to the west elevation provides a consistent and integrated architectural element to which the new extension sits behind.

The proposed lightweight glazing, slotted between the brickwork will denote themselves as obvious new additions from the original farm house, whilst creating warmth, depth and additional visual interest.

This sensitive intervention and appropriate use of materials has a strong local vernacular, allowing the proposals to blend with the local context without imitating a previous era.

5.7 ARCHITECTURAL DETAIL

Proposed detailing will be modest, contemporary and elegant allowing the new building elements to be discernibly concurrent, whilst appearing subservient and respectful to the existing farm house.

The proposed roof detail has been designed to be incredibly slim and lightweight, maximizing the expanse of glass which compliments the character of the existing dwelling, defining the new elements as distinctly modern.

The new elements embrace contemporary construction materials, adding to the history of the site and therefore making a positive contribution to the character of the area.



Precedent Imagery

5.8 ACCESS + PARKING

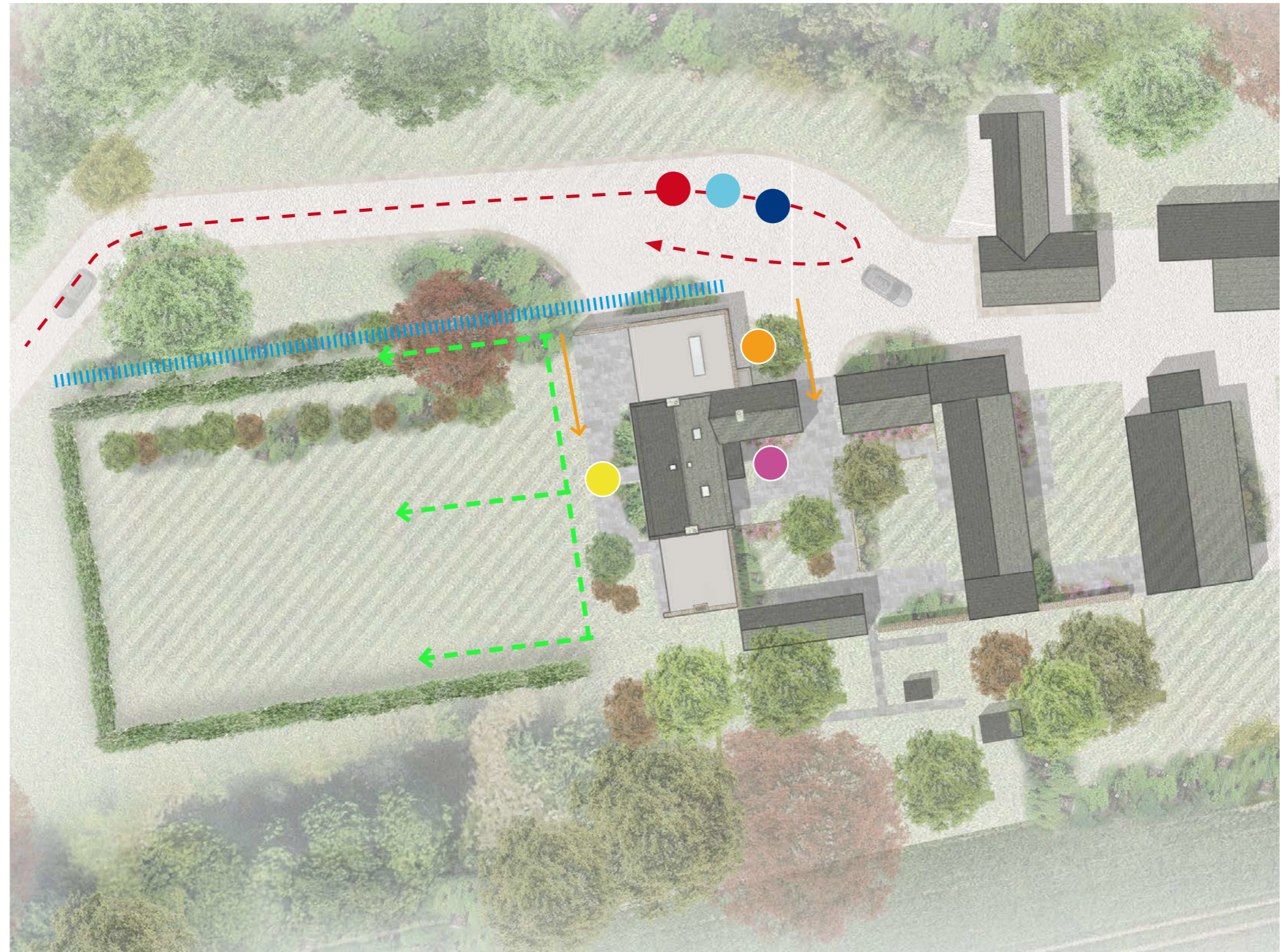
The site access will remain as existing; vehicles and pedestrians alike access the site off the Grange Lane.

The existing track will be diverted slightly as it approaches the farm house to form an enhanced vehicle access to the existing dwelling and the buildings beyond. A new parking area will be screened by landscaping.

The proposal has been designed to be fully inclusive and takes into account the following legislation and design guidance where possible:

- Building Regulations Part M, Approved Document M, 2004
- British Standard BS8300:2009 Design of buildings and their approaches to meet the needs of disabled people - Code of Practice

- Resident Parking
- Visitor Parking
- Delivery Drop Off/Bin Collection
- ← - Vehicle Access Route
- ← Pedestrian Access Route
- ||||| Defensible buffer to private lawn
- ← Existing farmhouse re-centred on formal lawn
- Formal entry point
- Informal entry point
- Resident entry point



6.0 LANDSCAPING

6.1 PLANTING + SURFACE TREATMENT

The existing landscaping largely consists of areas of grass, gravel and concrete hard-standing. As such, no significant landscaping works are proposed as part of this application.

The landscape design and proposed planting seeks to maximise as much soft landscape as possible. Hard landscaping will utilise a permeable paving system to assist in a site wide sustainable drainage system.



7.0 CONCLUSION

The original farmhouse and principal barn range, including threshing barn and granary, to the north still remain albeit the original building group has undergone a number of alterations, including significant areas reconstruction, during the 20th century. These changes include:

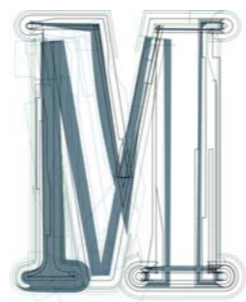
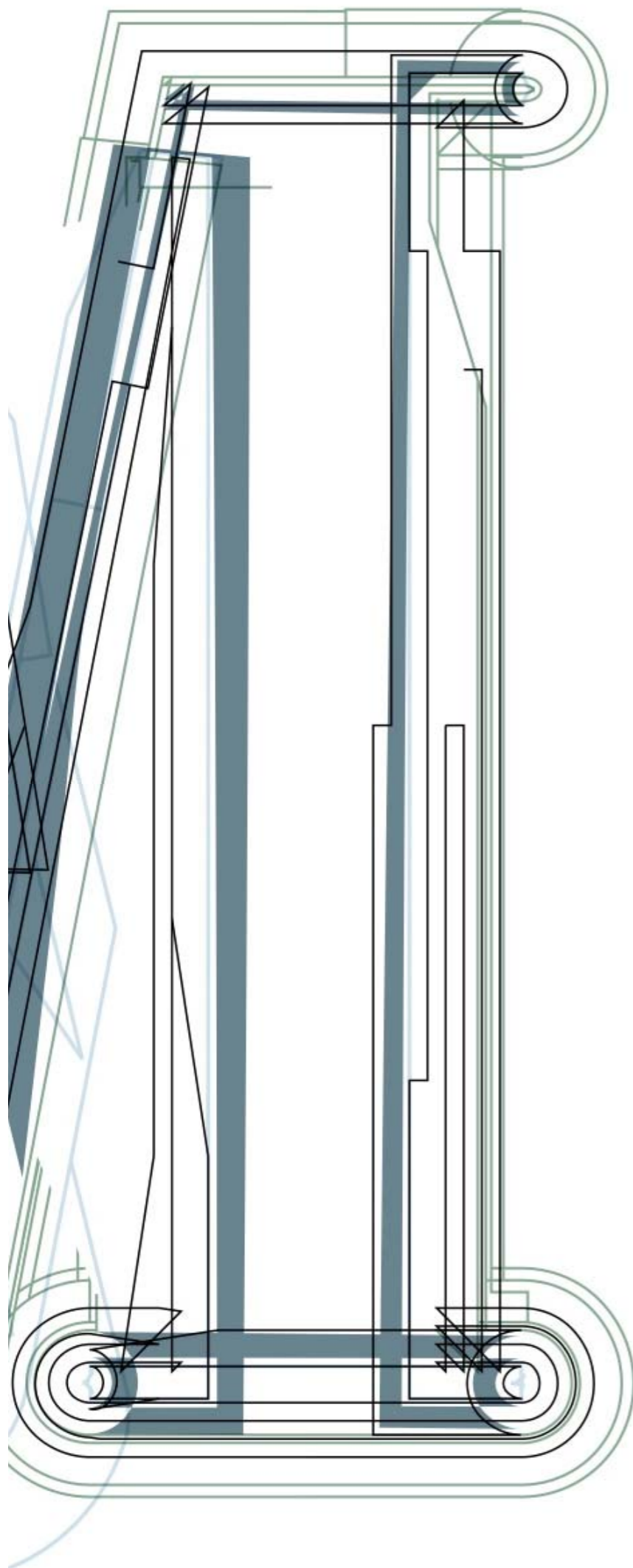
- Barn and outbuilding ranges to the south and east of the former foldyard have been demolished with retained screen walls showing evidence of reconstruction
- The barn range and granary were converted to domestic and office use during the late 20th century largely removing the agricultural and functional character of the original buildings
- The rear extension to the farmhouse shows evidence of substantial reconstruction
- Garden boundaries to the south of the farmhouse were established in the late 20th century including brick walling to the west of the house

In visual terms, the proposals will ensure the attractive built form and architectural details of the existing farm house are preserved and enhanced. The scale, size and proportions of the proposed new build elements are all in keeping with the local agricultural context through the use of form and materiality. We believe the proposals outlined in this document should be supported for the following reasons:

- The features of the existing dwelling will be retained and celebrated, maintaining the integrity of the original building
- The proposals will be a positive improvement on the existing dwelling, enhancing the appearance of the property and ensuring the longevity of the farm house for long-term residential use
- The internal layout will be improved to provide generous living accommodation
- The height, scale, materials and appearance of the proposals respects the character of the existing dwelling and adjacent buildings
- The proposals will not have any impact on the surrounding Green Belt, as the extensions will not be visible from Grange Lane
- The extensions will improve connectivity and access from the internal spaces to the garden
- Plentiful amenity space will be retained to serve the property
- The landscaping surrounding the property will be improved to rationalise parking and refuse storage

8.0 APPENDIX

Heritage Statement



m b Heritage

Mr and Mrs A. Ward

Proposed Extensions
Grange Farm
Grange Lane, York
YO23 3NJ

Heritage Overview

m b Heritage & Planning Ltd
Leeds

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HISTORIC ENVIRONMENT

This section of the Design Statement provides an assessment of the potential impacts of the proposed development upon the significance, in heritage terms, of the built historic environment. It sets out a baseline assessment, including review of historic mapping, and considers the relative heritage values of Grange Farmhouse. Given the nature of the proposed works no impacts upon the archaeological resource are predicted.

Policy Context

The assessment has regards to the following policy and guidance documents:

- The National Planning Policy Framework 2021 (NPPF)
- Historic England Advice Note 12, Statements of Heritage Significance, Analysing Significance in Heritage Assets, 2019 (HEAN12)
- Historic England Good Practice Advice in Planning, Note 2, Managing Significance in Decision-Taking in the Historic Environment, 2016 (GPAP2)
- Historic England Good Practice Advice in Planning, Note 3 (Second Edition), The Setting of Heritage Assets, 2017 (GPAP3)
- City of York Draft Local Plan Incorporating the 4th Set of Changes (April 2005)

Historic Environment Baseline

No designated heritage assets, as recorded on the National Heritage List for England (NHLE) or identified by York City Council, fall within, or within the vicinity of, the site.

The City of York Historic Environment Record (CYHER) holds 2 records in proximity to the site (within 250 metres). These relate to areas of probable Medieval broad ridge and furrow falling to the south-west and west of the farm building group and seen as earthworks and cropmarks on aerial photographs (MYO3196, MYO3197). These form part of wider pattern of ridge and furrow retained around the village of Knapton.

The buildings at Grange Farm are not included on the provisional York Local List of buildings holding historic or architectural interest in the local context (York Open Planning Forum).

The 1850 Ordnance Survey (OS) map, based on an 1846 to 1848 survey, marks the site as *Rufforth Grange*, with drive access taken from the south off Grange Lane with a second field track shown to the north. The main farmhouse is shown with rear and side extensions including screen wall to the east. The easterly extension may have been a garden building or barn range set forward of the retained screen wall. A larger barn range, with likely north side engine house, is shown to the north along with a separate barn to the north west with orchard land enclosure to the rear. An enclosed area of garden land is shown to the east and south of the house and east of the barn range.



Figure 1: 1850 OS Map Extract

The 1895 OS map, based on an 1891 to 1892 survey, marks the site as *The Grange*. The map indicates that the building to the north-west of the main building group has been overbuilt or adapted and is shown as a ranged barn on a north-south axis. The barn range is shown as extending to link with the east wing of the house to enclose the courtyard area.

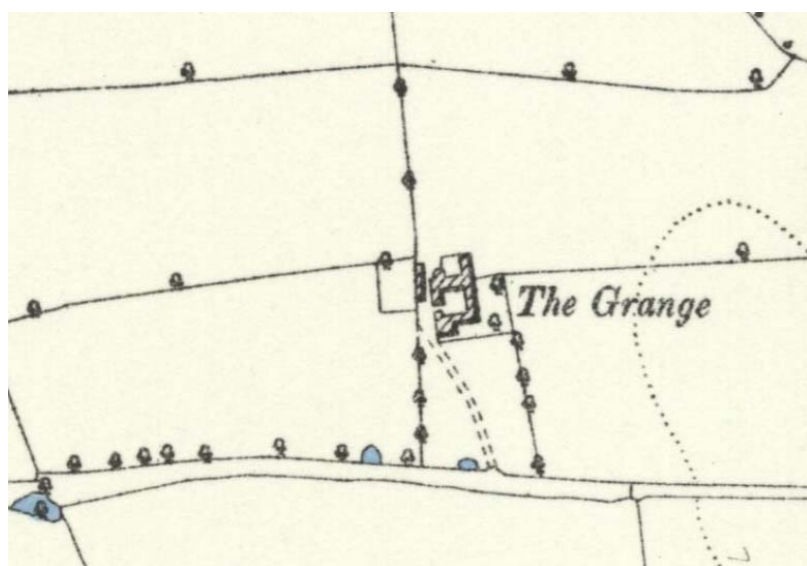


Figure 2: 1895 OS Map Extract

The 1910 OS map suggests the over-covering of the central foldyard and the extension of the barn range to the north-west. The overall footprint of buildings remains as shown on earlier mapping. Subsequent mapping shows little change to the building arrangement by the time of the publication of the 1953 OS map.

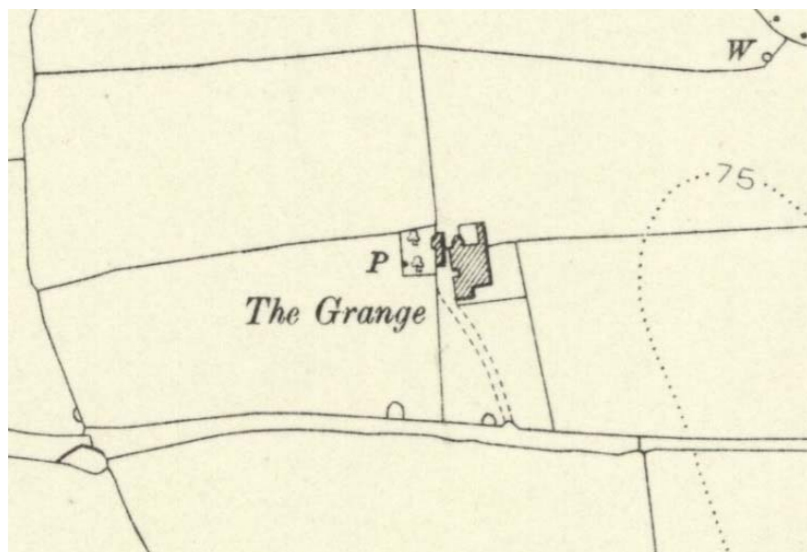


Figure 3: 1910 OS Map Extract

During the latter half of the 20th century a number of changes took place to the building arrangement and use of the wider site, notably:

- The construction of modern agricultural buildings to the north of the original building group.
- The adaptive conversion of the barn range to the north of the farmhouse to provide office and ancillary domestic accommodation.
- The partial demolition of the barn range to the east of the foldyard and the east wing of the house, retained screen walls.
- The partial demolition or reconstruction of the barn range to the north-west of the farmhouse.
- The realignment of the drive access from Grange Lane,
- Landscape planting to enclose garden land to the south of the farmhouse and frame the drive approach.

Grange Farmhouse

The principal farmhouse, likely constructed during the late 18th century with later alteration and extension, is in two storeys and attic with three bays to the main, south facing, elevation arranged to a neo-classical design. Main walling is in a red/buff clamp brick in Flemish bond with brick detailing to window and door surrounds, banding and eaves margins. Roof covering is in a non-original grey slate with stone water tabling and kneelers terminating gable ends. Two stacks, in brick, are at gable ends. The east gable has three asymmetrical window openings at ground, first and attic level with no surrounds suggesting later dating. The west gable has two window openings at ground and attic level again with no surrounds. The rear elevation has a central stair window and single storey porch extension under. The house has a subservient rear, west, extension in similar materials although window and door inserts are later additions. Much of the walling is laid to a stretcher bond which suggests later reconstruction or extension.

The barn ranges to the rear have undergone adaptive conversion to create office space, ancillary domestic accommodation and garden storage. The main range to the north was constructed as a threshing barn and granary to similar dating as the house. A former engine house, shown on historic mapping, was removed during the latter half of the 20th century. The

building ranges to the east and south of the foldyard have also been largely removed with enclosing walling retained and likely reconstructed.

The site of Grange Farm holds historic interest as a late 18th or early 19th century isolated farmstead and retains, albeit much altered, the original farmhouse and principal barn range, including threshing barn and granary, to the north. The original building group has undergone a number of alterations, including significant areas reconstruction, during the 20th century, including:

- As indicated on historic mapping, barn and outbuilding ranges to the south and east of the former foldyard have been demolished with retained screen walls showing evidence of reconstruction.
- The barn range and granary were converted to domestic and office use during the late 20th century largely removing the agricultural and functional character of the original buildings.
- The rear extension to the farmhouse shows evidence of substantial reconstruction.
- New window openings have been formed within the gable ends of the farmhouse and within the rear extension.
- All door and window inserts within the farmhouse and barn ranges are later 20th century replacements.
- The slated roof covering to the farmhouse is a later 20th century replacement.
- Brick headers to the principal elevation of the farmhouse are later replacements.
- Unsympathetic cement mortar strap pointing has been applied to the main farmhouse elevations.
- Garden boundaries to the south of the farmhouse were established in the late 20th century including brick walling to the west of the house.

Overall it is considered that the farmhouse holds a degree of local historic and architectural interest although these later works have compromised heritage values to some degree.

Impact of the Proposed Development

The proposed extensions will retain the principal elements of architectural significance to the farmhouse and will be visually subservient to the main building and rear extension. The set-

back of the new structures will allow the main south-facing elevation to remain legible and the single storey construction, along with use of glazing, will reduce massing. Whilst existing window openings at ground floor level within the gable ends of the house will be removed or altered these are likely later additions and impact upon the architectural character of the building will be minimal.

The extensions will sit below a retaining brick screen wall, existing to the east side of the house, and a new wall constructed to the west. The new wall will be in keeping with the character of existing boundary treatment to the foldyard and will visually balance existing walling to the east. The walling will not impact upon original boundary treatment and the drive access approach to the building group will be maintained. Subject to satisfactory material treatment, it is not considered that the new walling will impact upon the character of the farmhouse.

Overall, it is considered that the proposed extensions will retain the architectural significance of the farmhouse and the principal elements which contribute to it. As such, no adverse impacts upon the retained heritage values of the buildings are assessed.