

# VALE GARDEN HOUSES

**Dr Le Dieu & Mr B Penn – Old Rectory, Wixoe, Stoke By Clare, Sudbury, CO10 8UG -**

**DC/22/0956/HH & DC/22/0957/LB**

***The relevant works shall not take place/no development above ground level shall take place until details in respect of the following have been submitted to and approved in writing by the Local Planning Authority.***  
***a. details of proposed colour to be used for all external elements to include window and door joinery and frame.***

Dr Le Dieu & Mr B Penn have confirmed that the colour to be used for all external elements including window and door joinery and frame is to be 'Silver Birch' from Vale Garden Houses paint range.

Please find enclosed paint chart from Vale Garden Houses including previous projects painted in 'Silver Birch' to help with discharging of condition. (Please note on page 2 of the paint chart details relating the paint)



## ABOUT OUR PAINT COLLECTION

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Our range of paint colours have been specifically designed to provide a subtle collection of natural tones which harmonise with the outdoors.

Our paint is made from the highest quality lead-free pigments, minerals and ingredients to provide you with a product rich in quality with outstanding durability. The collection has been produced with specialist English paintmakers known for developing high performance coatings for the professional user. The resulting products are easy to apply, flexible and long lasting.

## COLOUR MATCHING & QUANTITIES

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Whilst the colours on this card are matched to the paint as closely as possible, we cannot guarantee exact replication of colour between paint batches and sample cards.

The information and recommended uses contained on this card are for guidance only and are given in good faith. However it is without warranty as method of application, site conditions and experience of the decorator are beyond our control.

It is the responsibility of the customer to calculate the quantity of paint required as we cannot accept returns. We accept no responsibility for lost working time in the event of a delivery being delayed, incorrect or postponed.

## PRIMER / UNDERCOAT

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This is a high quality oil-based primer/undercoat with microporous properties which allows wood to breathe; reducing the tendency for wet rot, blistering and cracking. The microporous properties are effective where the primer/undercoat is applied directly onto a bare timber substrate.

The flow properties of this product enables a smooth finish to be achieved.

It is designed for use in conjunction with our Satin Finish Wood Paint.

### PROPERTIES

- Durable
- Easy application
- Breathable coating
- Fast drying

### APPLICATION

- Covers approx. 10m<sup>2</sup> per litre
- Touch dry 4 hours
- Firm dry 8 hours
- Overcoat overnight

### AVAILABILITY

- 2.5 Litre
- 5 Litre
- Grey or White

## SATIN FINISH WOOD PAINT

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Of superior quality, our satin finish wood paint has been specially formulated for use on timber structures and timber surfaces in general.

The paint is oil-based and microporous which allows the wood to breathe. It has excellent water shedding properties and a high resistance to flaking and peeling.

It is intended for application onto softwood and hardwood timber surfaces including conservatories, windows, doors and furniture.

The satin finish wood paint is suitable for application over other oil-based systems and onto well prepared metal surfaces.

Recommended for use in conjunction with our oil-based, wood primer/undercoat.

### PROPERTIES

- Durable & flexible
- Easy application
- Good colour retention
- Low VOC content

### APPLICATION

- Covers approx. 16m<sup>2</sup> per litre
- Touch dry in 4 hours
- Firm dry in 8 hours
- Overcoat once firm dry

### AVAILABILITY

- 2.5 Litre
- 5 Litre
- 42 Colours

## MATT EMULSION

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A high quality and extremely durable water-based matt emulsion, excellent for both interior and exterior use.

It can be used on old and new plaster, masonry, rendered surfaces, brick, timber, hardboard etc.

Product formulation and ease of application means that the desired thickness and smooth consistent finish is easily achieved.

The coating is hardwearing and scrub resistant. Two coats may be required to build up film thickness to achieve a uniform appearance and expected performance.

### PROPERTIES

- Quick drying & overcoating times
- Washable & scrub resistant
- Low odour
- Low VOC content

### APPLICATION

- Covers approx. 10-15m<sup>2</sup> per litre
- Touch dry in 1 hour
- Firm dry in 2-4 hours
- Overcoat once firm dry

### AVAILABILITY

- 2.5 Litre
- 5 Litre
- 42 Colours

VALE  
GARDEN  
HOUSES

PERIOD PAINT  
COLLECTION

VALE  
GARDEN  
HOUSES

www.valegardenhouses.com  
paint@valegardenhouses.com

01476 564433

VALE GARDEN HOUSES  
BELTON PARK, LONDONTORPE ROAD,  
GRANTHAM, LINCOLNSHIRE. NG31 9SJ

Revision 6

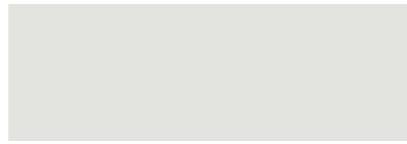
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21. LIGHTHOUSE



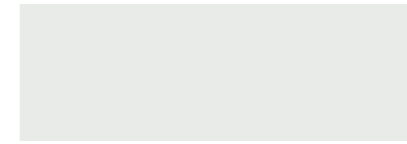
2. GARDENIA



51. ALABASTER



47. DIRTY WHITE



42. NIMBUS



14. MOTHWING



1. VALE WHITE



4. LIMEWASH



41. CONCH



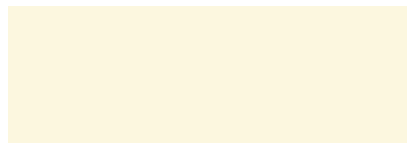
45. DISMAL



48. THUMPER



9. CATKIN



22. RICE PAPER



6. SHEEPSKIN



25. SUGAR BEET



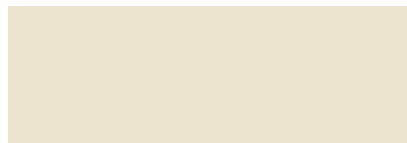
26. PAVEMENT



49. SILVER BIRCH



17. OLD SAGE



3. TAYLOR CREAM



7. VELLUM



43. PORTLAND



44. PARKER



50. PINAFORE



19. POACHERS GREEN



46. LEADEN



23. OLIVINE WHITE



28. PORCINI



34. QUAIL



31. BURNT ASH



15. PIKES BELLY



10. MUD PIE



5. WILD MINK



29. ERMINE



27. ENGINE ROOM



32. TEMPEST



16. EUCALYPTUS



11. FLAGSTONE



8. PUTTY



30. EARTH



35. GREY GOBLIN



33. CARBON



36. ATLANTIS

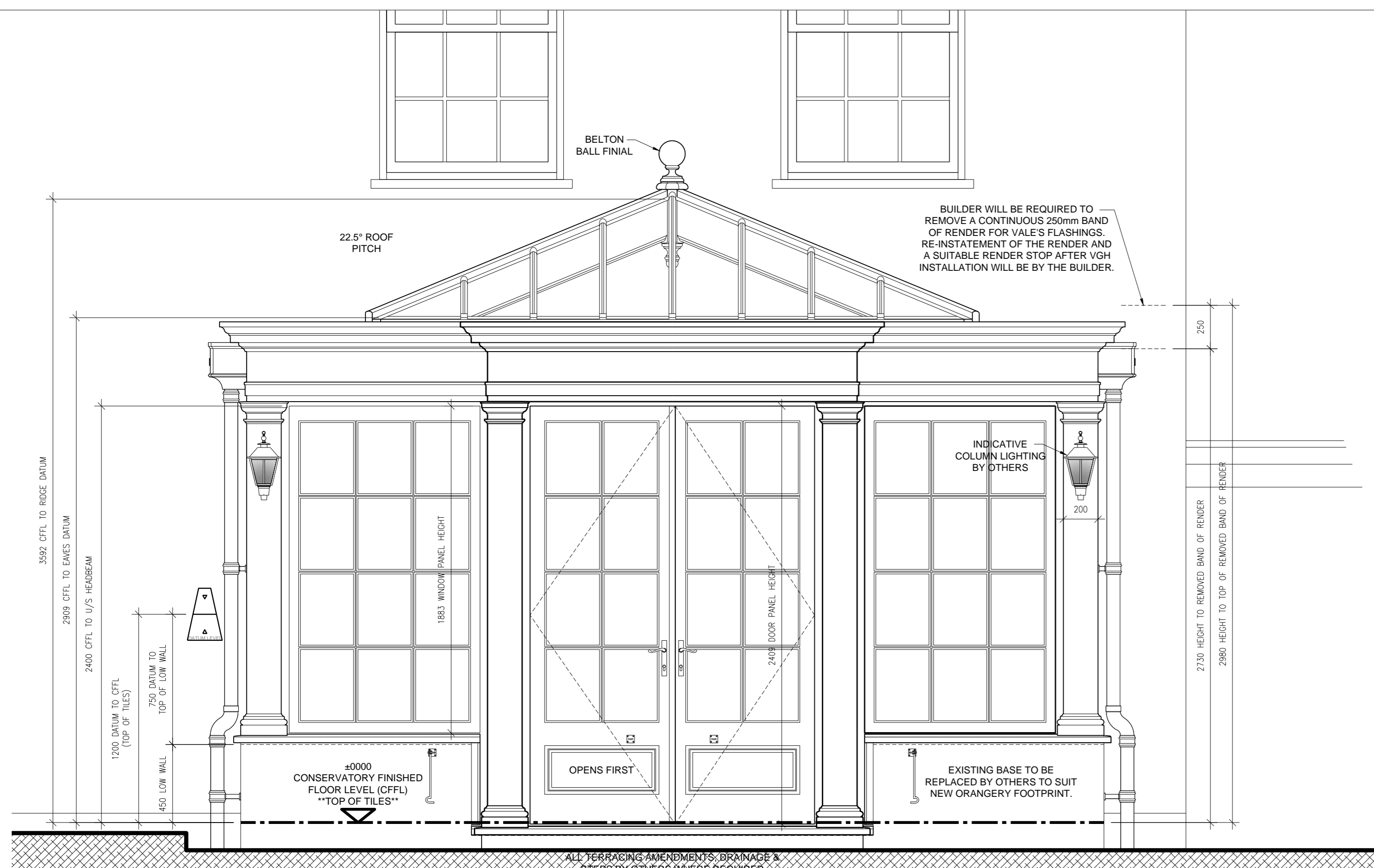


# VALE GARDEN HOUSES

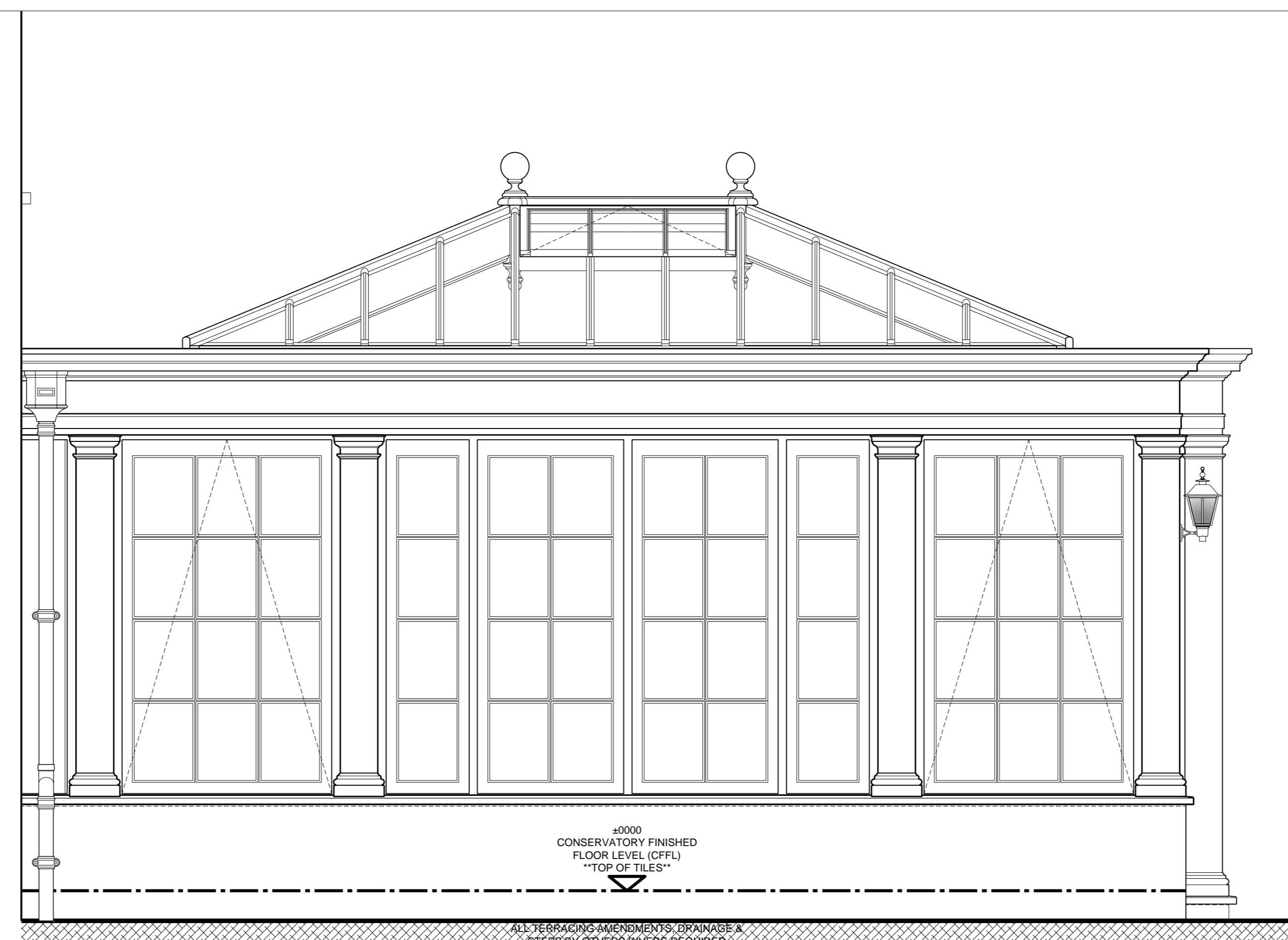
**Dr Le Dieu & Mr B Penn – Old Rectory, Wixoe, Stoke By Clare, Sudbury, CO10 8UG -**

**DC/22/0956/HH & DC/22/0957/LB**

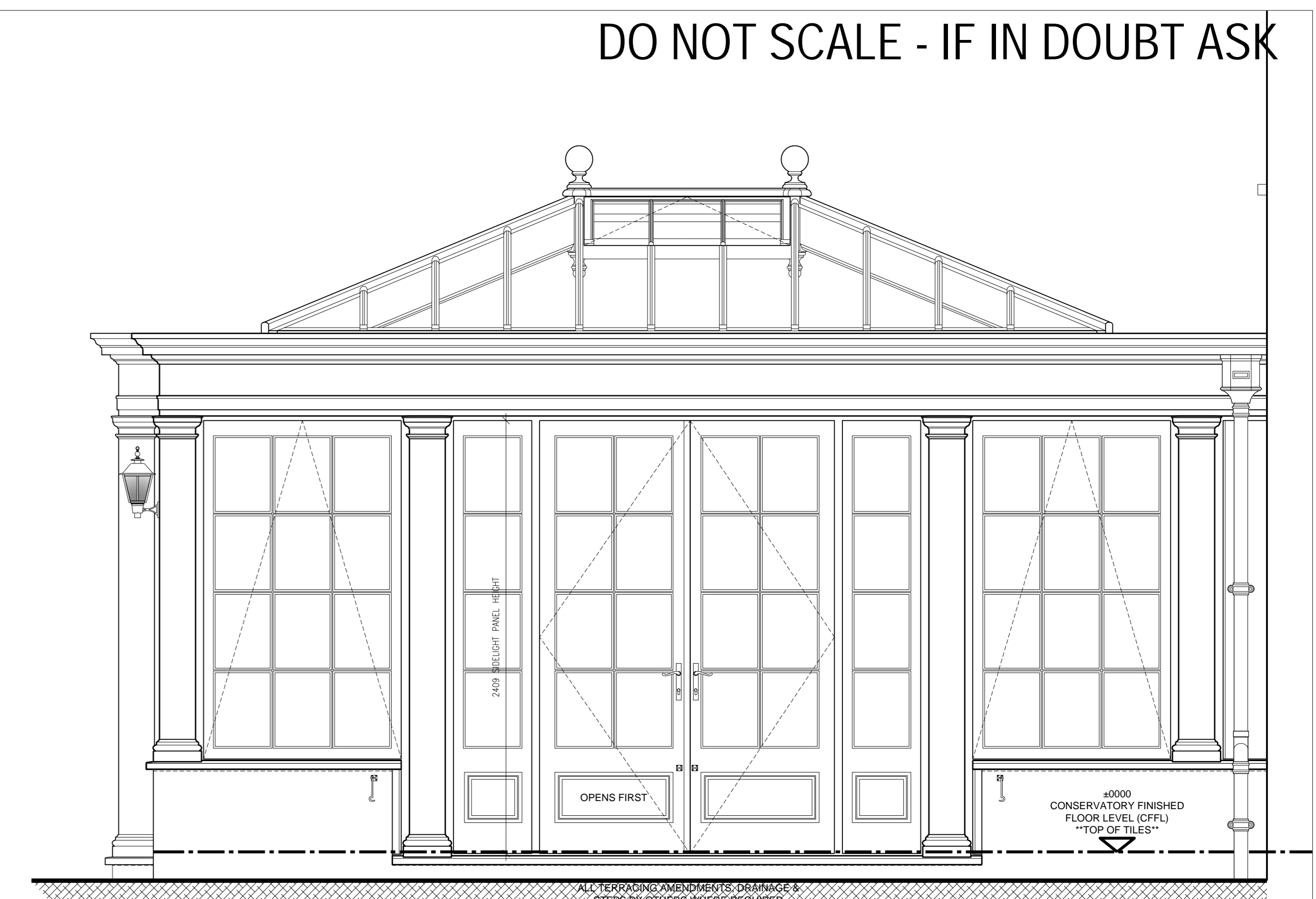
*No works involving the construction of the replacement extension shall take place until continuous cross section drawings to a scale of 1:2 both horizontally and vertically through the windows, doors and structure to be used (including details of panels, glazing, glazing bars, sills, heads and methods of opening) have been submitted to and approved in writing with the LPA. Unless otherwise approved in writing by the LPA all glazing shall be face puttied. The works shall be carried out in complete accordance with the approved details.*



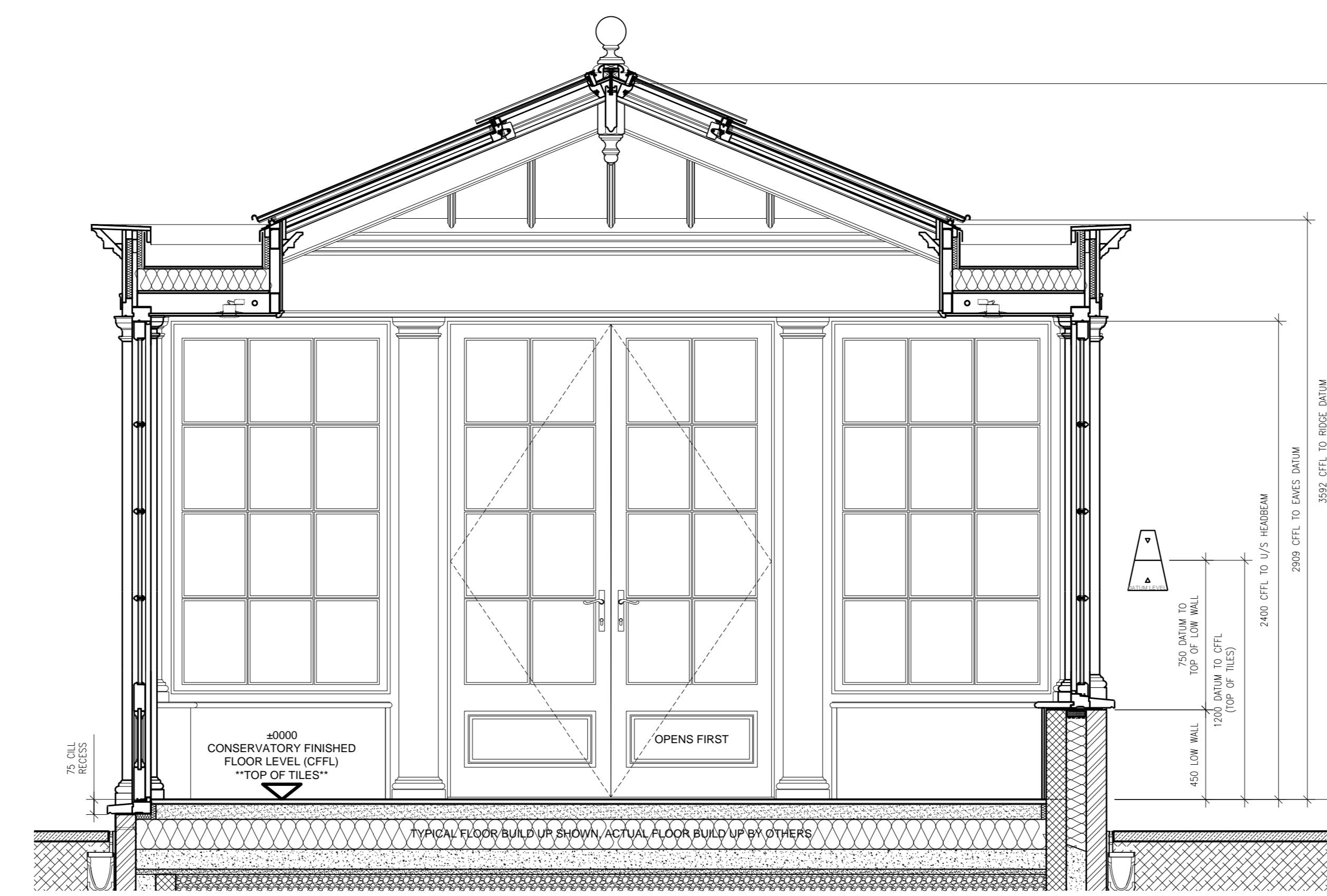
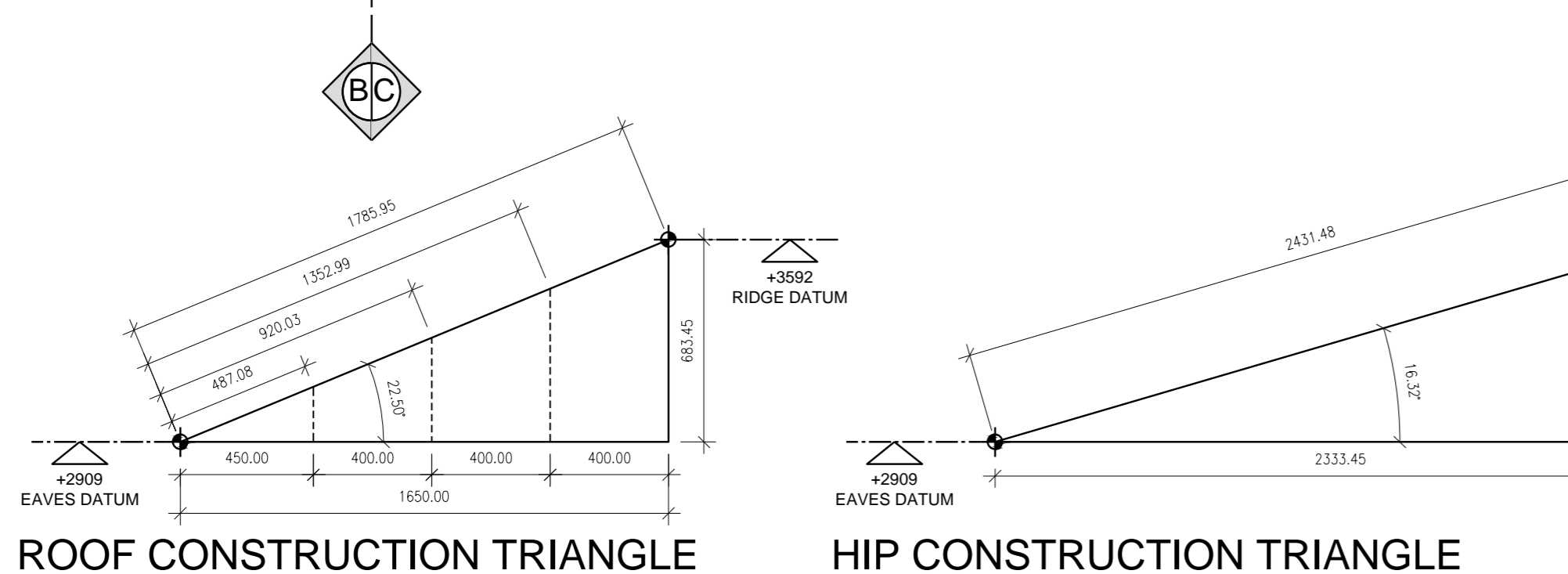
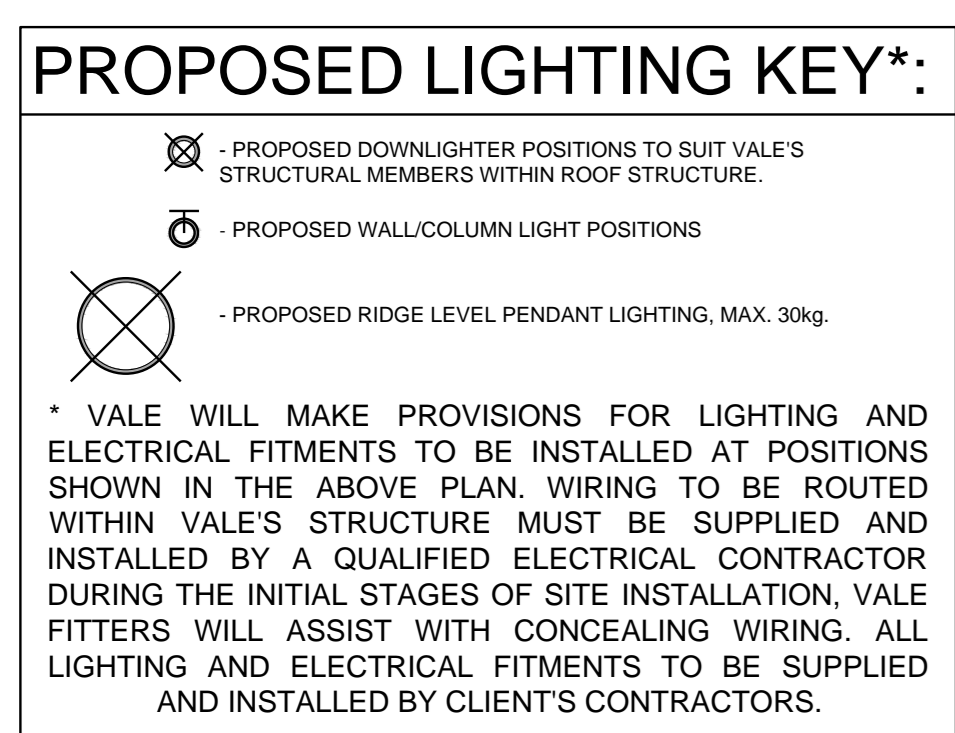
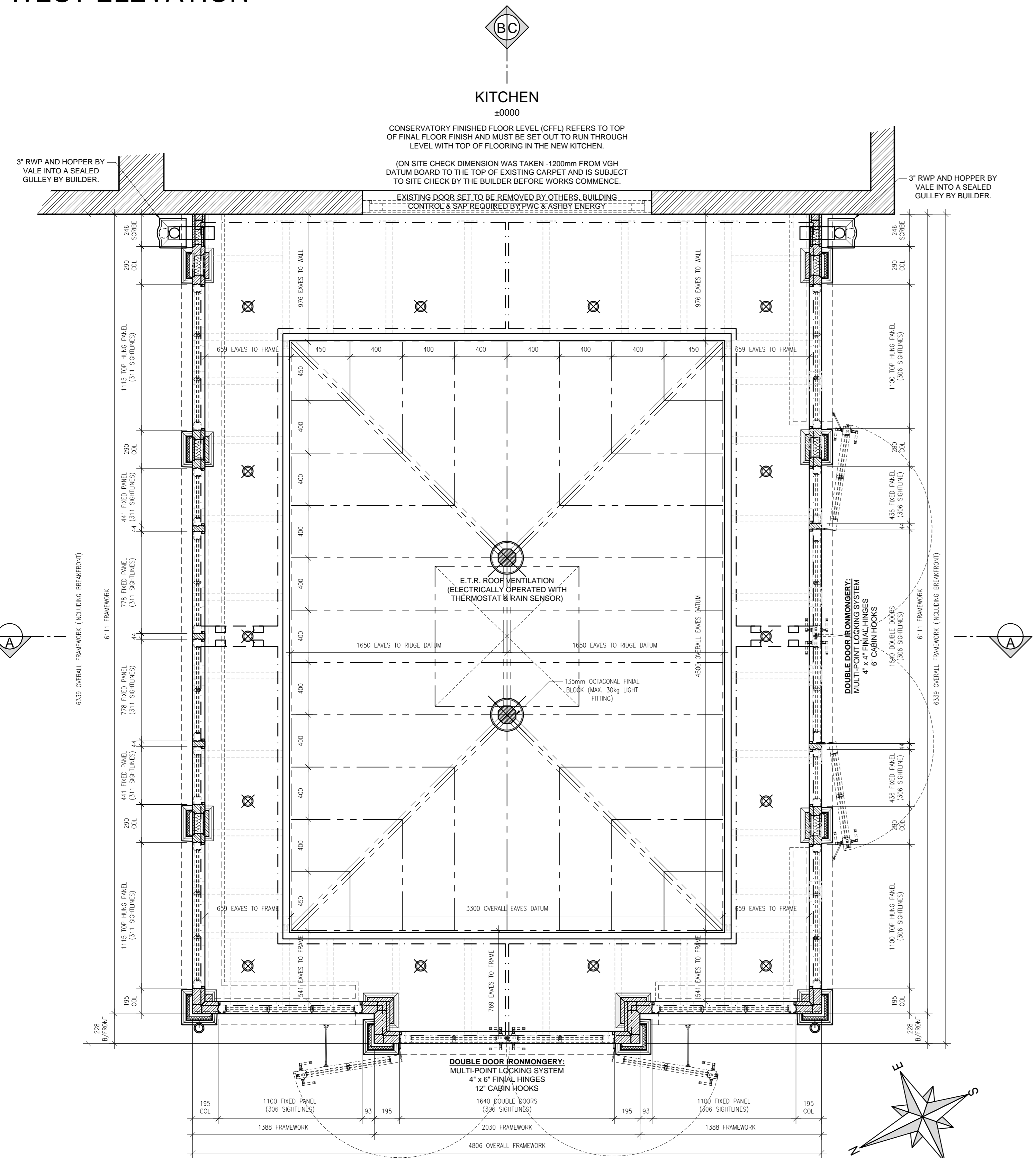
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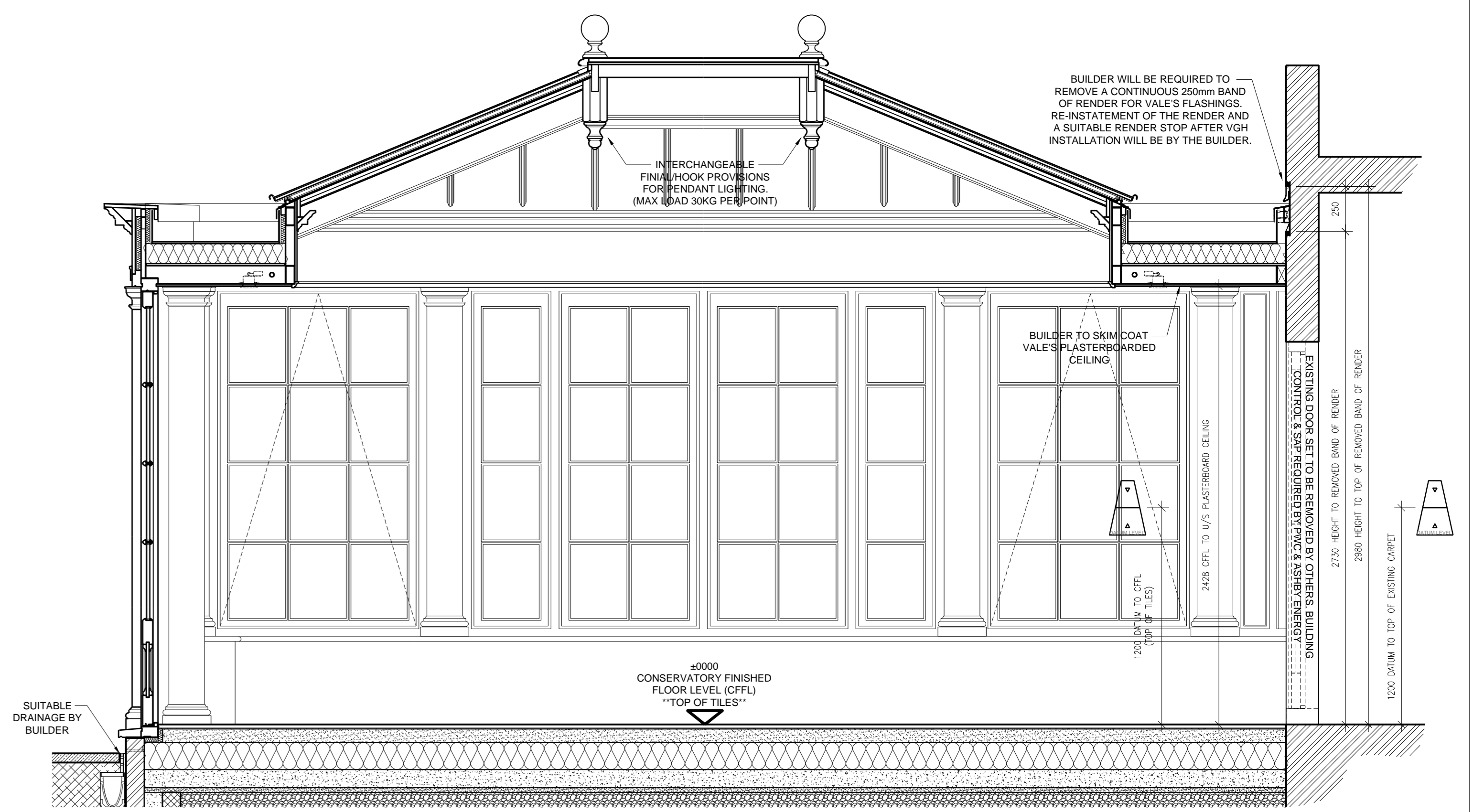
NORTH ELEVATION



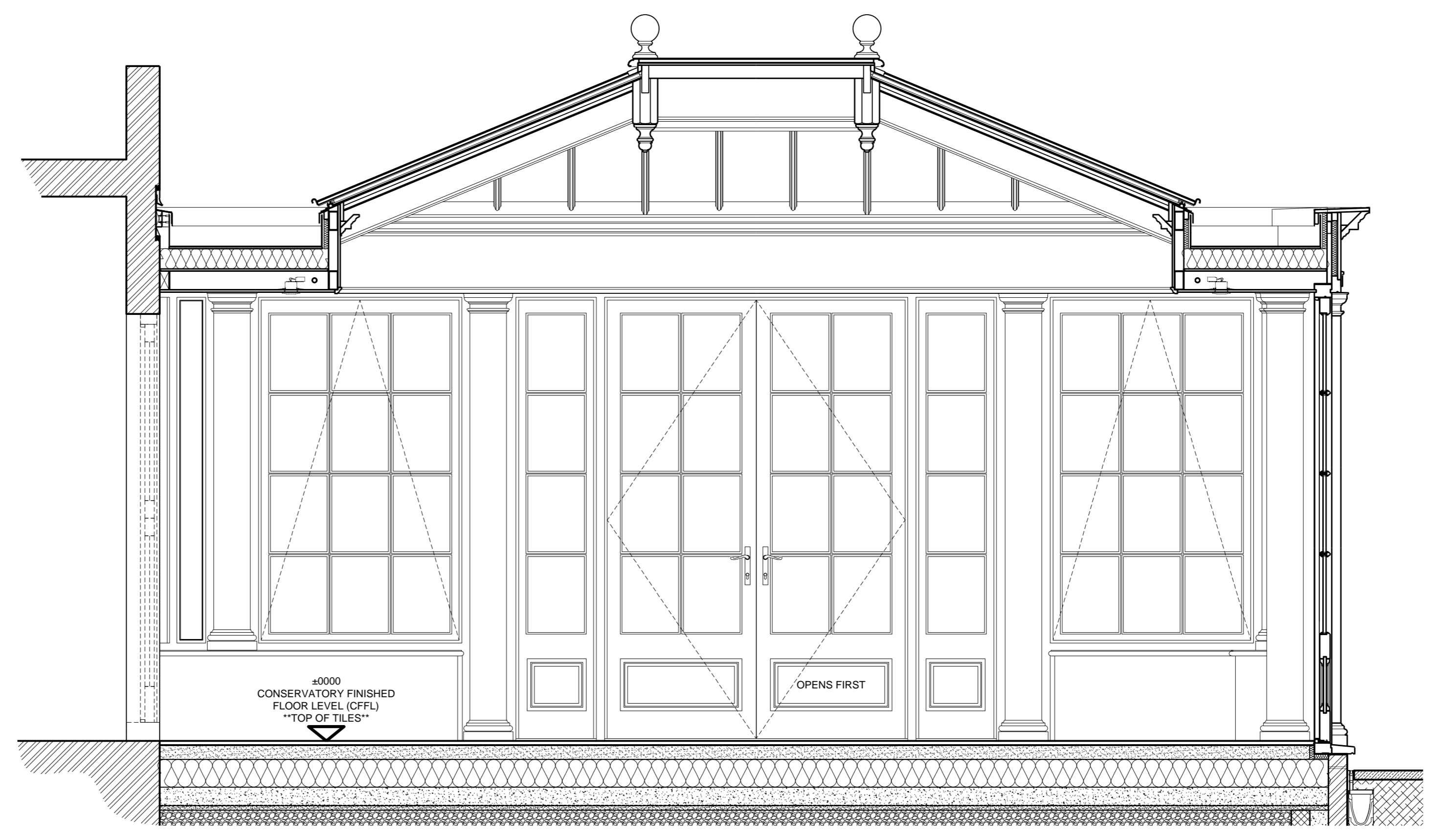
SOUTH ELEVATION



SECTION A - A



SECTION B - B



SECTION C - C

**VALE GARDEN HOUSES LTD**  
 LONDONTHORPE ROAD  
 GRANTHAM  
 LINCOLNSHIRE, NG31 8SJ  
 TEL: 01476 84453 FAX: 01476 87555

NOTE:  
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|      |            |                |
|------|------------|----------------|
| Rev: | Date:      | Details:       |
| A    | 27-09-2022 | Approval issue |

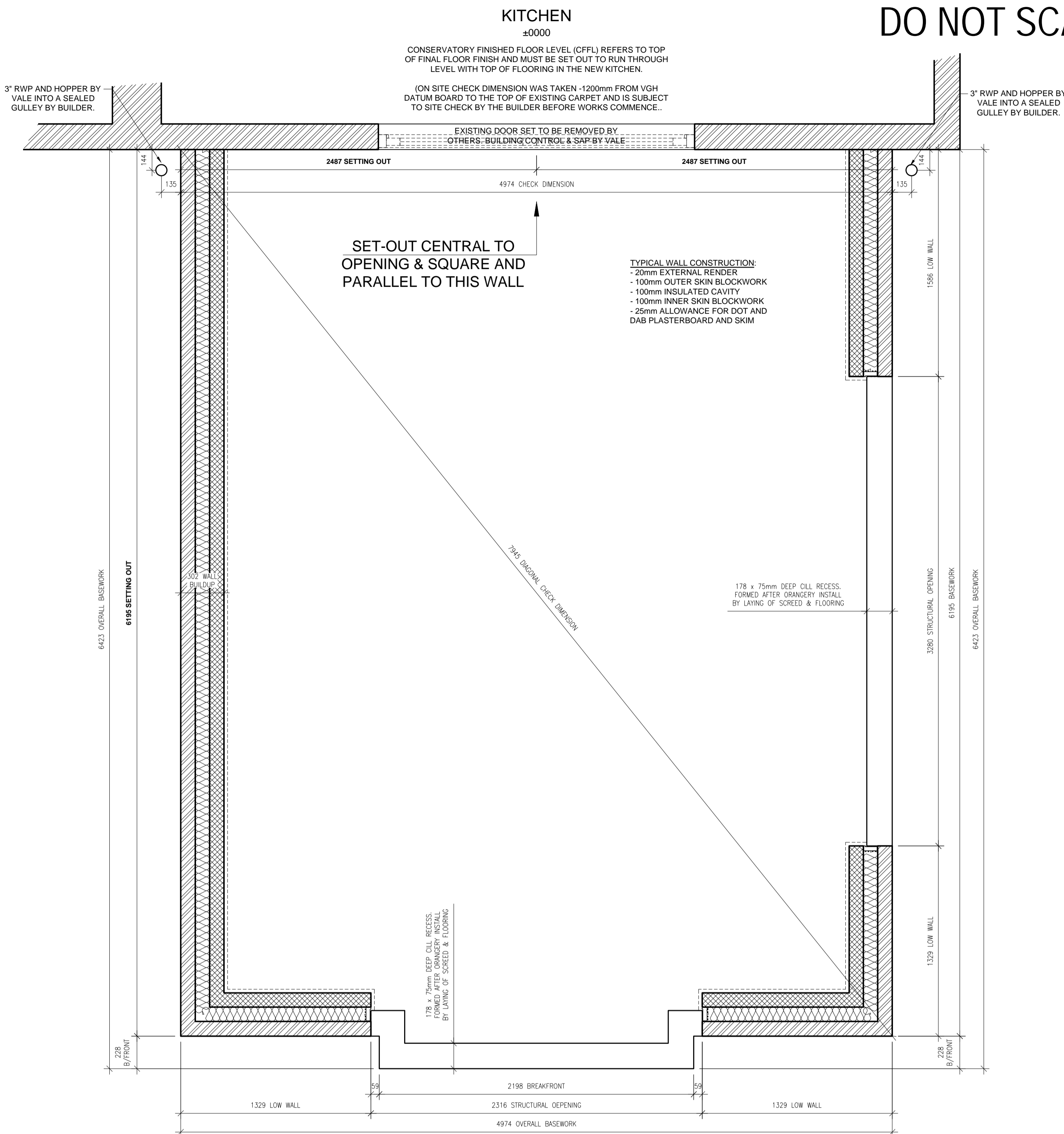
Client:  
**Dr R Le Dieu & Mr B Penn**  
 Address:  
 The Old Rectory, Wince, CD10 8UG

Title:  
**Main Plan, Elevations & Sections**

|             |             |
|-------------|-------------|
| Scale:      | Date:       |
| 1 : 20 @ A0 | 26-08-2022  |
| Drawn By:   | Checked By: |
| RB          | MD          |

|             |            |
|-------------|------------|
| Drawing No: | LED2695/01 |
| Revision:   | A          |

DO NOT SCALE - IF IN DOUBT ASK

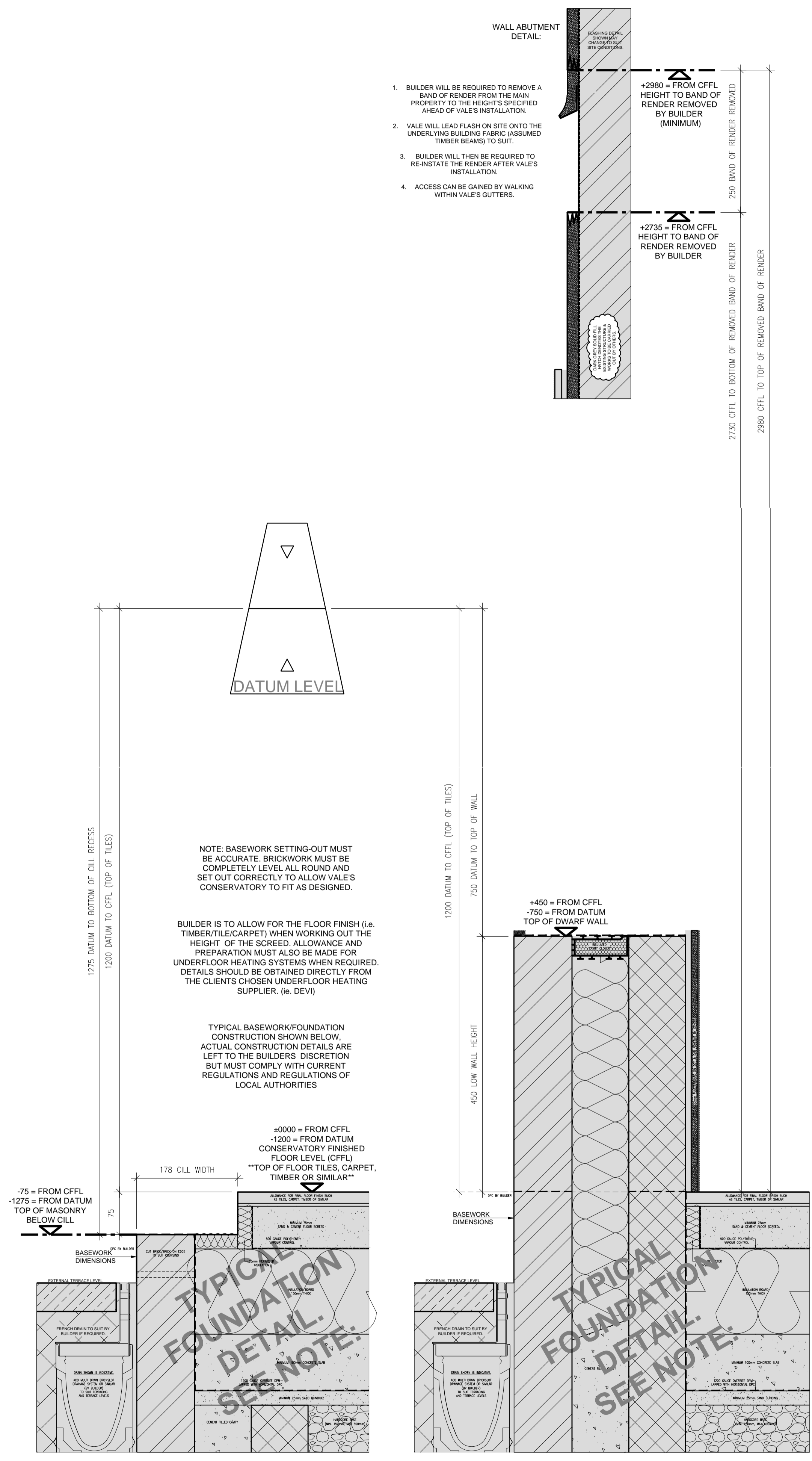


**IMPORTANT SETTING-OUT INFORMATION:**

- VALE'S STRUCTURE WILL BE FULLY ASSEMBLED IN OUR FACTORY TO EXACT PLANNED DIMENSIONS, THEREFORE IT IS ESSENTIAL THAT ALL SETTING OUT DIMENSIONS ARE FOLLOWED PRECISELY AND ALL WALLS ARE LEVEL AND PLUMB.
- WHERE VALE GARDEN HOUSE DRAWINGS SHOW WORKS TO BE CARRIED OUT BY OTHERS, THIS IS SHOWN FOR CRITICAL SETTING OUT INFORMATION ONLY. ACTUAL DESIGN, CONSTRUCTION METHODS & FINISHES ARE THE SOLE RESPONSIBILITY OF THE APPOINTED CONTRACTOR, MUST BE IN ACCORDANCE WITH RELEVANT PERMISSIONS & BE APPROVED BY THE CLIENT. ALL DETAILS MUST COMPLY WITH CURRENT LEGISLATION & BUILDING CONTROL.
- VGH DATUM TO FINISHED FLOOR LEVEL MUST BE CHECKED ON SITE AHEAD OF ANY WORK BEING CARRIED OUT RELATIVE TO THIS POINT. ANY DISCREPANCY FOUND BEYOND +/- 7mm MUST BE REPORTED BACK TO VGH IMMEDIATELY.
- ALL BASEWORK SETTING-OUT DIMENSIONS SHOWN ARE TAKEN TO THE FRONT FACE OF OUTER SKIN OF BRICKWORK. (REFER TO CONSERVATORY CILL AND LOW WALL SECTION FOR FURTHER DETAILS.)
- CONSERVATORY BASEWORK TO BE SET OUT PERPENDICULAR TO HOUSE WALLS.
- CONSERVATORY FINISHED FLOOR LEVEL (CFFL) REFERS TO TOP OF FINAL FLOOR FINISH AND MUST BE SET OUT TO RUN THROUGH LEVEL WITH TOP OF FLOORING IN THE NEW KITCHEN.  
  
(ON SITE CHECK DIMENSION WAS TAKEN -1200mm FROM VGH DATUM BOARD TO THE TOP OF EXISTING CARPET AND IS SUBJECT TO SITE CHECK BY THE BUILDER BEFORE WORKS COMMENCE..)
- IF ANY OF YOUR PHYSICAL DIMENSIONS DIFFER TO THOSE ON THE DRAWING IT IS IMPERATIVE YOU CONTACT VALE GARDEN HOUSES IMMEDIATELY.

**ADDITIONAL NOTES:-**

- CHECK ALL DIMENSIONS.
- FOUNDATION CONSTRUCTION IS LEFT TO THE BUILDER'S DISCRETION, BUT MUST COMPLY WITH LOCAL BUILDING REGULATIONS.
- CONTRACTOR MUST LEAVE A CLEAR, LEVEL, 1.5 MTR PERIMETER AROUND BASEWORK FOR VGH TO FIT CONSERVATORY.
- CONTRACTOR MUST LEAVE AN INTERNAL LEVEL PLATFORM (PREFERABLY CONCRETE SLAB) ON WHICH TO WORK.
- ALL VENTS, OVERFLOWS, SOIL PIPES AND INSPECTION COVERS TO BE CONTRACTORS RESPONSIBILITY TO RE-POSITION OR REMOVE.
- WHERE APPROPRIATE (TYPICALLY WHERE THERE IS NO THERMAL SEPARATION BETWEEN THE CONSERVATORY AND THE PROPERTY), BUILDER MUST REFER TO THE SAP ENGINEERS REPORT AS HIGHER THAN NORMAL THERMAL PROPERTIES MAY BE REQUIRED WITHIN THE FLOOR & WALL BUILD UP TO OFFSET THE HIGH AMOUNTS OF GLAZING & MINIMISE ANY TRADE OFFS WITHIN THE PROPERTY.
- IF CAVITY TRAYS ARE REQUIRED TO SUIT LOCAL AUTHORITIES, THESE ARE THE SOLE RESPONSIBILITY OF THE BUILDING CONTRACTOR. ANY ADDITIONAL INFORMATION IN REGARD TO ABUTMENT FLASHING HEIGHTS etc. ARE AVAILABLE FROM VGH UPON REQUEST.
- IT IS THE BUILDERS RESPONSIBILITY TO NOTIFY THE CLIENT IF MASONRY ABOVE & AROUND VGH STRUCTURE IS IN POOR CONDITION &/OR SHOWING SIGNS OF MOISTURE INGRESS & IN NEED OF REPAIR. CORRECTIVE WORKS IN THESE AREAS SHOULD BE CARRIED OUT AHEAD OF GARDEN ROOM INSTALLATION.
- WHERE REQUIRED, IT IS THE RESPONSIBILITY OF THE BUILDER TO CONTACT THE APPOINTED BUILDING CONTROL AUTHORITY TO ARRANGE INSPECTIONS.
- ALL ERRORS AND OMISSIONS ARE EXCLUDED.



**VALE GARDEN HOUSES LTD**  
 LONDONTHORPE ROAD  
 GRANTHAM  
 LINCOLNSHIRE, NG31 9SJ  
 TEL: 01476 564433 FAX: 01476 578555

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| Rev: | Date:      | Details:           |
|------|------------|--------------------|
| A    | 29-09-2022 | - Production issue |

Client:  
**Dr R Le Dieu & Mr B Penn**  
 Address:  
 The Old Rectory, Wixoe,  
 CO10 8UG

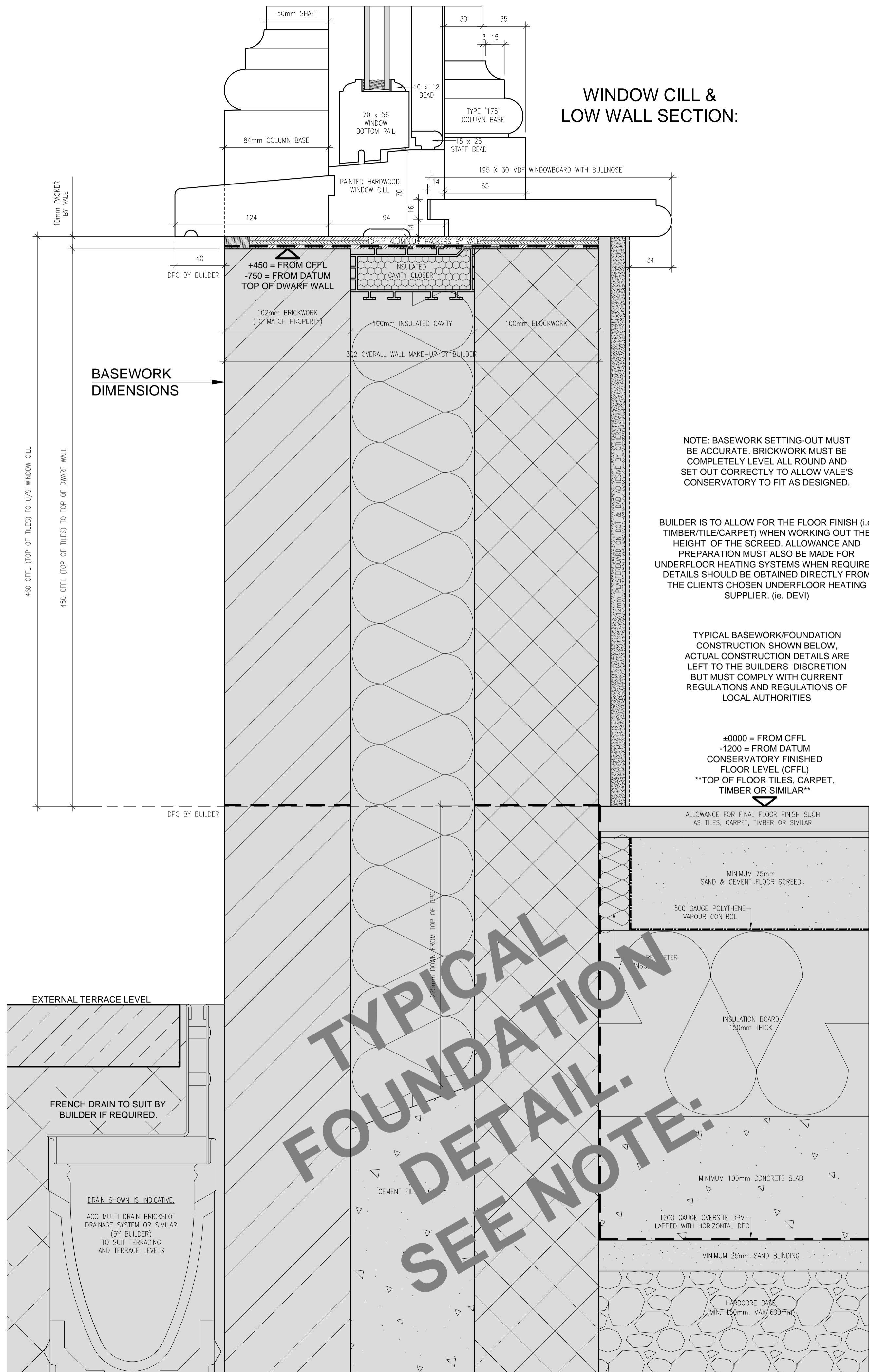
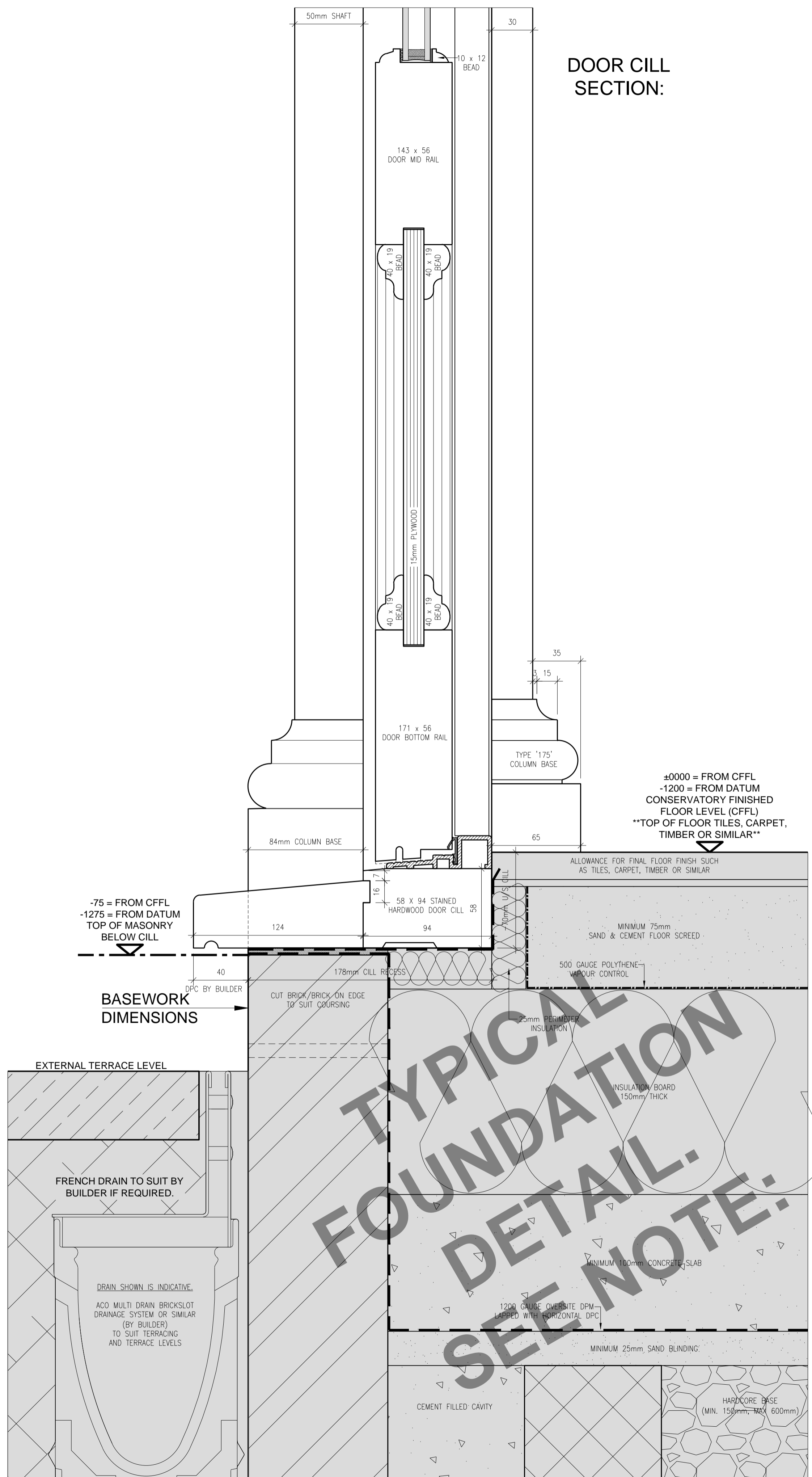
Title:  
**Basework Setting Out**

|           |                 |             |            |
|-----------|-----------------|-------------|------------|
| Scale:    | 1:20 & 1:5 @ A1 | Date:       | 29-09-2022 |
| Drawn By: | RB              | Checked By: | NF         |

Drawing No.  
**LED2695/02**  
 Revision: | A |



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NOTE: BASEWORK SETTING-OUT MUST BE ACCURATE. BRICKWORK MUST BE COMPLETELY LEVEL ALL ROUND AND SET OUT CORRECTLY TO ALLOW VALE'S CONSERVATORY TO FIT AS DESIGNED.

BUILDER IS TO ALLOW FOR THE FLOOR FINISH (i.e. TIMBER/TILE/CARPET) WHEN WORKING OUT THE HEIGHT OF THE SCREED. ALLOWANCE AND PREPARATION MUST ALSO BE MADE FOR UNDERFLOOR HEATING SYSTEMS WHEN REQUIRED. DETAILS SHOULD BE OBTAINED DIRECTLY FROM THE CLIENT'S CHOSEN UNDERFLOOR HEATING SUPPLIER. (i.e. DEVI)

TYPICAL BASEWORK/FOUNDATION CONSTRUCTION SHOWN BELOW. ACTUAL CONSTRUCTION DETAILS ARE LEFT TO THE BUILDERS DISCRETION BUT MUST COMPLY WITH CURRENT REGULATIONS AND REGULATIONS OF LOCAL AUTHORITIES

**VALE GARDEN HOUSES LTD**  
LONDONTHORPE ROAD  
GRANTHAM  
LINCOLNSHIRE, NG31 9SJ  
TEL: 01476 564433 FAX: 01476 578555

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|------|------------|------------------|
| A    | 29-09-2022 | Production issue |

Client:  
**Dr R Le Dieu & Mr B Penn**

Address:  
The Old Rectory, Wixoe,  
CO10 8UG

Title:  
**Cill & Low Wall Detail**

Scale: 1 : 2 @ A1 Date: 29-09-2022  
Drawn By: RB Checked By: NF

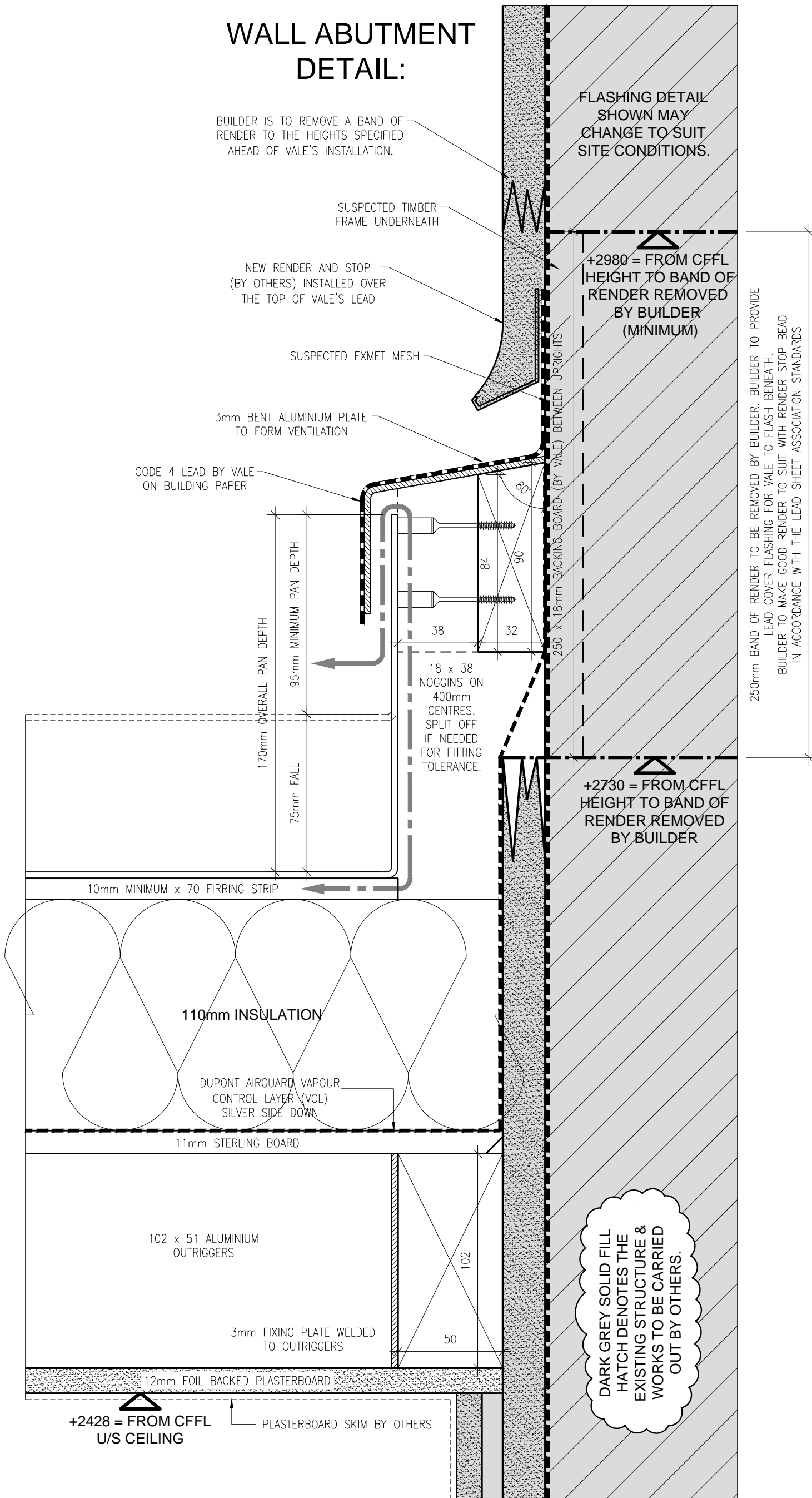
Drawing No:  
**LED2695/03**

Revision: A



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WALL ABUTMENT  
DETAIL:



**VALE  
GARDEN  
HOUSES  
LTD**

LONDONTHORPE ROAD  
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LINCOLNSHIRE, NG31 9SJ  
TEL: 01476 564433 FAX: 01476 578555

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| Rev: | Date:      | Details:           |
|------|------------|--------------------|
| A    | 29-09-2022 | - Production issue |

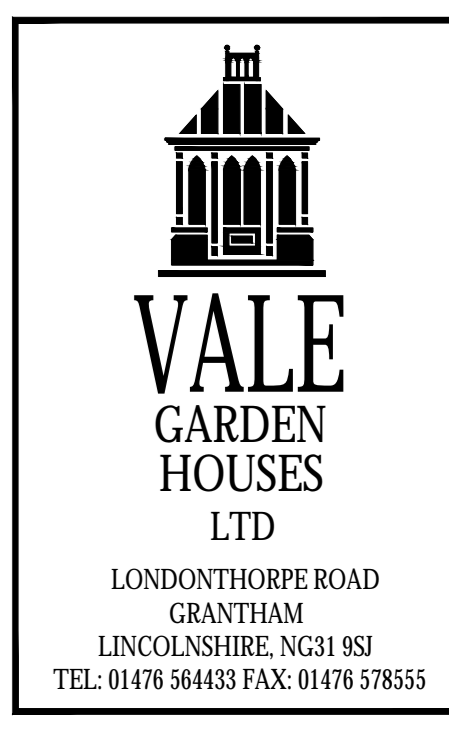
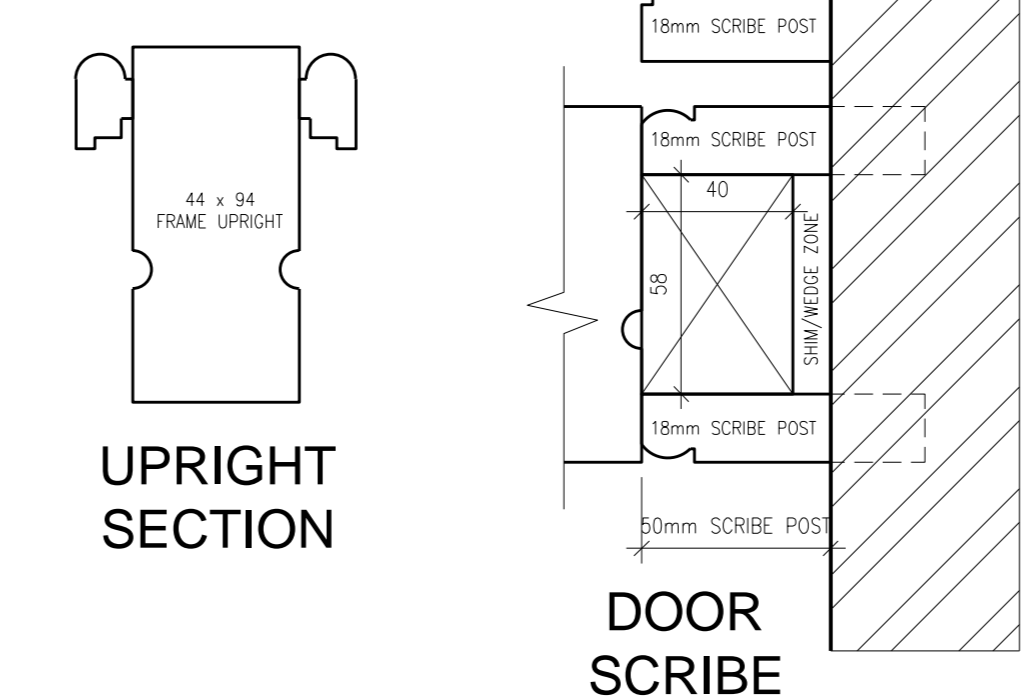
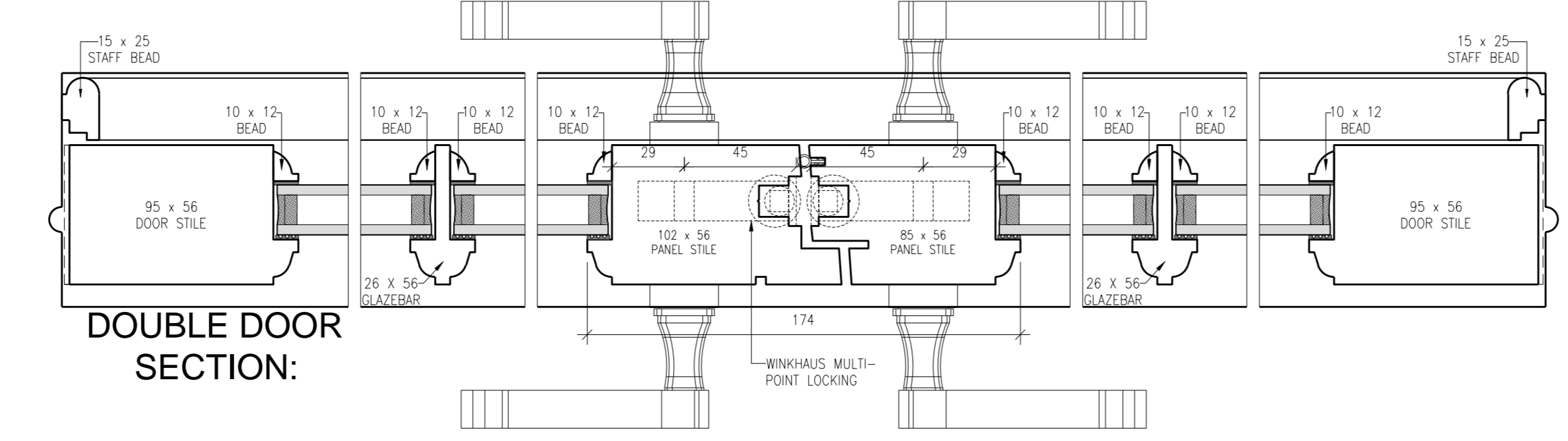
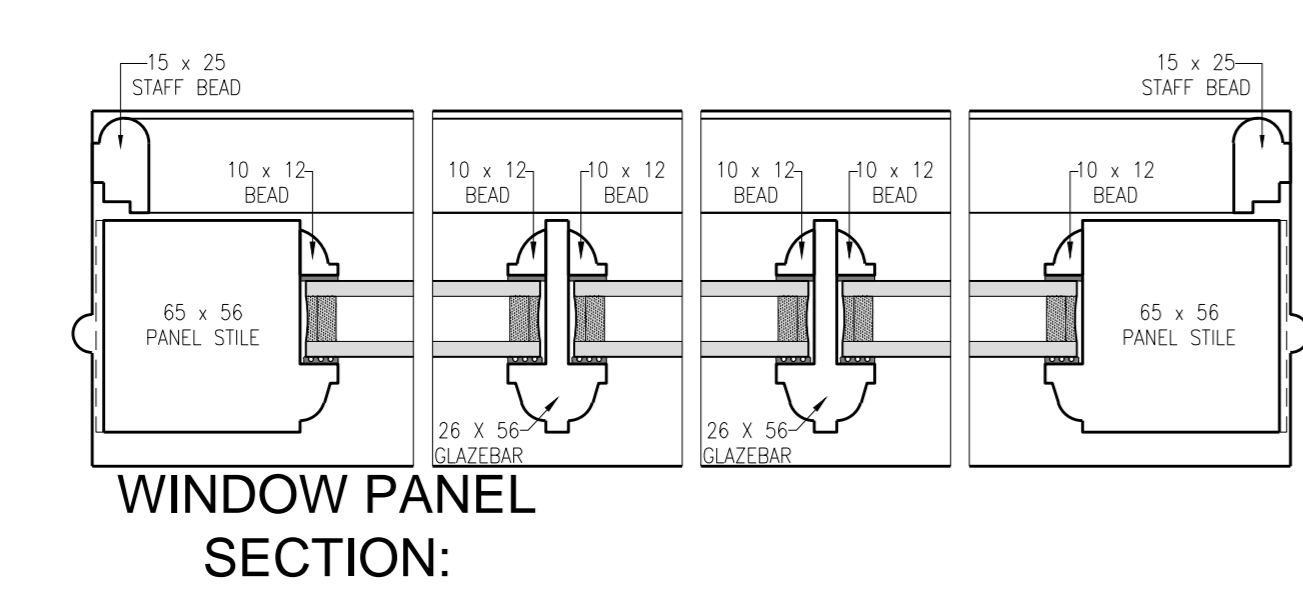
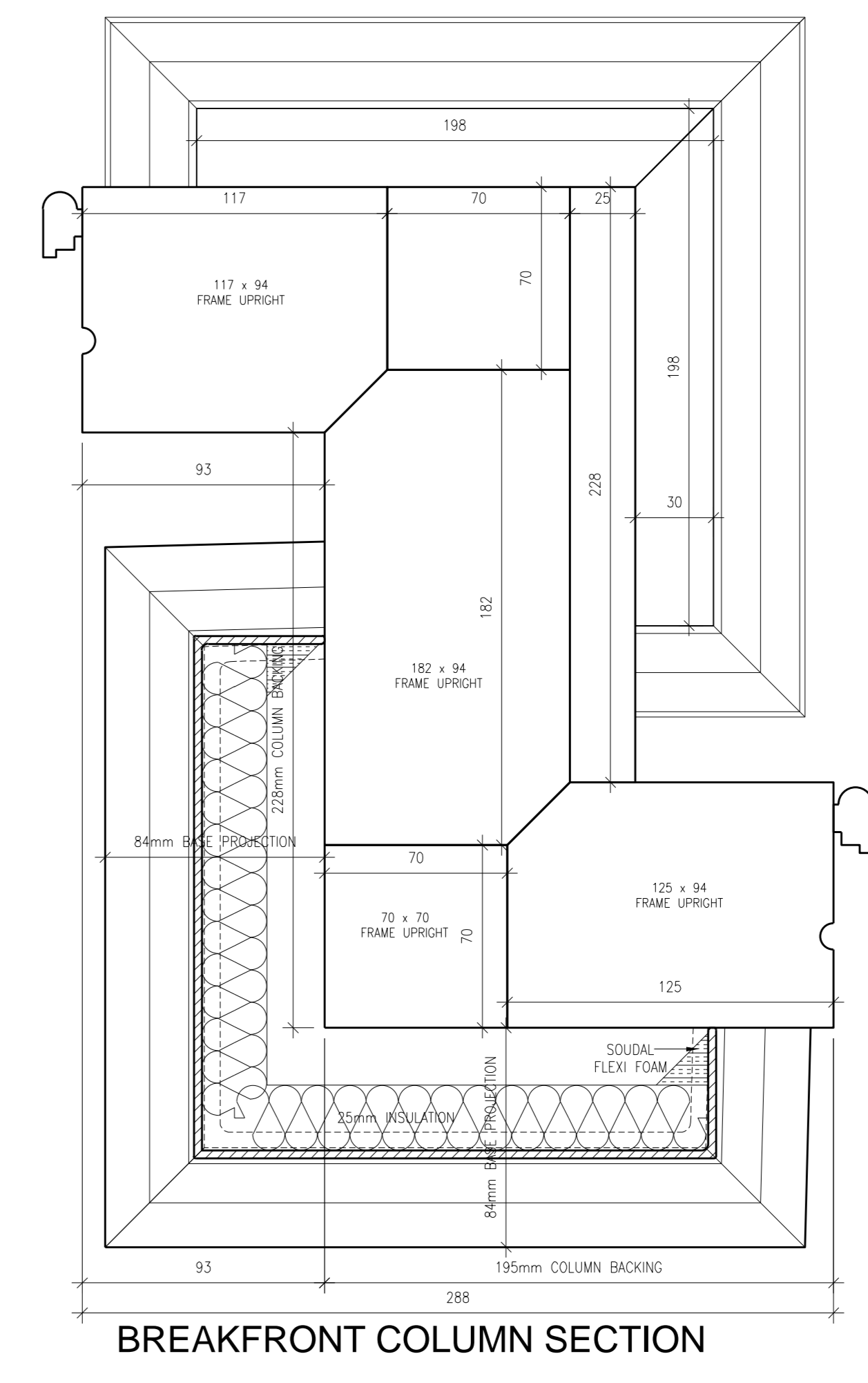
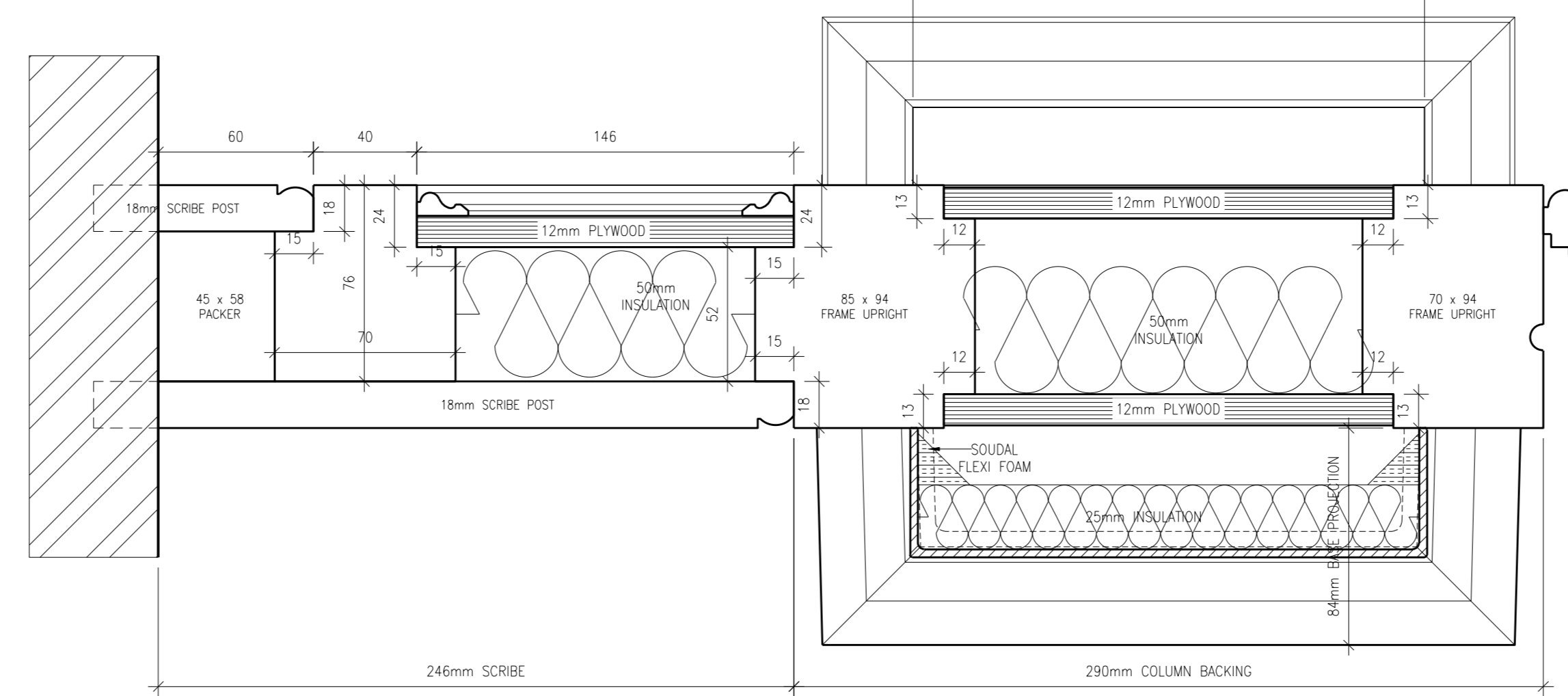
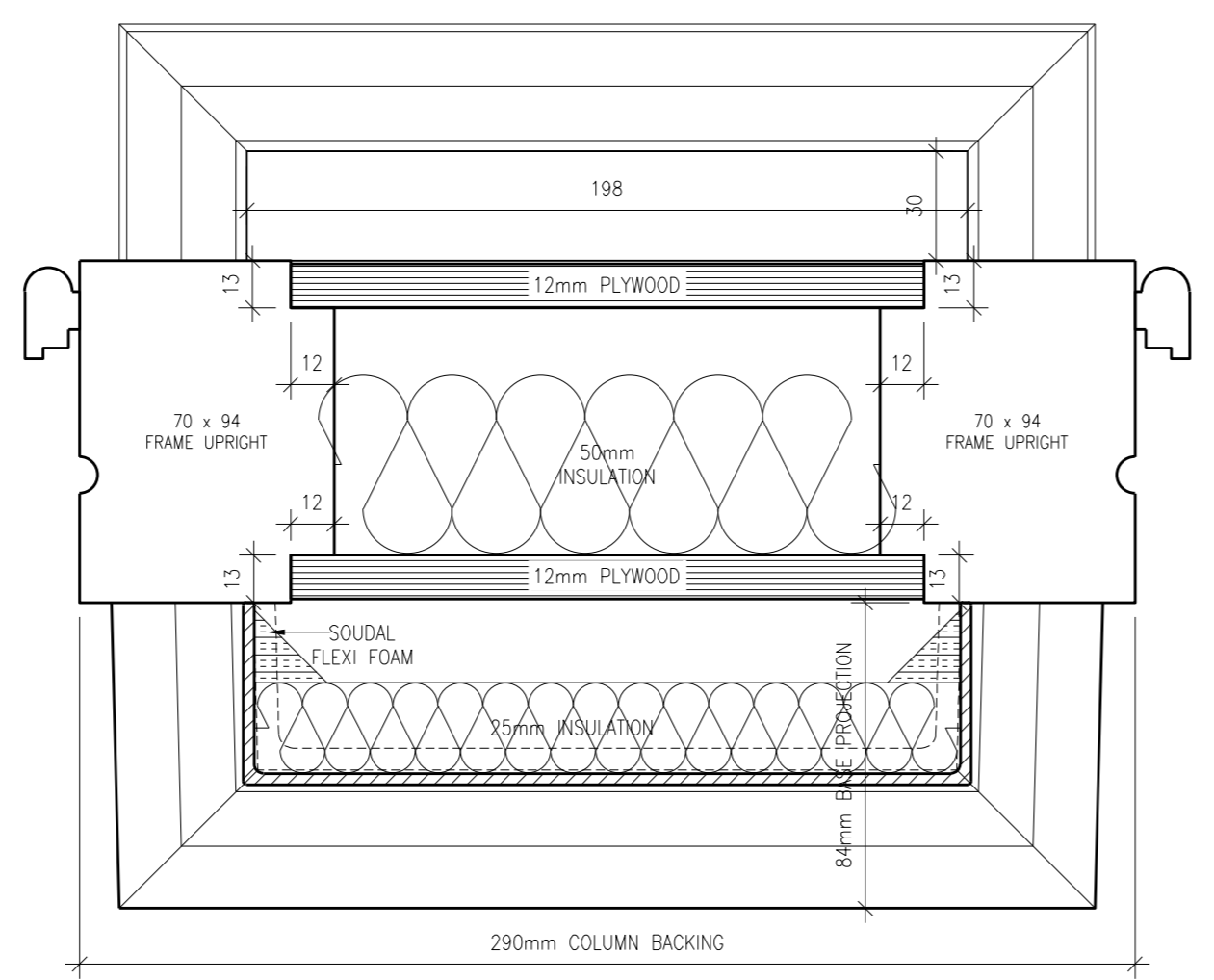
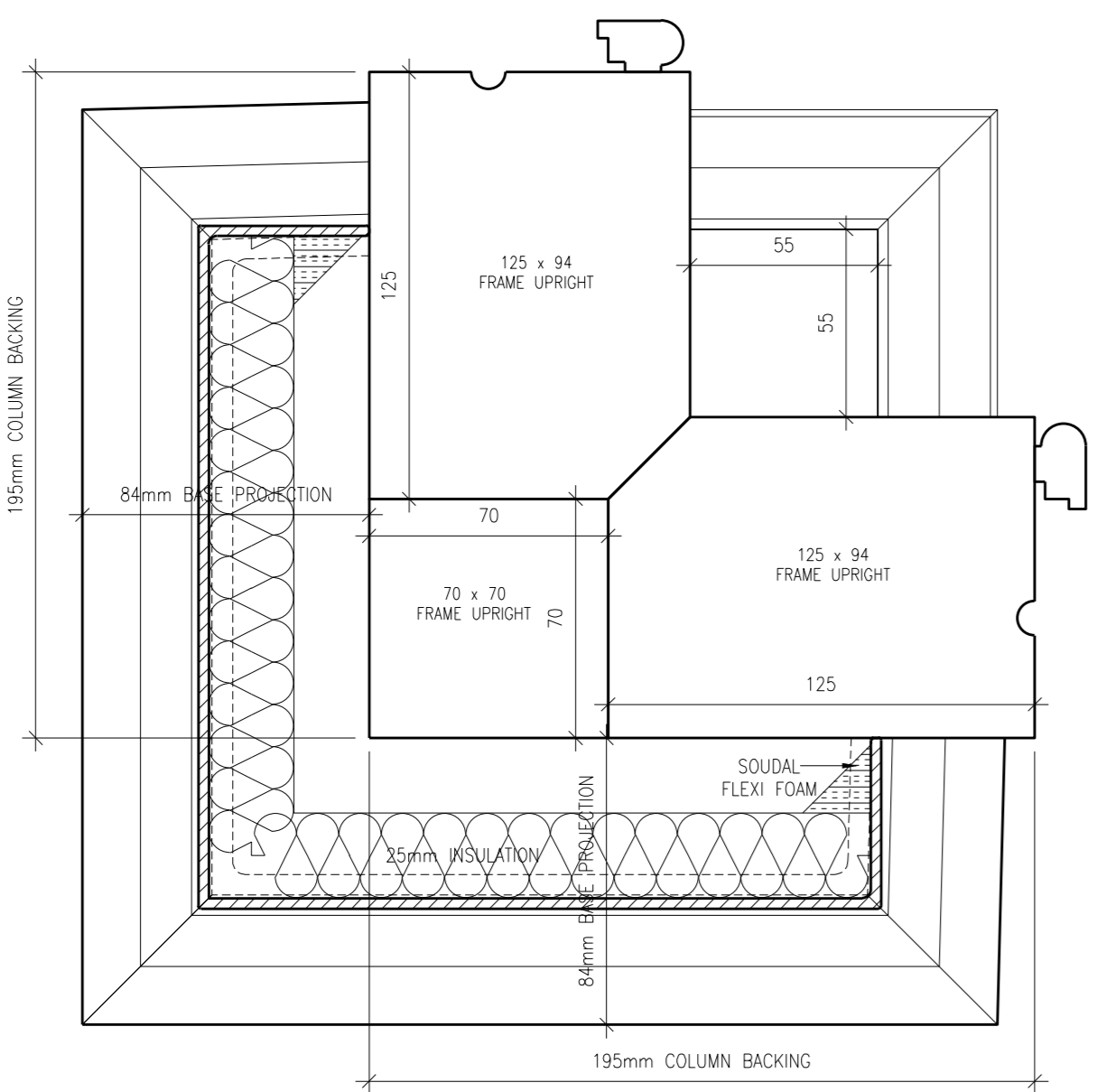
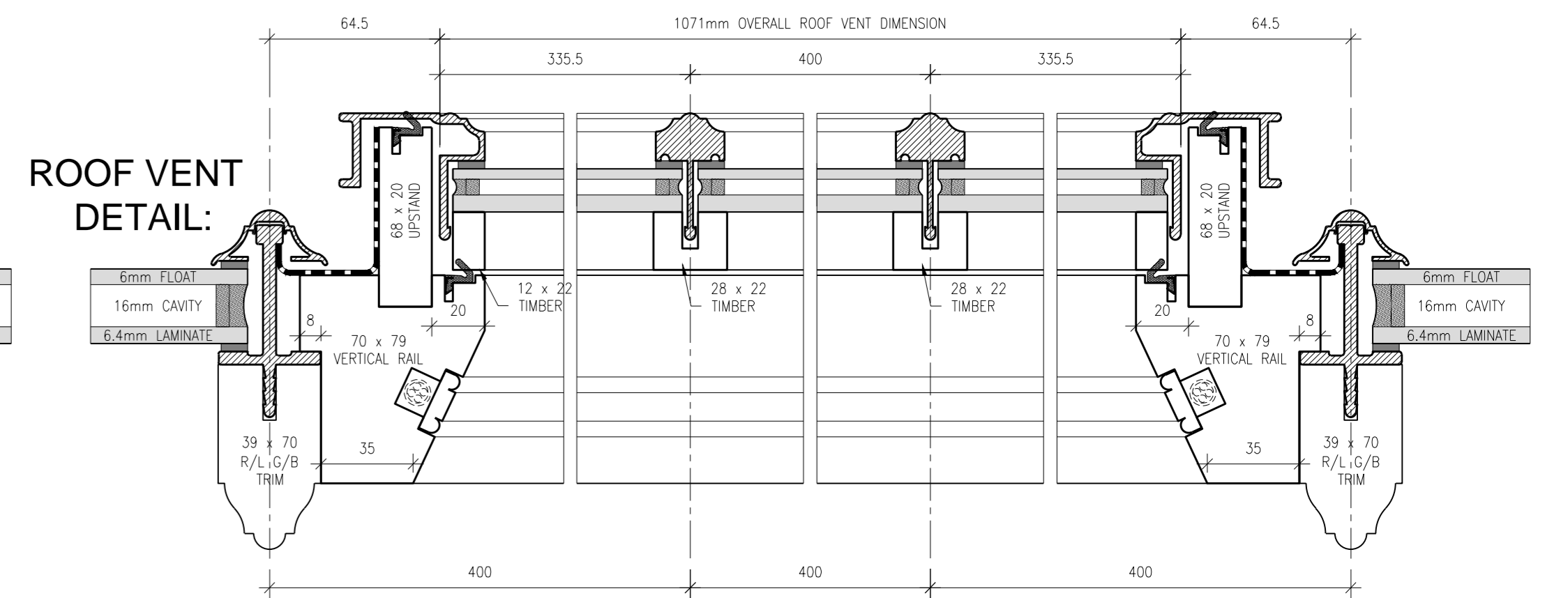
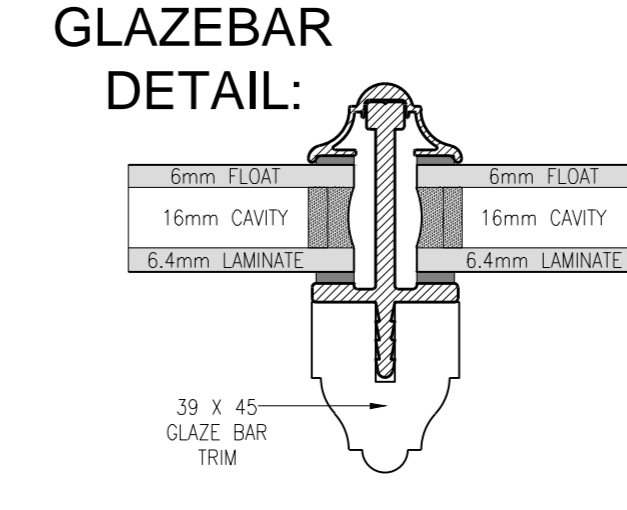
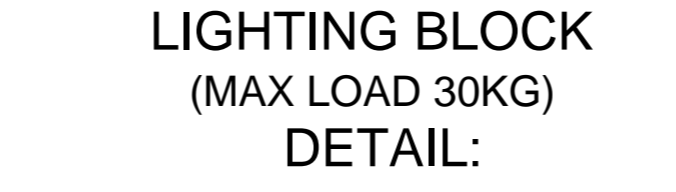
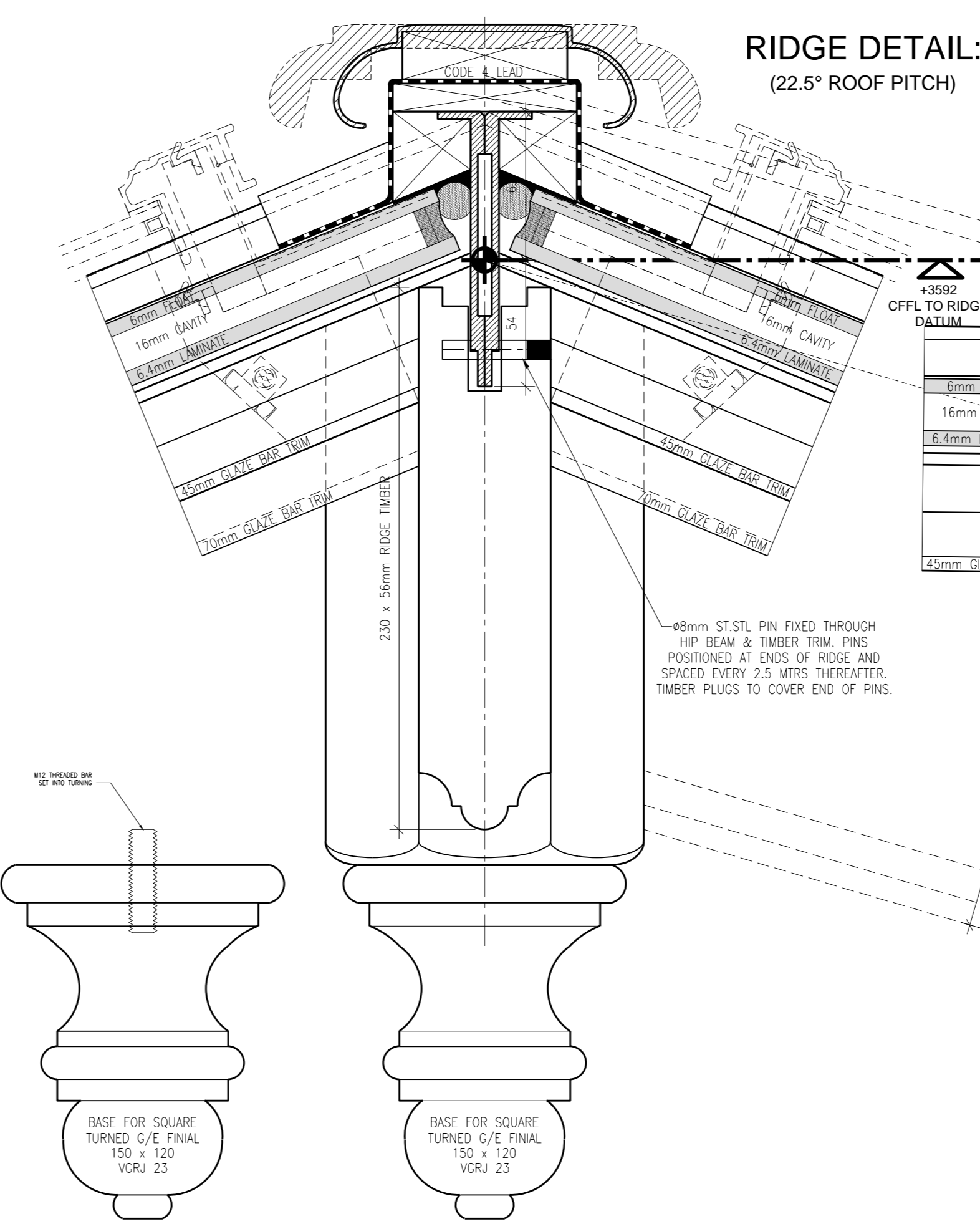
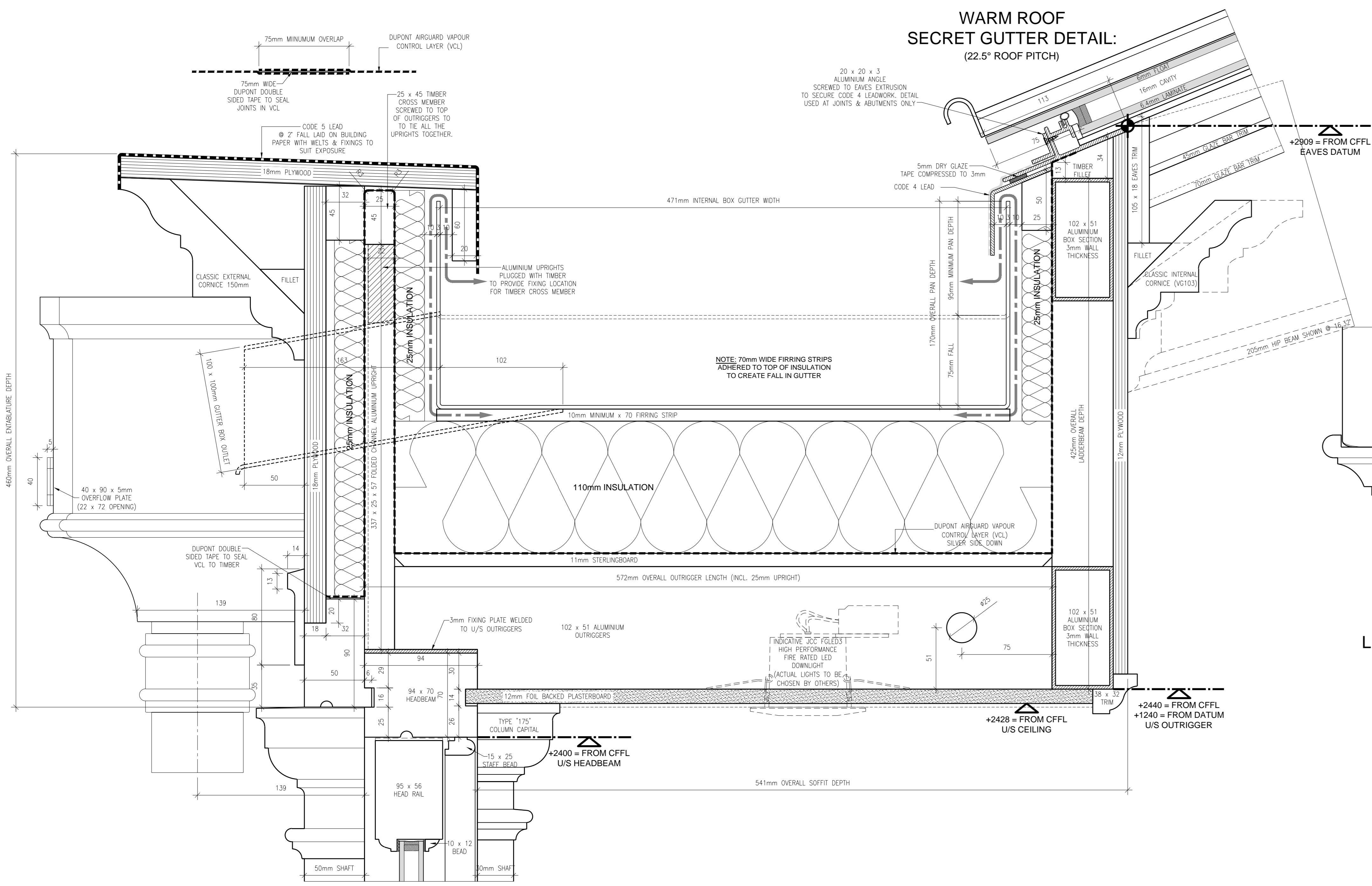
Client:  
**Dr R Le Dieu & Mr B Penn**

Address:  
The Old Rectory,  
Wixoe, CO10 8UG

Title:  
**Wall Abutment Detail**

|                      |                     |
|----------------------|---------------------|
| Scale:<br>1 : 2 @ A3 | Date:<br>29-09-2022 |
| Drawn By:<br>RB      | Checked By:<br>NF   |

|                                  |
|----------------------------------|
| Drawing No.<br><b>LED2695/04</b> |
| Revision:<br>A                   |



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| Rev: | Date:      | Details:         |
| A    | 29-09-2022 | Production issue |

Client: Dr R Le Dieu & Mr B Penn  
Address: The Old Rectory, Wince, CU10 8UG

Title: Roof & Column Details

|           |             |
|-----------|-------------|
| Scale:    | Date:       |
| 1:2 @ A0  | 29-09-2022  |
| Drawn By: | Checked By: |
| RB        | NF          |

|             |           |
|-------------|-----------|
| Drawing No: | Revision: |
| LED2695/05  | A         |