

# CLAGUE ARCHITECTS

## **Heritage and Design & Access Statement**

Proposed extension  
and alterations at  
Church Cottages, Shuart Lane,  
St Nicholas at Wade  
CT7 0NG

Clague ref: 30375A

August 2022



Church Cottages from Court Lane

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## 1.0 Introduction

Clague Architects have been appointed to prepare a Heritage and Design Statement to accompany an application in relation to the proposed extension and alterations at Church Cottages, St Nicholas at Wade, CT7 0NG



Fig 1. Church Cottages, Google Maps.



Fig 2. Church Cottages, from Shuart Lane

## 2.0 The Statutory Listings

Grade II listed:

ST NICHOLAS AT WADE SHUART LANE TR 26 NE (west side) 1/99 Nos.1&2 (Church Cottages) 25-6-71 GV II Cottage pair. Late C17 with early C19 rear wing. Red brick in irregular bond. Plain tiled roof. Two storeys and garret on plinth with plat band. Triple-segmental shaped gables and stacks to centre right and end right. Two 3 light wooden casements on first floor, and 2 on ground floor with basket-arched heads. Two boarded doors, to centre and to left, with basket-arched heads, and blocked opening to right of left end door. Alphabetical wall ties on left gable: H C.

## 3.0 The Historic and Cultural Significance of Site, Setting and Building

Church Cottages occupy a corner site at the west end of the village adjacent to the parish church.

The late 17th century brick house was likely to have been constructed as the farmhouse to Crumps Farm with a baffle entry against a substantial brick stack. The building was subsequently sub divided into two smaller cottages, involving the insertion of a second external door. A two-storey rear wing to the west and a single storey ancillary range was also added dating from the early 19th century.

The ancillary range was further extended to the west in the 20th century to form a utility room and toilet with an attached 2 bay garage.

The original brick house is typical of many in east Kent, with characteristic shaped gables in the Flemish/Dutch style representing the economic and cultural influences of the Low Countries on this part of Kent.

The openings on the east frontage have painted timber casements and boarded doors under arched heads on the ground floor. The brick built ancillary extension is plain and rather functional. The shallow pitched roof has clay pantiles on the south (outer) slope; another characteristic East Kent detail used widely on ancillary buildings. Windows and external doors are modern 20th century softwood replacements. The garage has an arrangement of sliding/folding part glazed timber doors.

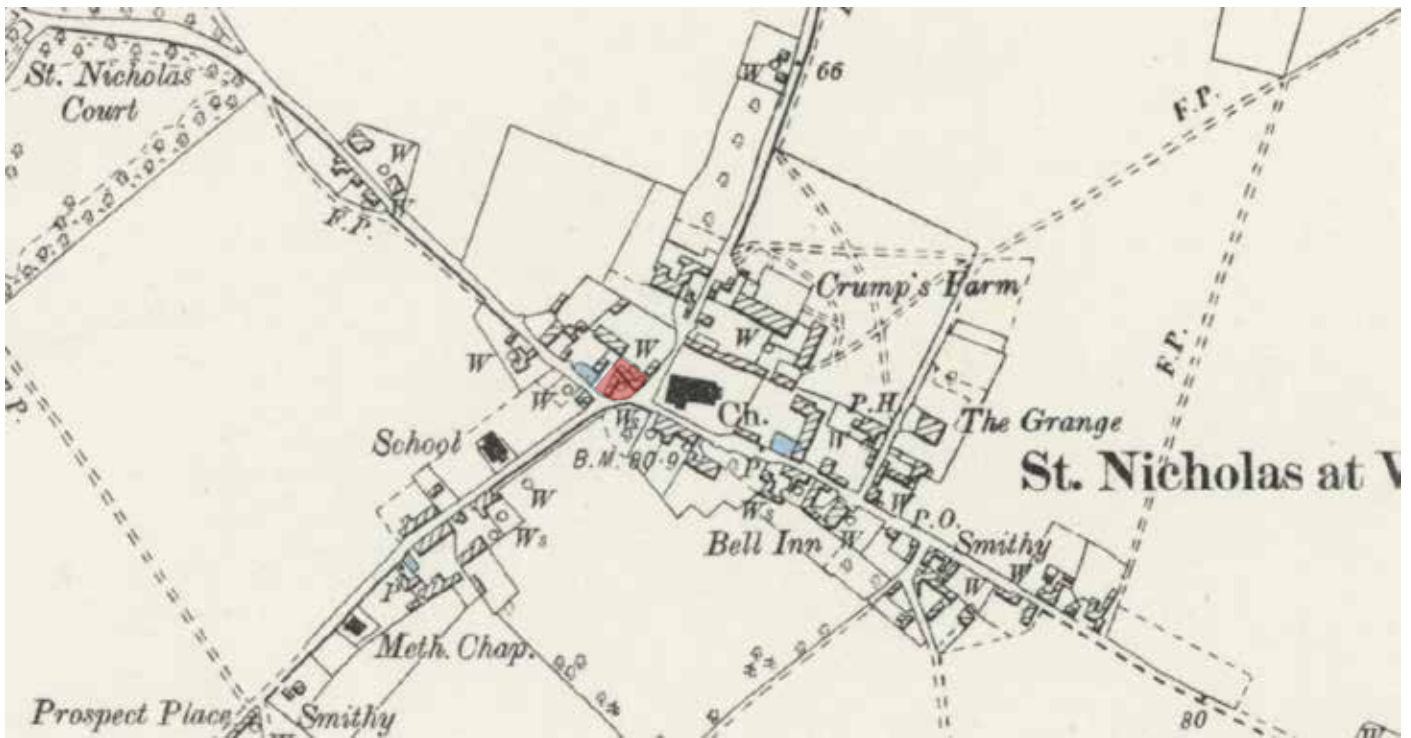


Fig 3. Church Cottages, St Nicholas at Wade, as shown on NLS historic Maps in 1896.

The site is restricted on the east side, where the building aligns with Shuart Lane. On the south side, facing Court Road, there is a small garden with mature planting set behind a low brick boundary wall. To the rear of the ancillary range there is a paved courtyard.

#### 4.0 Existing Layout/ Brief

The present layout of the house on the ground floor consists of 3 principal receptions in the main part of the house. The service wing in the ancillary extension is narrow and provides restricted space for a small kitchen with an attached utility room and toilet. There is also a change of internal floor level between the kitchen and utility room. The existing modern single glazed timber windows are inefficient and in poor condition.

The applicant wishes to provide a less restricted, workable kitchen space, with an improved utility space and toilet.

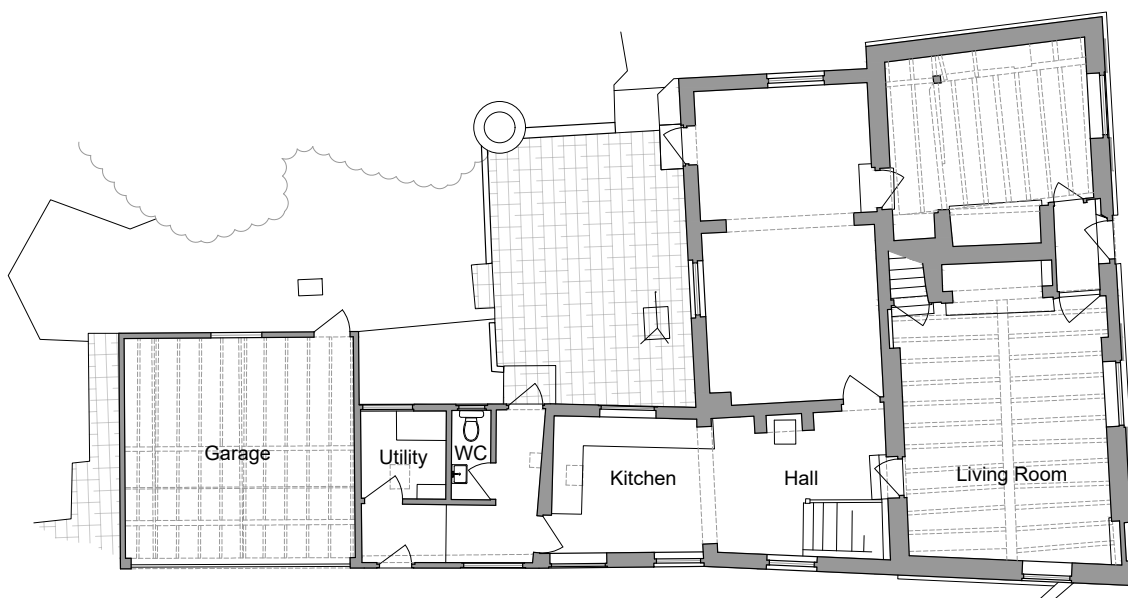


Fig 4. Church Cottages, ground floor as existing





Fig 5. View of front elevation



Fig 6. View of rear elevation

### 5.0 Proposed Extension and Alterations

To achieve the additional floor space, the proposal is to extend the present range into the courtyard by 1.6 metres, which will not significantly reduce the area of the courtyard. The intention is to extend the height of the roof to accommodate the extension by raising the ridge height at the same pitch as the existing roof. The raised roof would be clad in clay pantiles as existing, to ensure a minimal impact on the front (street) elevation. Rainwater goods to be in cast iron. New cottage style timber casement windows and external doors in revised openings are proposed to replace the existing modern singled glazed softwood windows. Windows to be double



Fig 7. Proposed scheme with extension and alterations coloured pink.

glazed painted softwood with slimlite glazing.

New external door on street elevation to be a solid boarded door. Double glazed pair of external doors gaining access to the courtyard. It is not intended to alter the existing garage.

Internally, the proposal includes the removal of existing partition walls and the levelling of floors to provide a workable space with better natural light and direct access to the inner courtyard via a pair of glazed doors.

The ceiling is to be taken up to the new ridge line. All drainage and service installations will be routed to the existing connections. In addition, the proposal includes installing a timber boarded hinged trap door over the existing steps to the basement (See figures 8 and 9).



Fig 8. View looking down towards basement entrance



Fig 9. Internal view of basement stair

## 6.0 Conclusion

The proposals provide a modern workable kitchen utility space and toilet within the less historically significant ancillary range involving a minor extension into the inner courtyard and internal alterations

Changes to the front (street) elevation will incorporate existing materials and details and have a minimal impact on form and appearance of that elevation. No changes are proposed to the older more significant parts of the house, either externally or internally. The modest proposals seek to maintain the existing hierarchy of significance between the main building and the ancillary range.