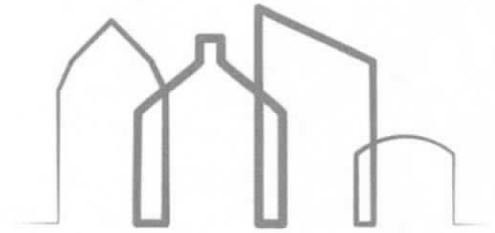


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25 February 2022

Our ref: JKD/21/11742

Mr. T. Gillingham
The Woodlands
Tannington Long Road
Brundish
IP13 8BE

email to: timgillers1@gmail.com

Proposed Alterations, The Woodlands, Brundish, IP13 8BE

Brief

G. C. Robertson & Associates Ltd. were instructed by Ms. K. Thurman on behalf of the client Mr. T. Gillingham to visit the above site and to confirm the structural modifications required at first floor level for the installation of a small window on the front elevation of the building in the Nursery.

This report should be read in conjunction with our Scope of Investigations Sheet for Private Dwellings which is attached as Appendix A.

Description

The Woodlands is a detached two storey timber framed dwelling house with a pitched thatch covered roof. The house was originally a 13th Century two-bay Aisled Hall and elements of this survive. The building is Grade I Listed.

Inspections and Investigations

The building was visited on 23 February 2022.

An inspection of the area of the proposed window was made and the layout of the main structural members in the area was noted, (see drawings 04, 05 and 06).

Assessment & Conclusions

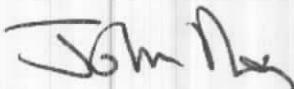
The proposed window fits between two studs on the first floor front elevation and only removal of the wattle and daub infill and installation of nominal timber trimmers between the studs will be required to fit the window.

The wall plate above the proposed window location is badly distorted at the location of a plate joint, (probably due to settlement/decay of the nearby main post), but there is no change in loading on the plate, so it is considered no remedial works will be required to the plate as a result of the window installation because most of the roof loading is at present taken by the arcade plate, thus the outer wall plate is not heavily loaded.

Consideration could be given to adding steel strapping across the plate joint should any signs of further timber distortion be noted in the future.

We are available to assist in implementing the recommendations and /or further works required as a result of any findings made. This will be subject to a separate instruction as our present involvement ends at the production of this report.

Yours sincerely
For G C Robertson and Associates Ltd



John K Davis

Enc

APPENDIX A - Scope of Investigations Sheet for Reports on Private Dwellings

DRAWING 04 – Part First Floor Plan

DRAWING 05 – Section B-B

DRAWING 06 - Elevation on C-C