



Walker Dsp Architects

848/PLA/L002

## **Planning Design and Access statement – Variation of Condition**

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**3 Lock House Lane, Earswick, York, YO32 9FT**

31.08.22

The following statement is in support of our application under Article 73 to modify the consented single story rear extension at 3 Lock House Lane, Earswick, York.

### **Background**

3 Lock House Lane, a detached two storey house that provides accommodation for the applicant family, needed some layout improvements, sent in previous planning application:

Consent was granted a single-story rear extension, new dormers and roof lights and loft conversion, under reference 21/02133/FUL obtained on 22<sup>nd</sup> November 2021

Condition 2 included the drawings of the single-story rear extension 848\_P20D, P21D, P22D, P23B, P25D, P26C, P27C.

### **Variation of condition – Rear extension**

Consented layout included a kitchen - family area with two different widths in the room. The kitchen was allocated at the narrow section, with some internal wall retained.

The amended layout proposes a much more open plan for the kitchen - family area, with a regular rectangular shape and removing the internal wall retained. Increase in the width of the kitchen allows to have a central island - breakfast bar. These changes will suit better to the family requirements.

Additional cupboard is proposed at the laundry area, next to downstairs wc.

### **Access**

Access of 3 Lock House Lane remains unaltered.

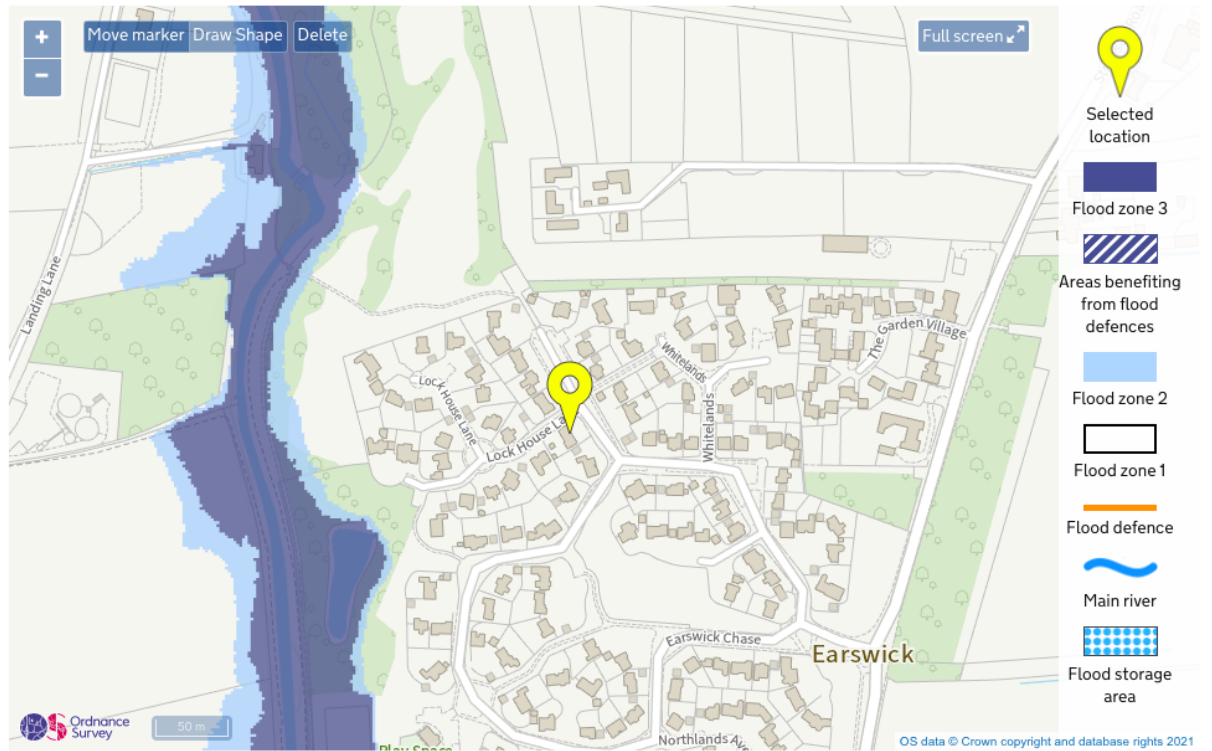
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# Flood risk assessment

The site lies outside of any floor risk area.



Extract from Environmental Agency website