

Your Reference: 21/00365/FUL
Please Quote: AB/47499
Date: 07 November 2022



Land and Property Professionals

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Dear Sir/Madam

**Land at Flaunden House Stables, Birch Lane, Flaunden, Hertfordshire HP3 0PT
Approval of details pursuant to Planning Permission Reference, 21/00365/FUL in respect of
Barn A.**

This letter seeks to address the previous reasons¹ for refusing to approve a request to discharge Condition 7 attached to planning permission reference 21/00365/FUL summarised below:

Prior to occupation full details of both hard and soft landscape works shall be submitted to and approved in writing by the Local Planning Authority. These details shall include:

- o hard surfacing materials;
 - o means of enclosure: no fencing will be permitted along the western side of the Barn.
 - o An elevation plan showing the siting, height (to be between 5-6 metres high) and coverage of replacement vegetation - a screen of Hornbeam trees;
- and
- o A floor plan showing the replacement vegetation and the distance between each tree.

The planting of the mature trees must be carried out prior to the removal of the row of vegetation (tree planning screen) shown immediately adjacent to Barn A on the proposed site plan.

The approved landscape works shall be carried out prior to the first occupation of the development hereby permitted.

Partners*: A J Capel Ltd S W Home Ltd D J Jones Ltd R J Franklin Ltd A H Barr Ltd D J Sawford Ltd A B R Jenkinson Ltd Polly Sewell Ltd
¹ 22/02648/DRC Associates: D R Watling BSc MRICS S P Brown BSc MRICS

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Any tree or shrub which forms part of the approved landscaping scheme which within a period of 5 years from planting fails to become established, becomes seriously damaged or diseased, dies or for any reason is removed shall be replaced in the next planting season by a tree or shrub of a species, size, and maturity.

The replacement vegetation must be retained in perpetuity as shown on the approved soft landscaping details.

Reason: To improve the appearance of the development and its contribution to biodiversity, the local environment and the Conservation Area, as required by saved Policy 99 of the Dacorum Borough Local Plan (2004) and Policy CS12 (e) and CS27 of the Dacorum Borough Council Core Strategy (2013).

The most recent reason for refusal is summarised below for ease of reference:

The amount of hardstanding with a residential/urban character has increased during the course of previous DRC applications and would result in an increase in the area of residential curtilage and sprawl of development. The original approval allowed for hard stand between the garages but not forward of these buildings.

Therefore, the information hereby submitted in regards to the discharge of condition 7 is inadequate in respects to ensuring a satisfactory appearance to the development and safeguarding the character and appearance of the area and ensuring that there is no further impact on the openness of the Green Belt. The proposed details are contrary to Policy CS5 of the Dacorum Borough Council Core Strategy (2013) and Para 135 of the NPPF (2021).

Details of the landscaping materials are summarised below:

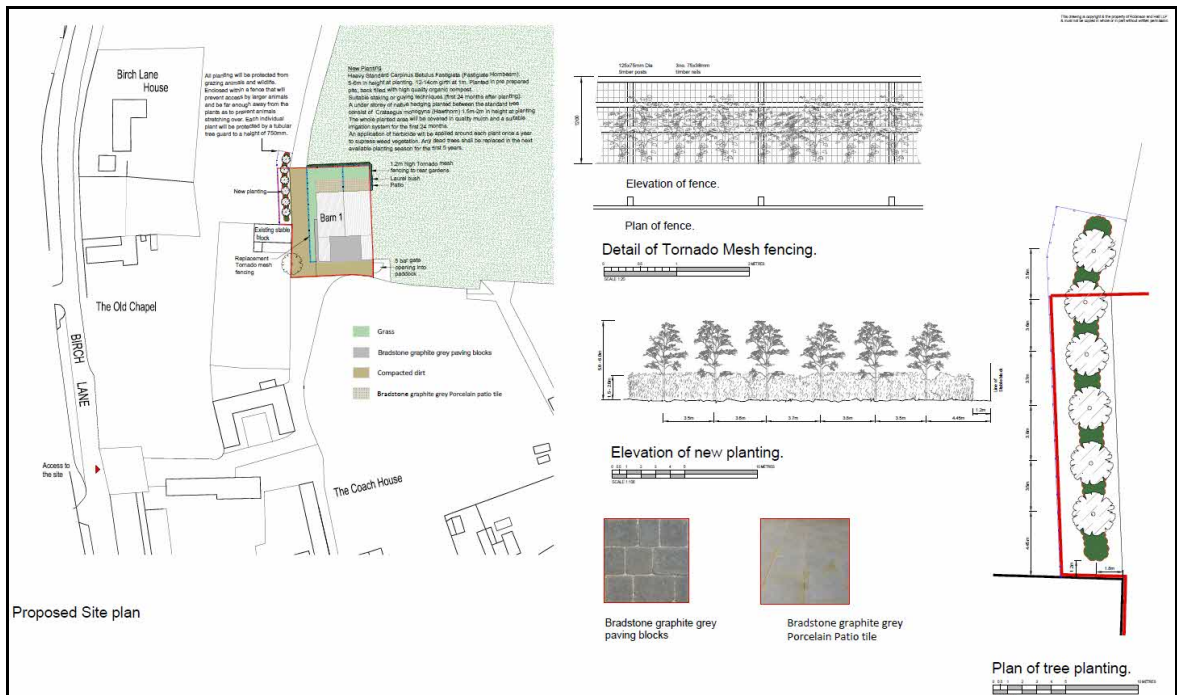


Figure 1: Site Plan (Drawing Number 47499- 02ID)

1. Hard surfacing materials

Path -Compacted dirt (Figures 1&3)

Drive - Compacted dirt shown in Figures 1&4.

Area between the garages - Bradstone graphite grey paving blocks

Patios - Bradstone Porcelain graphite grey tiles.

2. Means of enclosure

1.2-metre-high tornado fence to enclose the rear gardens.

5 bar timber gate across the eastern access to the field as shown in Figure 2 below and position shown on the Site plan, Drawing Number 47499- 02ID.



Figure 2: 5-bar timber gate

3. Tree planting

Replacement trees have been planted along the western boundary of the barn as shown in the photographs below in Figure 3 and on the Site Plan.



Figure 3: Tree planting

The tree species reflect the Tree Planting Report prepared by Paul Empson, Arboricultural Contractor submitted in support of 21/00365/FUL.

Material considerations

1. Means of enclosure

- a) Garden depths: The proposed garden depths match the approved plans, i.e., 8.2 metres. The discrepancy with the situation on the ground is the subject of a separate application.
- b) Tonado Fence: The Site Plan shows the fence enclosing the approved gardens. There is no fence proposed to the east of Zighy Barn. This is a matter addressed in a separate application. It is acknowledged that the fence along the western side of Buttercup Barn is acceptable.

2. Most importantly, it is acknowledged that the Trees and Woodlands Officer agrees that the trees that have been planted are acceptable despite the spacing discrepancies highlighted. The officer stated that 'the photos show a reasonable gap which the trees will grow into as they mature. The vegetation at the base of the trees will fill the gap between tree trunks thus providing a reasonable visual buffer between the barn conversion and the neighbours to the west.'

The trees planted therefore achieve the overall objectives of Condition 7.

3. The area to the western side is a historic track of ground for access to the paddocks. The pathway adjacent the stable block and in front of the barns is a historic access that has been in place for over 20 years. (Figure 3).



Figure 4: Historic compacted dirt to the front of Barn A retained

Yours sincerely



Abel Bunu
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