

Heritage Impact Assessment

1.0 Introduction:

The proposal concerns extension and alteration at the rear of the existing public house. We understand that the property is considered to be a non-designated heritage asset.

2.0 Report structure:

This heritage impact report considers the heritage value of the existing building. It itemises the proposed alterations to the property, and considers the impact that these will have. It includes plans and photographs where relevant.

This report should be read in conjunction with the drawings, design and access statement and other information provided in the planning application package.

3.0 The existing building and site

The existing public house has been established for many years and there has been a building on the site since at least 1835 as identified on Sanderson's map.

The building has already been extensively altered over a number of years with additions to both the front and rear of the property.

An Extension was approved to the front elevation of the property in 2019, planning application ref: 19-02083-FUL-2
See Figure 3

4.0 The proposed alterations to the building are very minor, as set out in figure 4

All of the proposed alterations are to the rear of the property, and in no way affect the appearance of the property as significantly as the front extension which received planning approval in 2019. Logically the rear extension proposed should also therefore receive approval.

5.0 Proposed external balcony area:

This extension has been designed to include a small external balcony area, with an external staircase connecting the upper area to the garden area, more directly. It should be noted that the successful planning application in 2015, ref: 19-02218-FUL, established the principal of having an outdoor bar area at first floor level. The proposed area is smaller than the original.

6.0 Design of the proposed extension:

This extension has been designed to suggest the traditional forms of the building with a gable ended addition, together with a connecting flat roofed area that respects the existing roof line. The gable ended roof is proposed to be finished in reclaimed natural slate to match the existing roofing. The other facades will either be fully glazed or clad in vertical timber boarding left to weather and grey naturally. This will eventually give a similar finish to the timber boarding that was included in the successful planning application for the roof terrace in 2015.

This report should be read in conjunction with the drawings, design and access statement and other information provided in the planning application package.



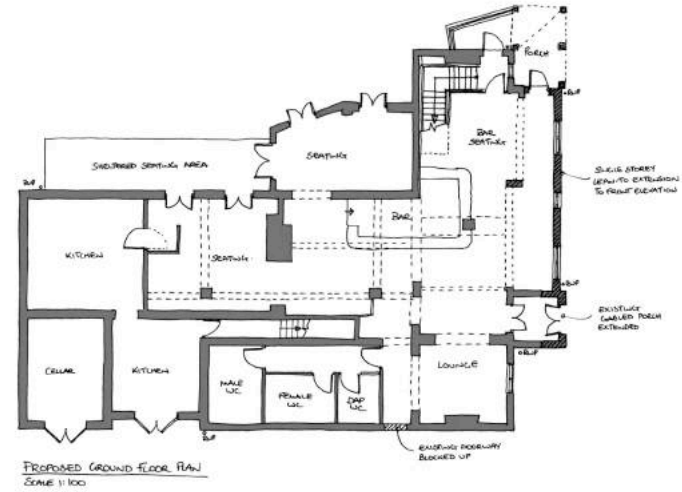
figure 1: Photograph of the Old Volunteer Public House - Front view



figure 2 Photograph of the Old Volunteer Public House - rear View

Front extension added in 2019 - planning application ref 19-02083-FUL2

Roof terrace added in 2015 - planning application ref 15-02218-FUL



Extension to The Old Volunteer PH, Caythorpe
 Job No: 1960
 Drawing No: 1960-200



Extension to The Old Volunteer PH, Caythorpe
 Job No: 1960
 Drawing No: 1960-210 - Rev A



Figure 3: Architects Drawings Plan and Front elevation showing new extension - as approved - planning application ref: 19-02083-FUL-2



GROUNDWORKS ARCHITECTS LLP

The Old Watermill Pub, Daphne Road, Chalfont
 33 Albert Road
 Altrincham Park
 Nottingham, NG3 4JD
 0115 927990
 22/2/16

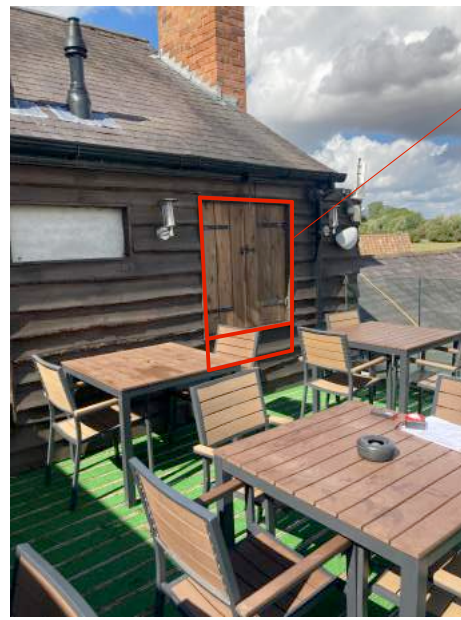
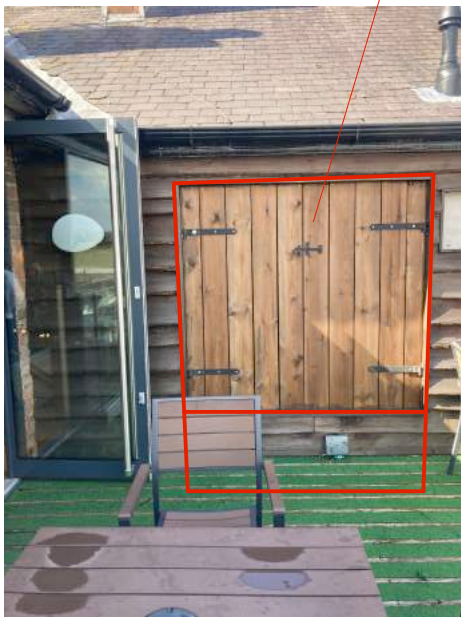


Figure 4: Proposed minor alterations to the existing building