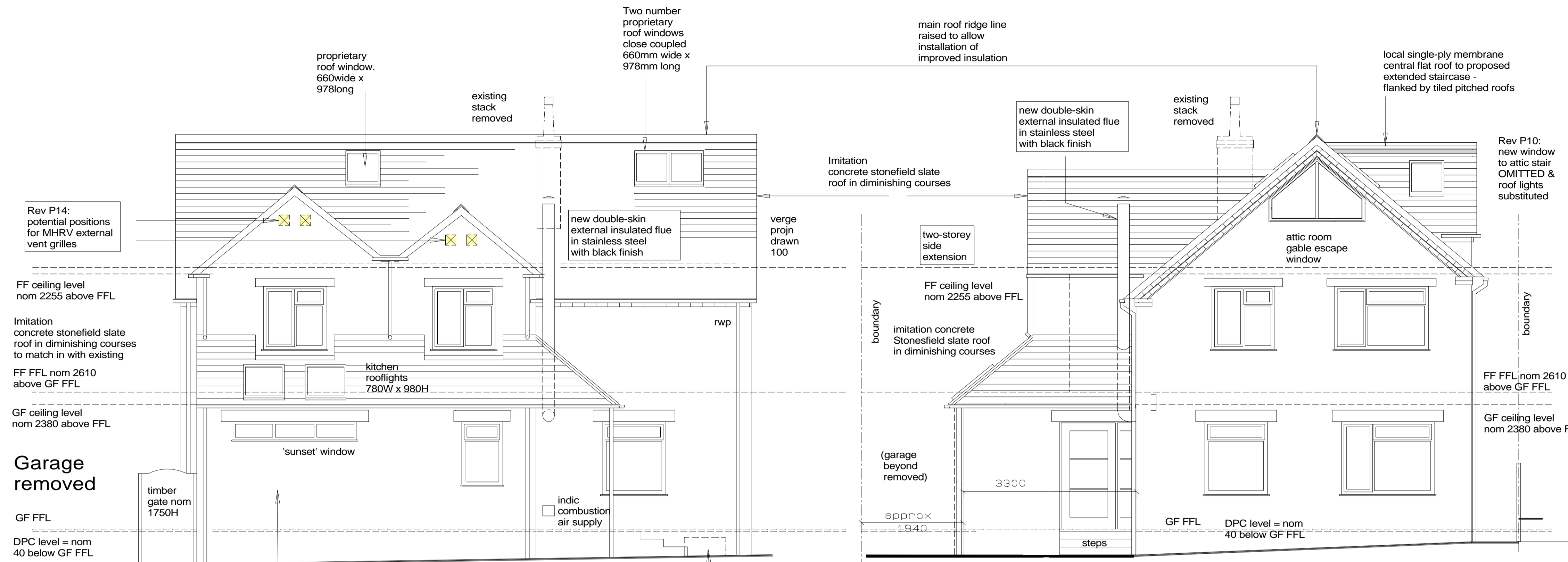


Notes
All dimensions must be checked on site & not scaled from this drawing



PROPOSED MATERIALS

Roof:
- New & reused concrete imitation stone slates, colour mid-brown, laid in diminishing courses
- angled ridge tile
- cut tile valley gutters at gablet roofs over bathroom bedroom. Cut tiles to porch roof hip.

Brick stack removed

RW goods: square profile plastics, colour grey-new to match existing

New Walls:
- reconstituted stone, colour buff, squared & laid to varying courses-all to match existing
- New exposed concrete lintels over doors & windows all to match existing
- red brick detail at gable verges & eaves to be extended to match existing & to suit thickness of additional roof insulation

New Windows:
existing replaced & all-new; in PVC-u, Combi alu/timber or other TBC; colour white, with triple-glazed units

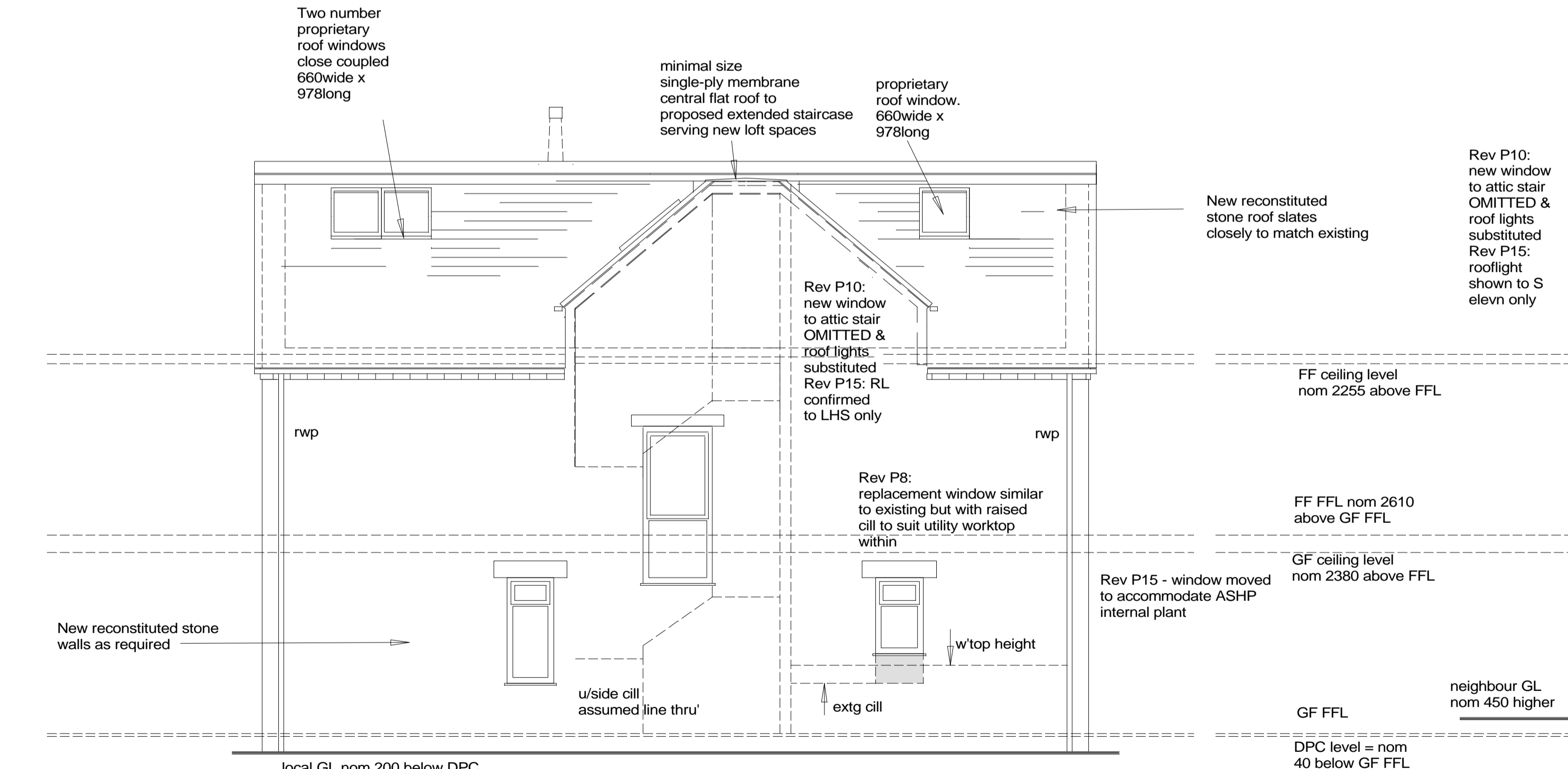
New Entrance door:
(south-facing / road-facing elevation):
New door & frame in powder-coated aluminium, double- or triple glazed with side light; colour-TBC

Rear doors:
half- or fully-glazed door to utility room in powder-coated aluminium; similar folding/sliding doors to extended dining area; colours TBC; double- or triple-glazed

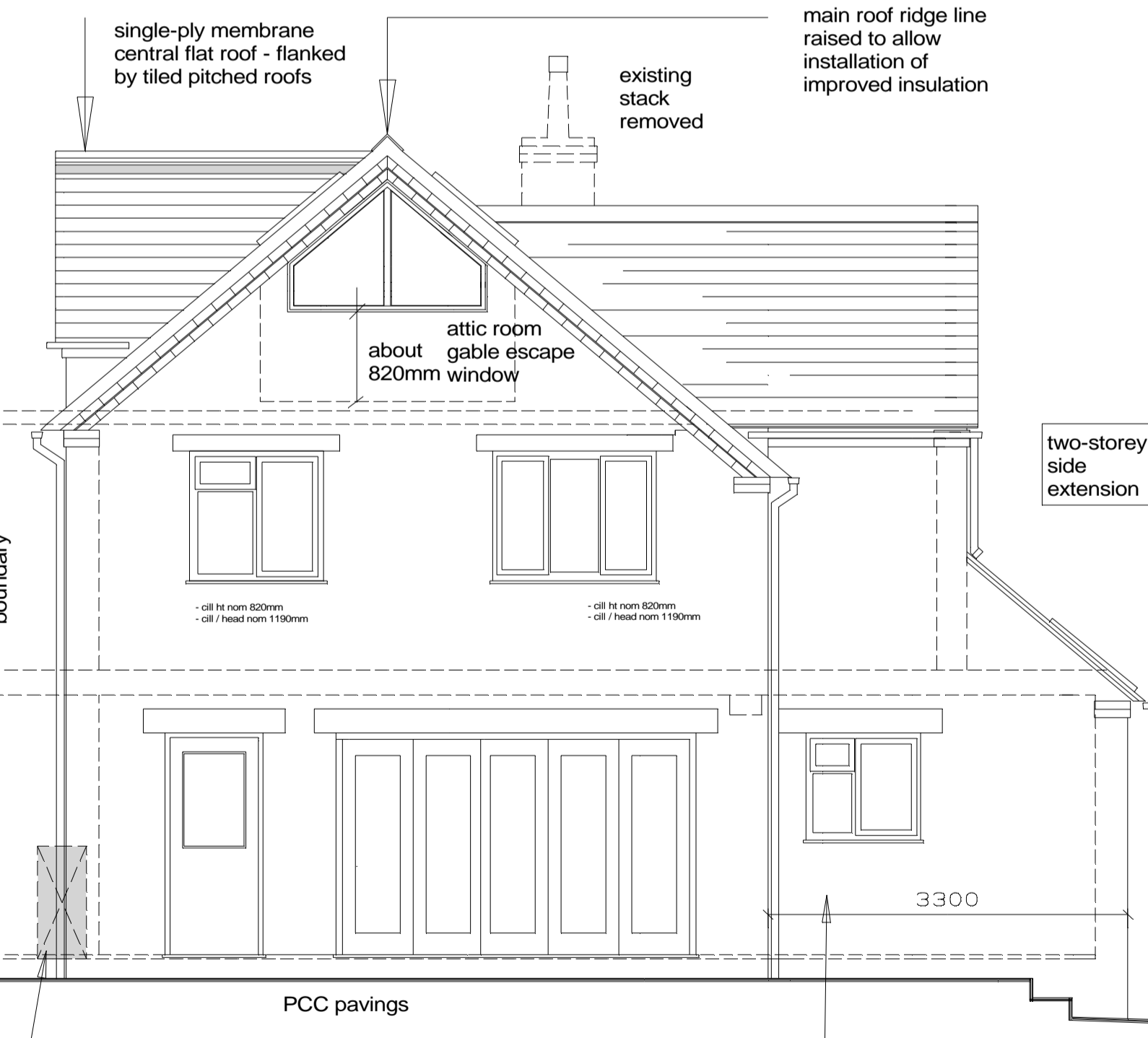
Front (south-facing) Elevation

Entrance (west-facing) Elevation

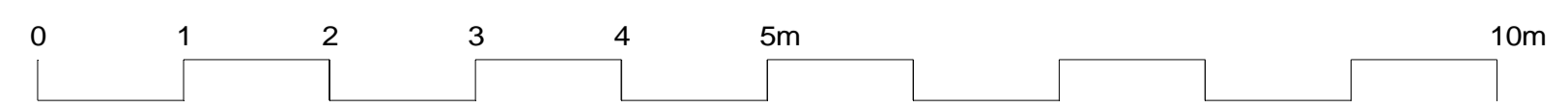
new Full planning applicn to WODC 21.10.22 - for replacement log-burner & external flue &c			
proposed replacement wood-burner flue shown	21.10.22	sw	P15
prelim notes added ref MHRV installation	10.10.22	sw	P14
revised NMA submission to WODC Planners - omitting new s/steel log-burner external flue	16.09.22	sw	P13
Non-material Amendment Planning shown hatched	15.08.22	mn	P12
To WODC Building Regs - 20.05.22			
chimney removed & s/steel flue shown serving log-burning stove in sitting room. Front gable escape window reinstated	17.02.22	mn	P11
showing window to attic stair OMITTED		sw	P10
kitchen roof lights added - also new gable pitches made 40 degrees to match extg	10.01.22	sw	P9
existing window at east-facing elevation shown reduced height to suit worktop height in proposed utility	03.12.21	sw	P8
To WODC for Full planning - 19.11.21			
reduced to allow stair headroom compliance	18.11.21	mn	P7
extension 300mm wider to the west at 3300mm O/A	08.11.21	mn	P6
pre-app amendments	03.11.21	mn	P5
to WODC for planning pre-app advice 24.9.21			
amendments from HC call 23.9.21	24.09.21	mn	P4
amendments as tele-discussion 20.09.21	22.09.21	mn	P3
amendments as e-mail dated 06.09.21	9.9.21	mn/sw	P2
first issue	06.09.21	mn/sw	P1
Revisions	Date	by	Rev



Boundary (east-facing) Elevation



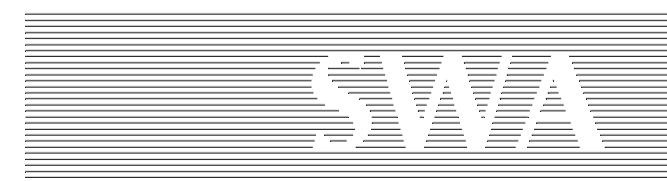
Garden (north-facing) Elevation



Client
Hannah & Alex Crowe
'Cambo', Peaks Lane, Stonesfield

Project
ALTERATIONS & EXTENSIONS
to
Cambo, Peaks Lane, Stonesfield
Oxford OX29 8PY

Elevations as Proposed



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Scales 1:50 @ A1
1:100 @ A3
Date 06.09.2021
by MN/SW

Job No.	Drawing No.	Rev.
21420	305	P15