



Mast site and Existing buildings

The mast itself is an engineered steel structure anchored into four mass concrete bases oriented at roughly 45 degrees to the Courtenay Road boundary. The bases of a second mast are located in the North West corner of the site.

The ground is flat throughout the site and surrounding areas

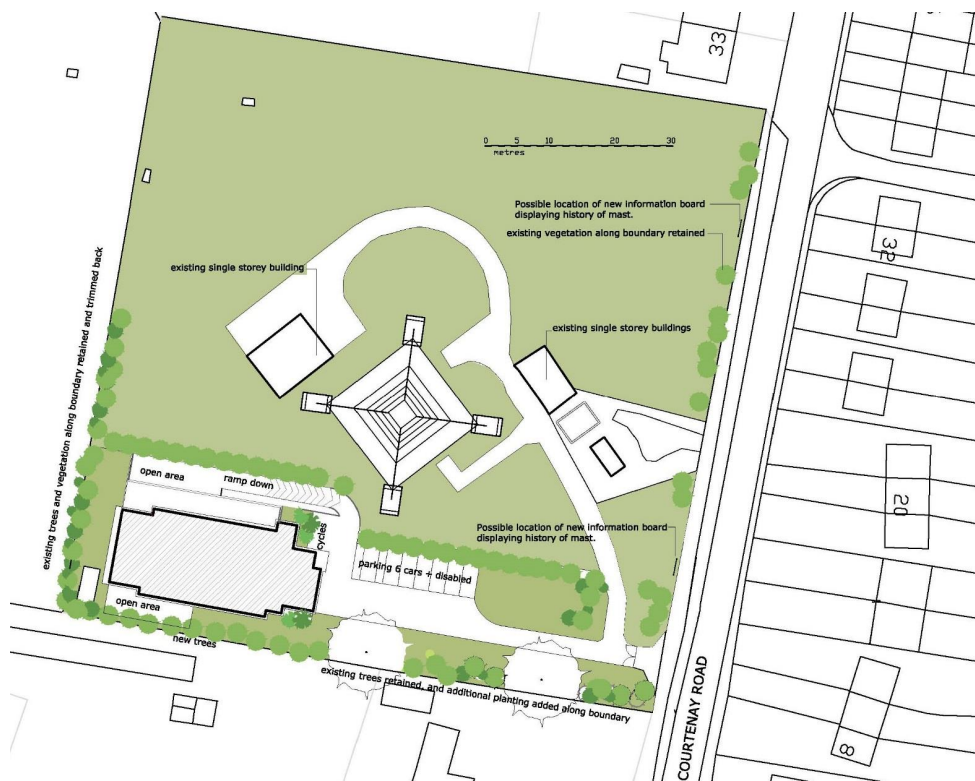
Other buildings on the site are arranged around the mast in the same orientation. They have been constructed for defence purposes and use materials necessary to do the job, no more. All are single storey, of masonry construction with either brick or rendered finish, and with a flat roof. Doors and windows are heavily secured.



Surrounding Area

The buildings facing the Eastern boundary on Courtenay Road and immediately to the North and South of the site are one and two storey domestic buildings of brick construction, some rendered, some tile hanging, some weatherboarding, with mostly pitched roofs.

Further North on Courtenay Road there are single storey sheds belonging to a Nursery, and at the nearby Dunkirk Industrial Park on Canterbury Road single and multi storey storage units.



Positioning on the site

There is a requirement for a clear view of the mast to be maintained from the road, and for any impact on neighbouring dwellings to be kept to a minimum.

The building is therefore located to the rear of the site, keeping clearly defined space between it and the mast.

The South and Northern boundaries will be planted with trees to screen it from the adjacent buildings and gardens.

A row of single storey storage buildings on the adjoining neighbour’s site running parallel with the boundary already provides screening to their garden.

The site plan highlights the entire site area, including access and parking for the data centre in colour and shows the extent of new and existing planting. The remaining roads, hardstandings and grassed areas around the mast will remain unchanged.

User numbers

Data centres are containers of electrical equipment. Some attendance is needed for maintenance and security, and facilities are provided, but comparatively few people will be working on the site on a day to day basis. There will not be a noticeable increase in numbers of road users as a result of this development.

Parking for 6 cars plus cycle parking is included, but is unlikely to be used to capacity.

History of Mast

The possibility of using the new building as a resource to explain the historical importance of the mast during WW2 has been explored. While provision of space within the building has been considered, the numbers of likely visitors are thought to be too low to warrant this. Large display boards facing Courtenay Road are proposed at the North and South ends of the site to provide a narrative of the history of the site.



Bofors Gun emplacement in nearby Clay Pit Wood. Now a dwelling



RAF control tower West Malling- the rear before restoration and the front after restoration



Duxford control tower

WW2 Bellman Hangar RAF Stoke Orchard



C type aircraft hangars C1937

Electricity link Dungeness 1957

Design references

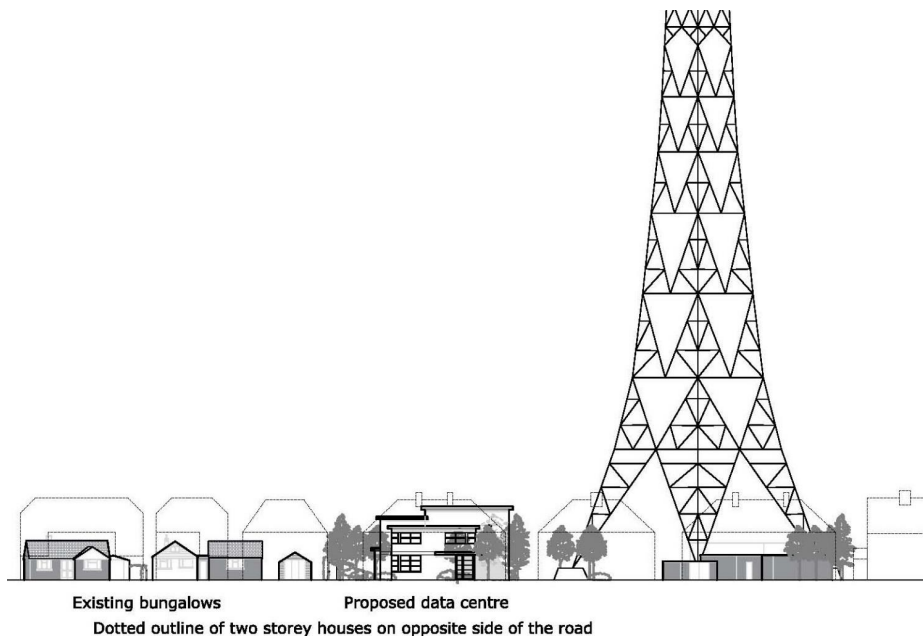
The original radar station and mast played a pivotal role in the defence of Britain during world War II and the cold war that followed, and conservation officers have recommended that the new data centre should reflect the style of other buildings built for defence purposes at that time.

These include the Bofors Gun emplacement, recently converted to residential use.

A number of airfield control towers, for example at West Malling and Duxford, aircraft hangars, and associated buildings

The Kings Standing radio communication station near Duddeswell, and the electricity link at Dungeness.

The common design themes in these buildings are brick or concrete and rendered walls, metal windows in blocks of glazing, sometimes wrapping around corners. Flat roofs often have a broad overhang and there may be terraces with horizontal metal railing. Different internal uses were frequently expressed externally so that they could be clearly identified from outside.



Building Scale

The front section of the building nearest the road is for administrative purposes and is 5.8m high, below the height of the two storey houses opposite on Courtenay Road, the footprint and scale of this section on its own has been kept to domestic scale and is smaller than that of the pair of semi detached houses at Nos 16 and 18 Courtenay Road.

The bulk of the data centre is behind the administrative section and is a little taller at 6.8 m, the stair and lift tower at 7.9m – approximately the ridge height of the houses opposite on Courtenay Road.

The height has been limited as far as possible by locating the majority of the plant and machinery below ground level with an access ramp down along the North side of the building. The floor to ceiling heights within the data centre itself have been kept to a minimum but are determined by the acoustic and environmental requirements of a building of this type.

The two storey houses located on the opposite side of Courtenay Road are shown in dotted outline on the street elevation above to demonstrate the similarity of scale.

Colour Scheme

A soft grey green colour is proposed for the rendered sections of the building to blend in with the rural setting. A two colour leaf pattern has been introduced in the render to the front of the stair tower to provide additional screening where there are necessary gaps in tree planting, and references the camouflage patterns often painted on wartime airfield buildings.

Powder coated aluminium acoustic louvres to the side elevations in similar shades of grey green, with accents of silver stainless steel and silver grey for balustrading and trims.

