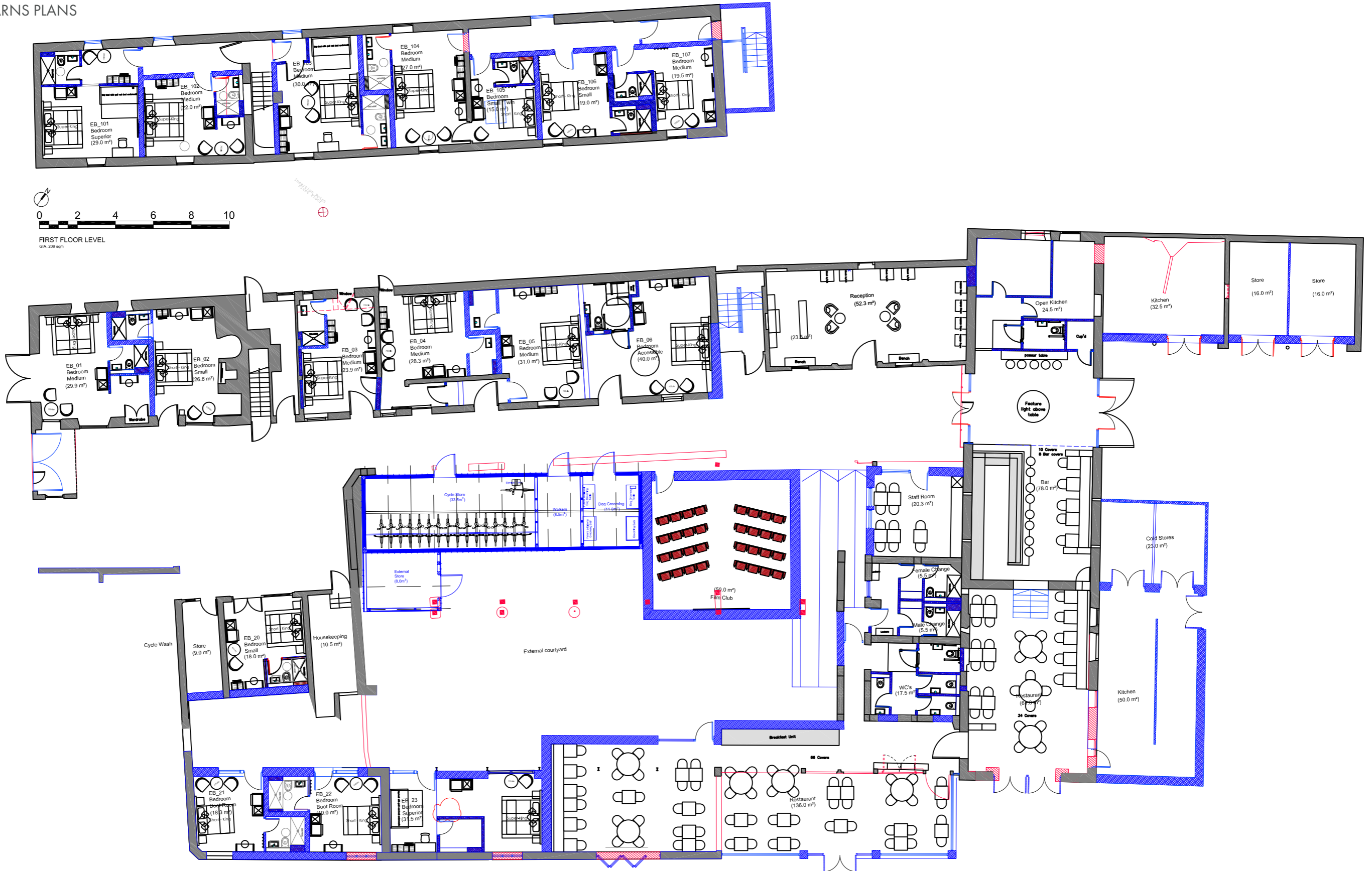


5.0 HERITAGE IMPACT ASSESSMENT

5.1 SUMMARY OF THE PROPOSALS

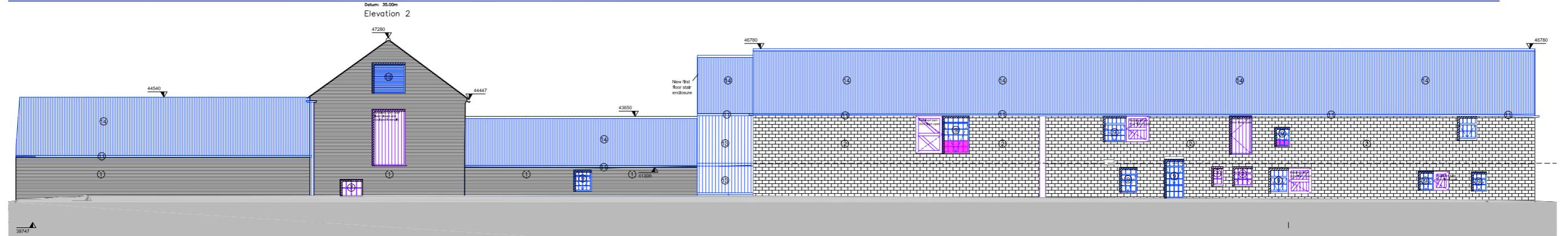
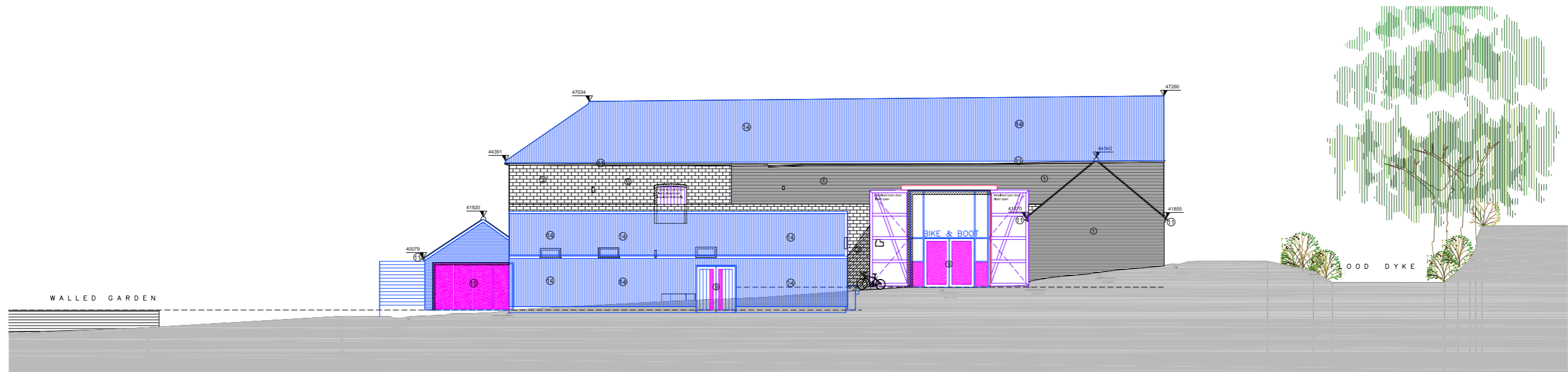
5.1.2 EAST BARNES PLANS



5.0 HERITAGE IMPACT ASSESSMENT

5.1 SUMMARY OF THE PROPOSALS

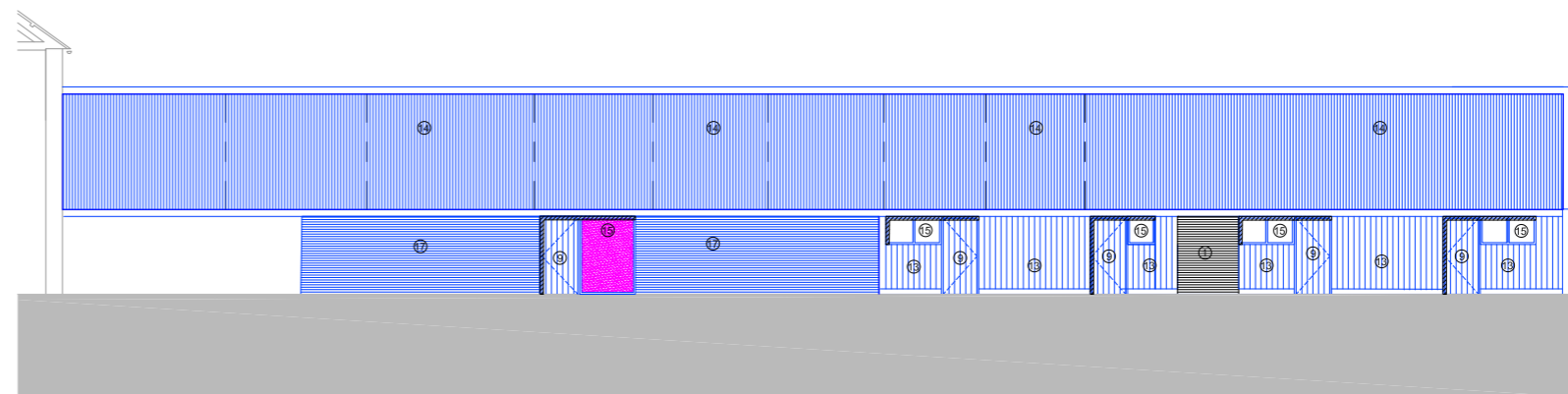
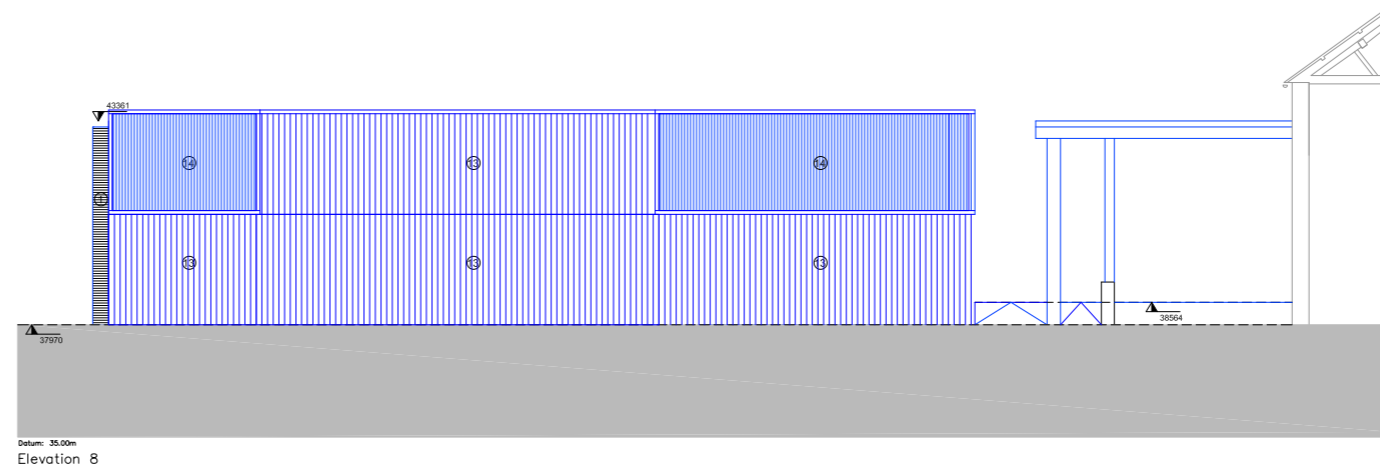
5.1.2 EAST BARN ELEVATIONS



5.0 HERITAGE IMPACT ASSESSMENT

5.1 SUMMARY OF THE PROPOSALS

5.1.2 EAST BARN ELEVATIONS



5.0 HERITAGE IMPACT ASSESSMENT

5.1 SUMMARY OF THE PROPOSALS

5.1.3 WEST BARN

TWO STOREY RANGE

The west barns look to re-purpose the buildings, providing accommodation within the existing barn buildings, ample parking and additional studios to take advantage of the countryside views across the water meadows.

The two storey, courtyard range will remain largely unchanged with limited fabric repairs required including refurbishing windows and doors. The existing roof will be carefully removed and re-installed with the addition of insulation and vapour barrier, with rainwater goods renewed. New timber glazed screens are to be installed behind the existing barn doors. Existing metal framed windows are to be removed and replaced with new slimline double glazed metal framed units.

Ground Floor

The two storey barn retains as much of the existing fabric as possible, leaving the internal brick work and limewash exposed. The new partitions look to sub-divide the space in order to facilitate its use as bedroom accommodation. Partitions are located to ensure that existing trusses are left exposed.

First Floor

The first floor looks to retain as much of the existing fabric as is practically possible, including existing fireplaces and staircases. The proposal sub-divides the space in order to provide adequately proportioned bedroom accommodation.

SINGLE STOREY STABLE

The existing stable block makes up the courtyard to the two storey range. It is currently largely open along the courtyard elevation with modern blockwork infills. It is proposed that the blockwork is removed and a more sympathetic timber cladding is used to enclose the building. The existing roof is asbestos and a new corrugated roof is proposed to match the existing aesthetic.

SINGLE STOREY BARN (BARN 2)

The single storey barn sits to the north of the west barn range. The existing building is enclosed on 3 sides however is largely open to the south elevation. The proposals infill the south elevation with timber cladding to provide habitable space. The existing roof will be retained however materials will be carefully removed and re-installed with the addition of insulation and a vapour barrier.

20th CENTURY BARN

It is proposed that the dutch barn and associated hay barn are demolished, opening up views across the countryside to the fields beyond.

It is to be replaced with a low level timber clad barn to form additional accommodation and car-parking for the west barn complex.

STUDIO PODS

The new studios are timber clad studios and are located to take advantage of the views across the water meadows. The studio pods sit just north of the river and provide quiet outside decking areas that look to encourage the user to view and enjoy the setting and local wildlife.

This additional accommodation is required in order to make the project financially viable, however also looks to respond to the setting, offering accommodation that responds to the natural heritage of the wider site.

IMPACT OF PROPOSALS

TWO STOREY RANGE

The proposal pose limited interventions onto the external fabric of the building, retaining existing openings and historic features that indicate the barn's importance as part of a historic farmstead. It looks to remove redundant and intrusive fixings across the elevation and sensitively undertake repointing works and repair the fabric where needed.

As previously mentioned, any addition or alternation to a historic asset can be seen as harmful however, the minimal intervention of the scheme allows for the retention of key features, including fireplaces, stairs and the exposed

brickwork both externally and internally, preserving the essence of place. The proposals do not adversely harm the historical and aesthetical significance of the buildings or its immediate setting yet provide a sensitive adaption of the historic asset that opens up the site for public use and brings the buildings back into viable use. The buildings will still remain readable as a whole externally and internal subdivision will sensitively undertaken and read as new. The impact of the proposals to the building on its significance is deemed to be **LOW**.

SINGLE STOREY STABLE

This building has been altered throughout its history. Reviewing the historic maps, the plan has both increases and decreases over time. Current adaptations of the building are visually intrusive and has a negative impact on the aesthetic significance of the barns as a whole. With this in mind, providing a more appropriate and sensitive response is seen to have a **POSITIVE** impact on the significance of the heritage asset as a whole.

SINGLE STOREY BARN

The development and conversion of this barn allows for the building to be utilised and as such looks to protect the barn from falling into disrepair. The alternations to this building are seen as **POSITIVE** change in order to protect the significance of the heritage asset.

The removal of the large 20th century barn is unfortunate as it shows the evolution of the farm into the 20th century. Its removal does however open up views across the meadows and allows for provision of carparking which is a necessary provision in order to make the project viable. When balancing the benefit verses harm it is deemed that the benefits to the wider site, protected more significant buildings and the setting out-ways the harm of losing these buildings.

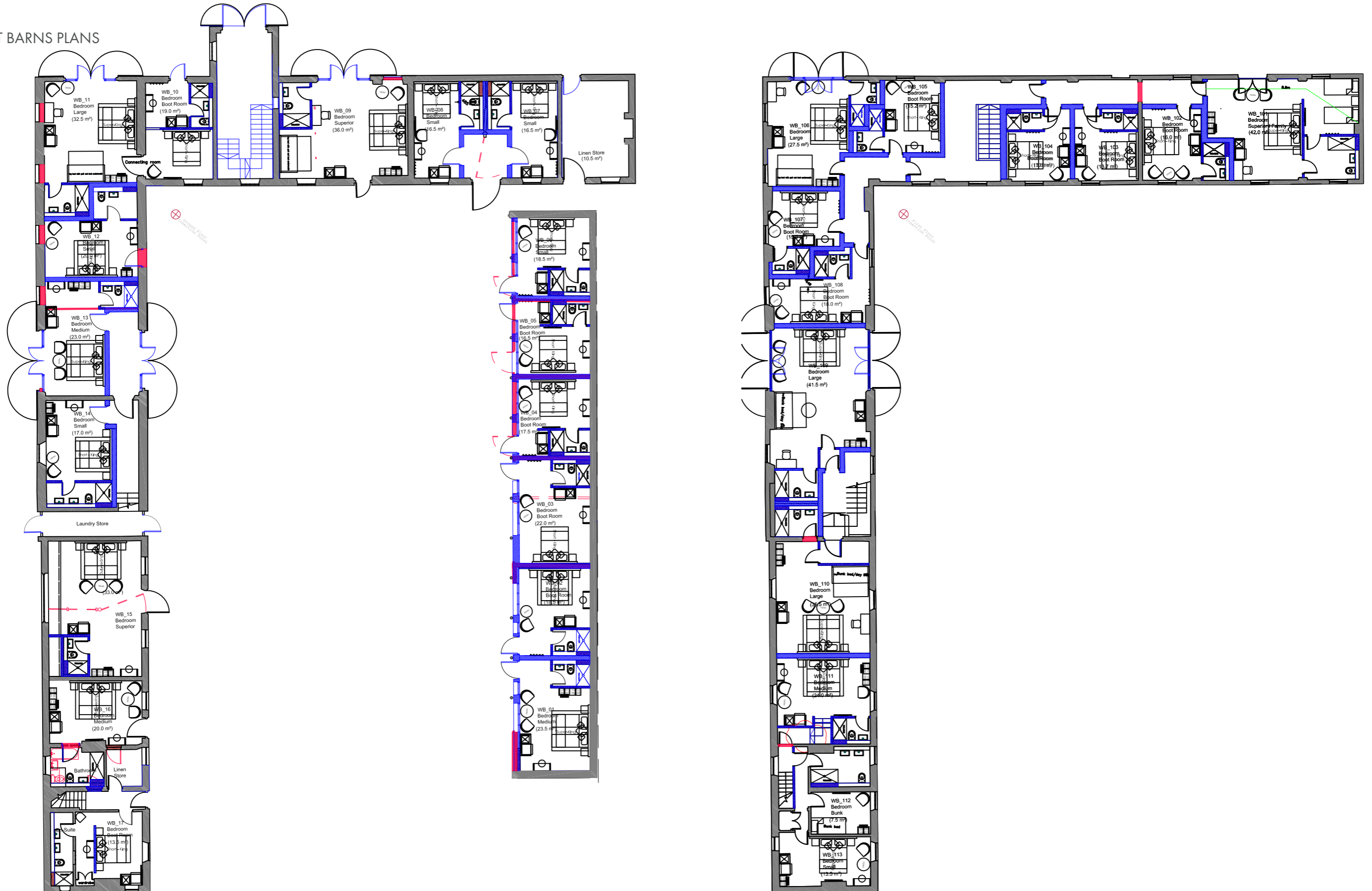
STUDIO PODS

The buildings are small in scale and will be read as new additions to the west barn complex. These buildings look to enhance the site encouraging the public to engage with the heritage assets and its setting. It is hoped that by doing this it will have a **POSITIVE** impact on the communal value of the site.

5.0 HERITAGE IMPACT ASSESSMENT

5.1 SUMMARY OF THE PROPOSALS

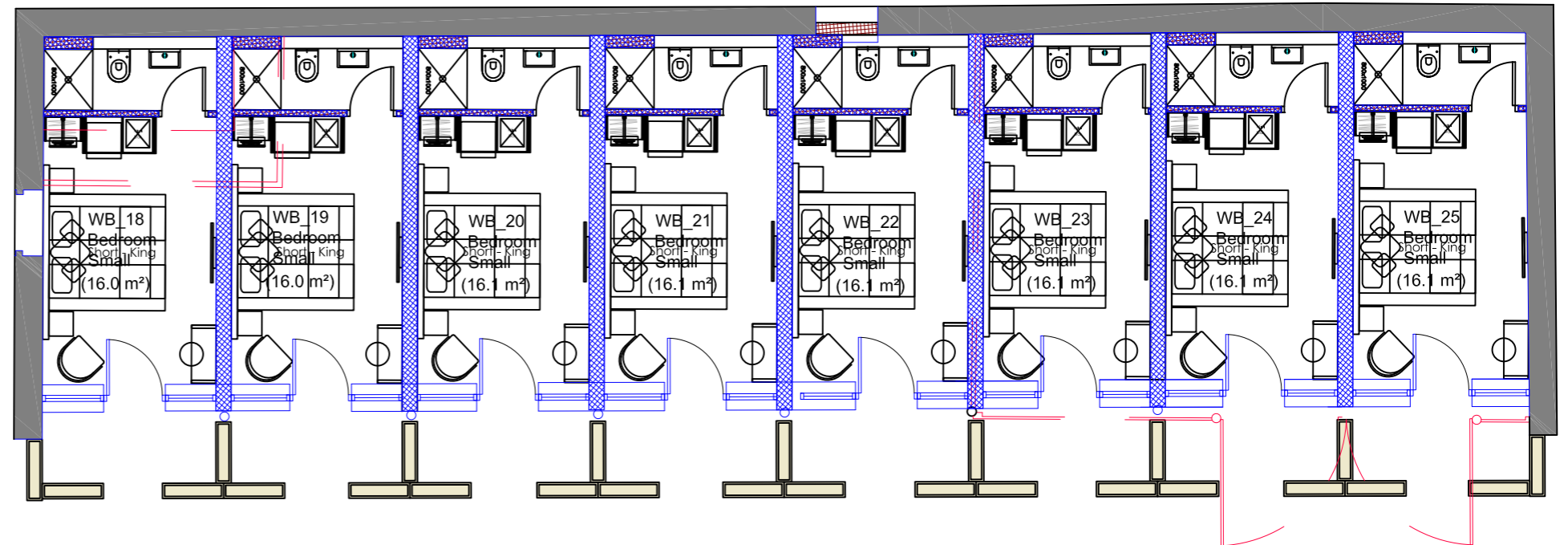
5.1.3 WEST BARN PLANS



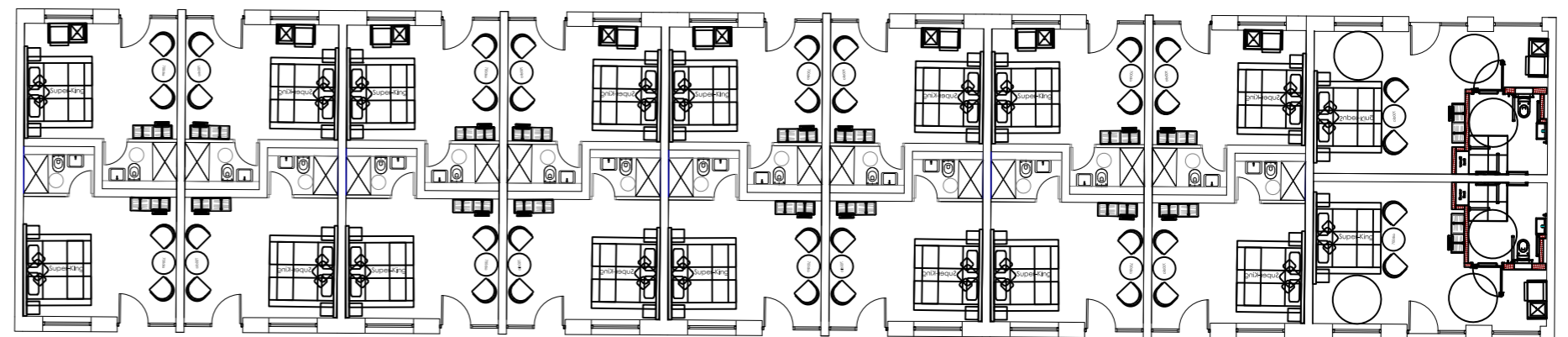
5.0 HERITAGE IMPACT ASSESSMENT

5.1 SUMMARY OF THE PROPOSALS

5.1.3 WEST BARN 2



5.1.3 WEST BARN 3



5.0 HERITAGE IMPACT ASSESSMENT

5.1 SUMMARY OF THE PROPOSALS

5.1.3 WEST BARN ELEVATIONS

