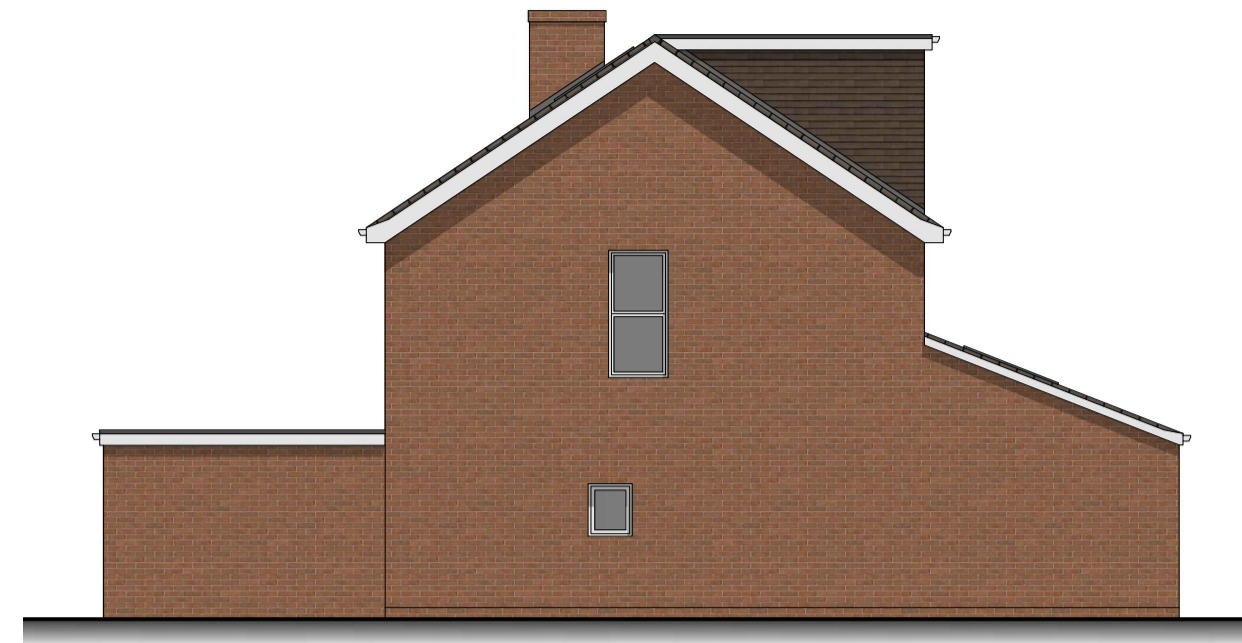


Existing Plans and Elevations...

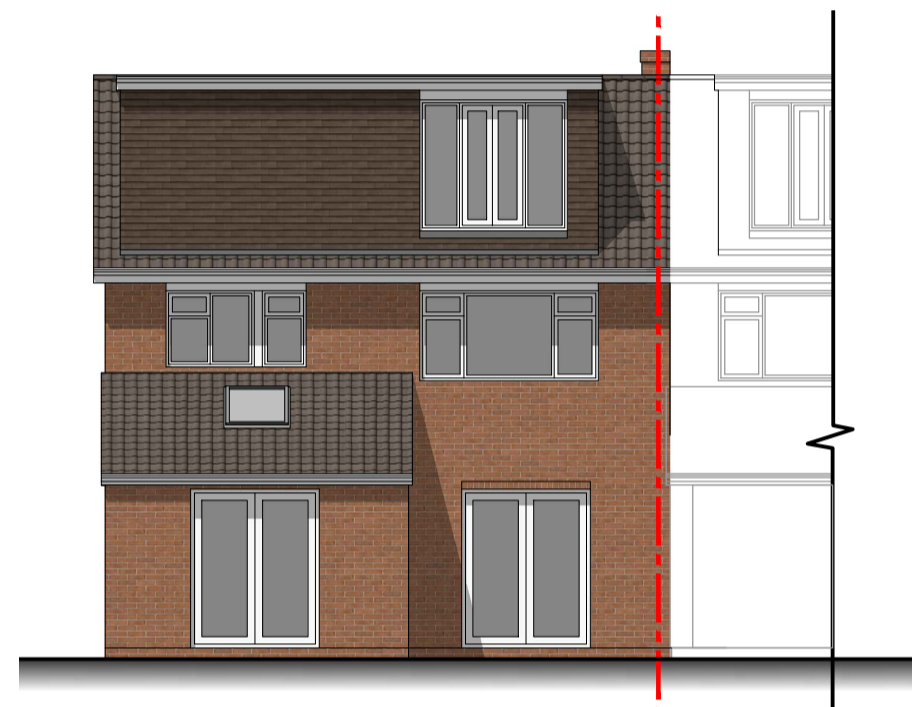
Proposed Plans and Elevations...



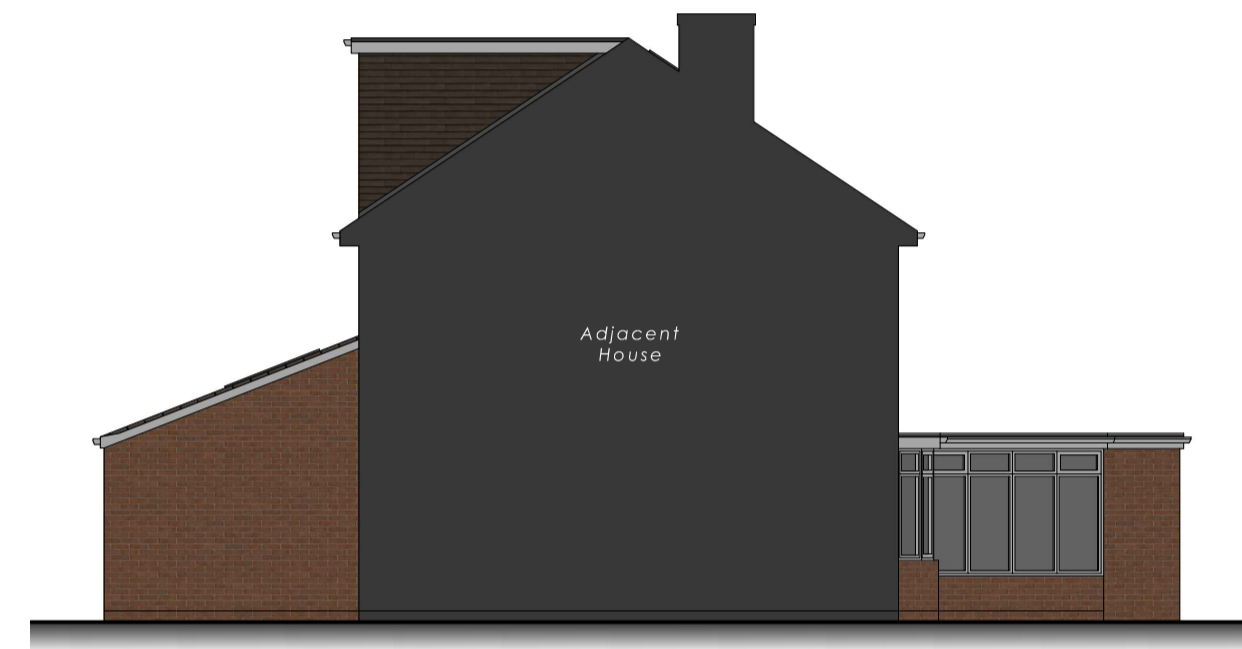
Existing Front Elevation
Scale 1:100@A1



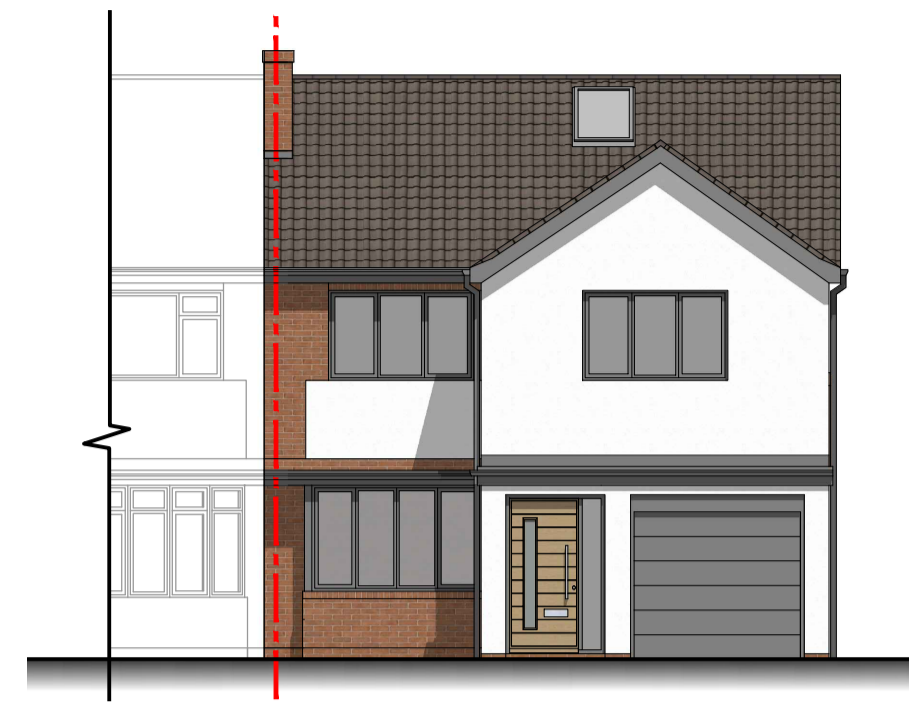
Existing Side Elevation
Scale 1:100@A1



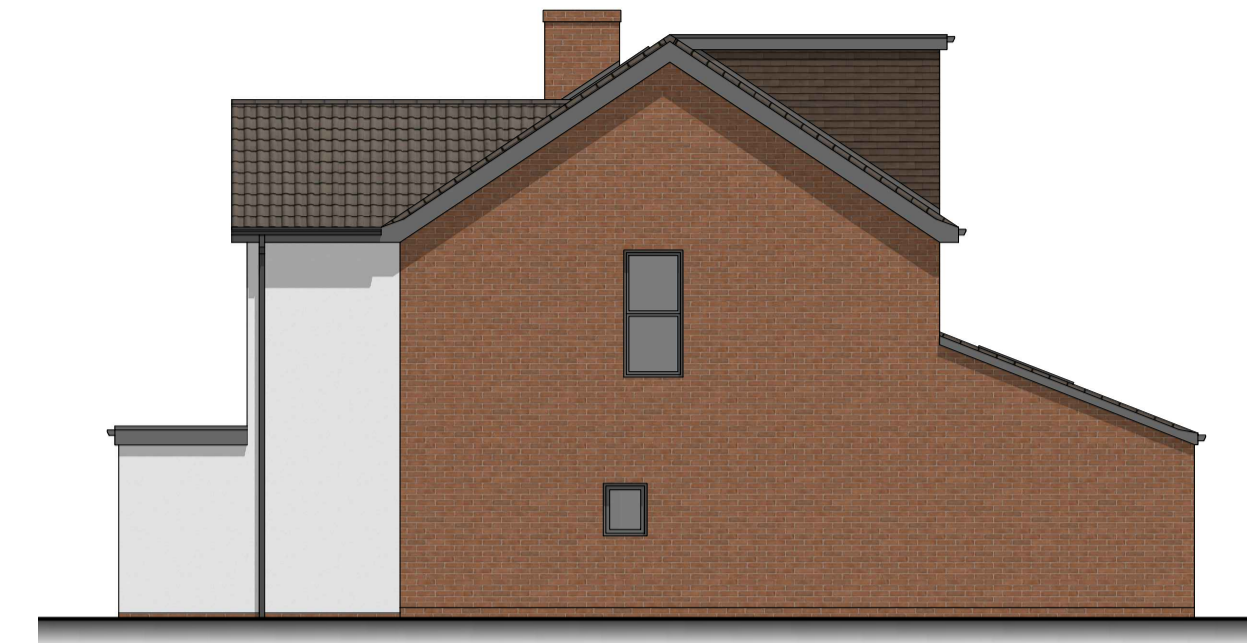
Existing Rear Elevation
Scale 1:100@A1



Existing Side Elevation
Scale 1:100@A1



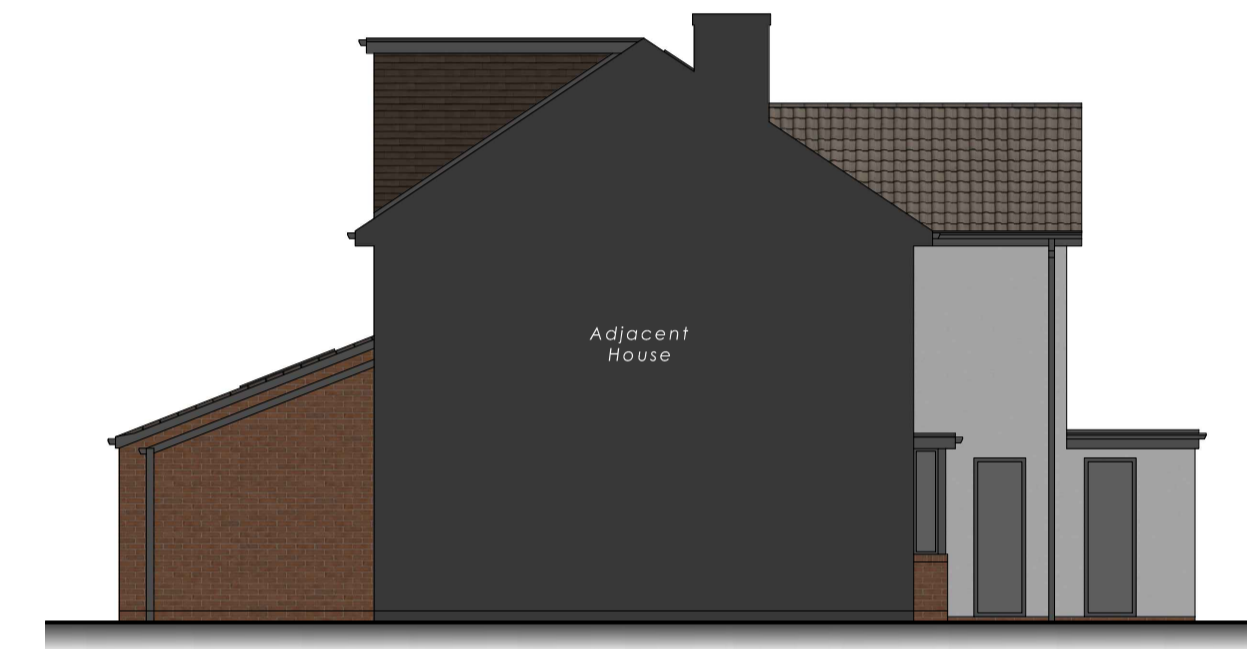
Proposed Front Elevation
Scale 1:100@A1



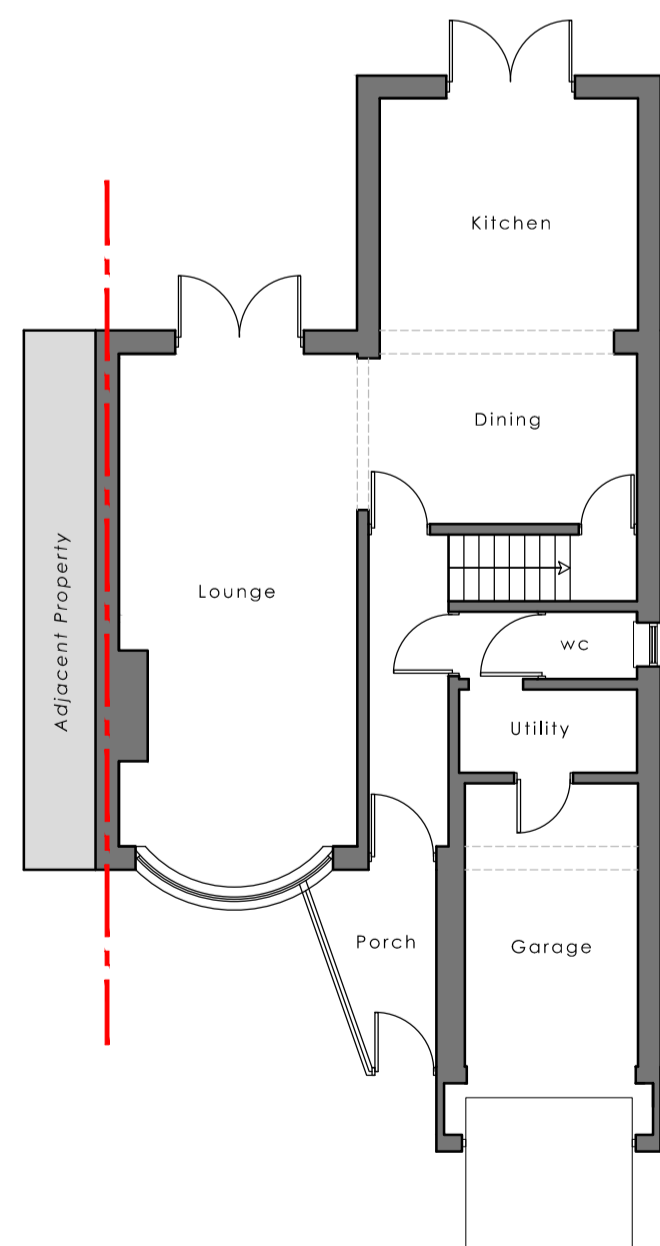
Proposed Side Elevation
Scale 1:100@A1



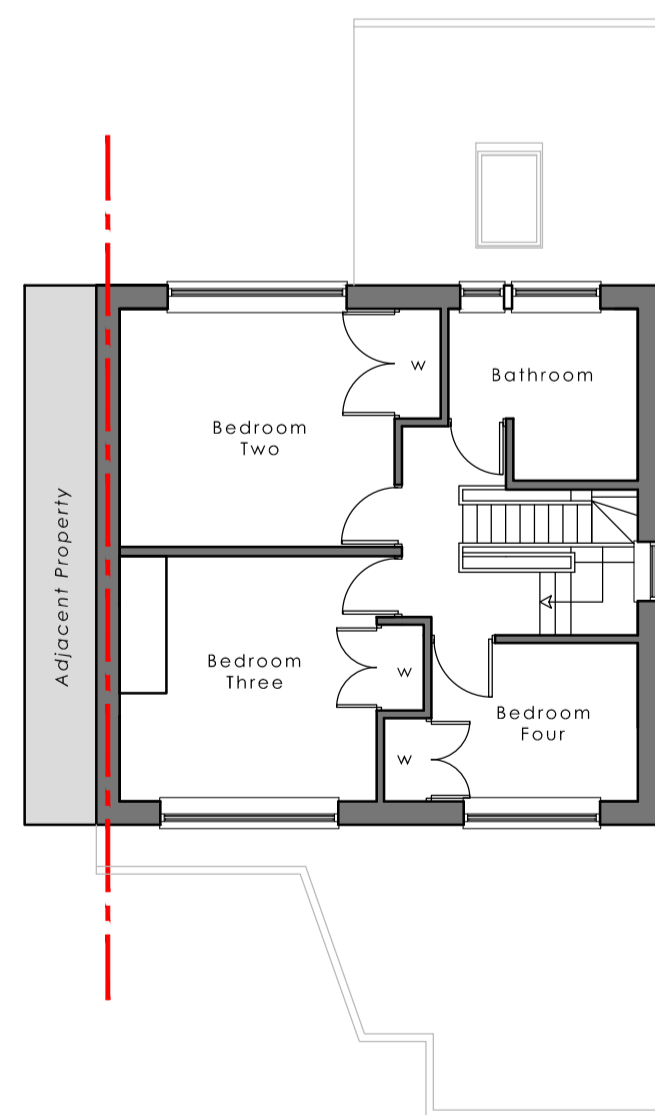
Proposed Rear Elevation
Scale 1:100@A1



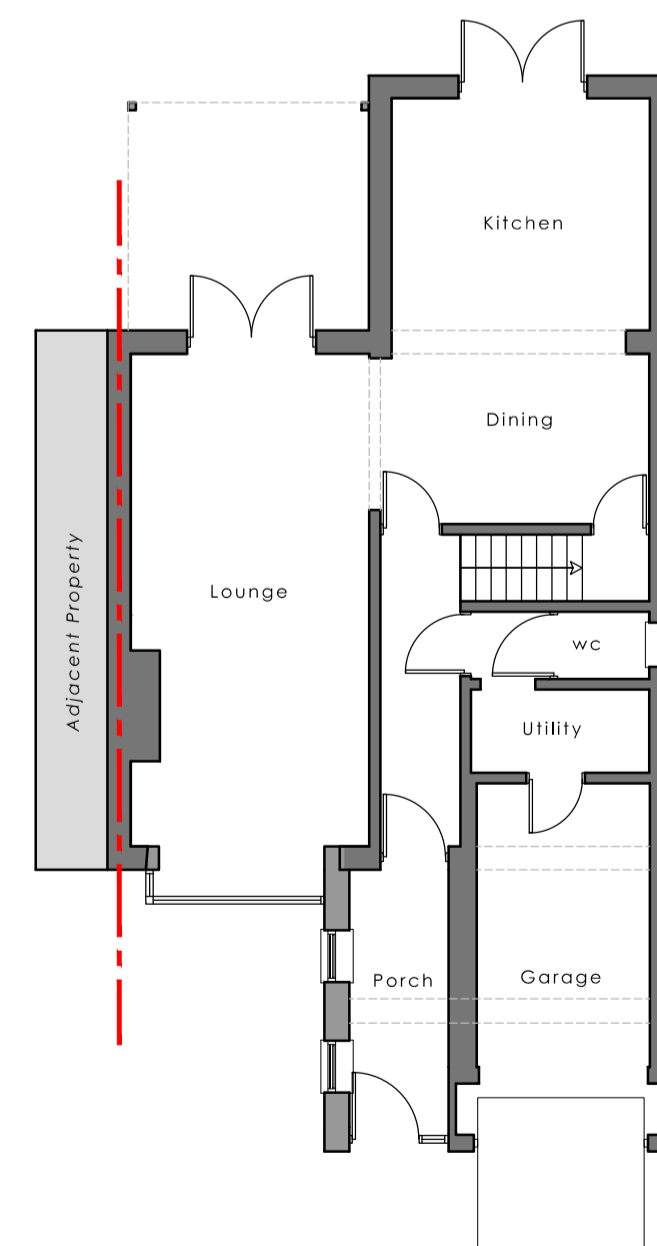
Proposed Side Elevation
Scale 1:100@A1



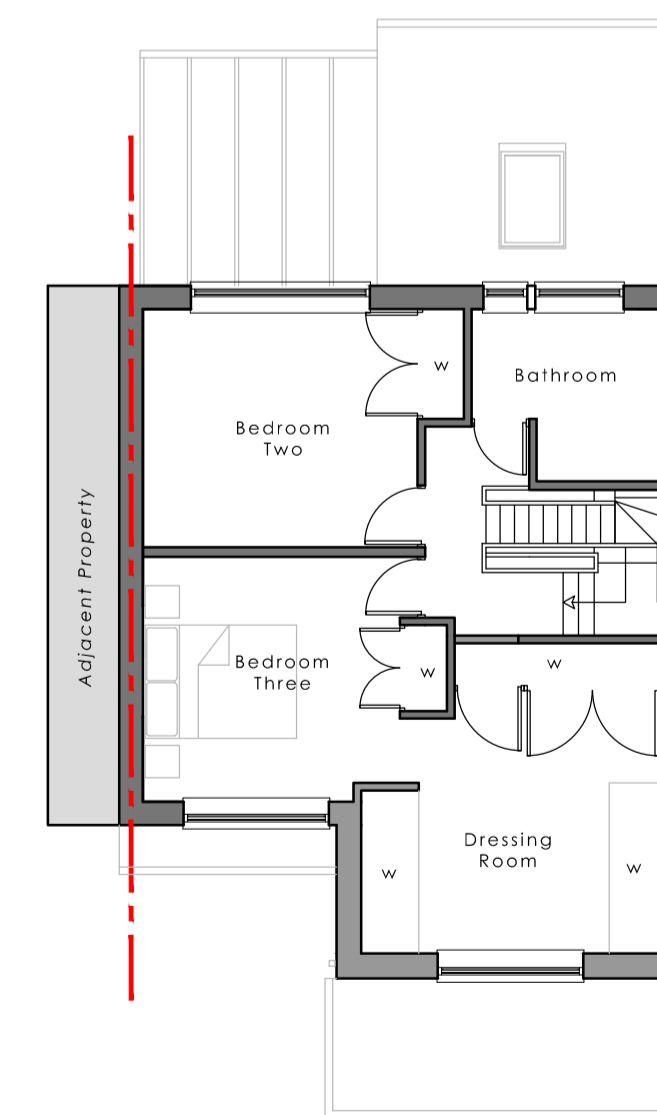
Existing Ground Floor Plan
Scale 1:100@A1



Existing First Floor Plan
Scale 1:100@A1



Proposed Ground Floor Plan
Scale 1:100@A1



Proposed First Floor Plan
Scale 1:100@A1

NOTES:
It is the contractor's responsibility to check all dimensions on site before works commence and to inform the CA of any discrepancies.
Drawing based on 'paper' copies of information supplied by the client. No responsibility can be taken by inaccuracies from original material received.
CDM REGULATIONS 2015
The client must abide by the Construction Design and Management Regulations 2015. The client must appoint a contractor, if more than one contractor is to be involved, the client will need to appoint (in writing) a principal designer to plan, manage and coordinate the planning and design work and a principal contractor (to plan, manage and coordinate the construction and ensure there are arrangements in place for managing and organising the project).
The client is to appoint a principal designer and a principal contractor when there is more than one contractor, if not your duties will automatically transferred to the contractor or principal contractor.
PARTY WALL ACT
The owner, should they need to do so under the requirements of the Party Wall Act 1996, has a duty to serve a Party Structure Notice on any adjoining owner if building work on, to or near an existing Party Wall involves any of the following:
• Support of beam
• Insertion of DPC through wall
• Raising a wall or cutting off projections
• Demolition and rebuilding
• Underpinning
• Insertion of lead flashings
• Excavations within 3 metres of an existing structure where the new foundations will go deeper than adjoining foundations, or within 6 metres of an existing structure where the new foundations are within a 45 degree line of the adjoining foundations.
A Party Wall Agreement is to be in place prior to start of works on site.
The entire extension and any overhanging elements below or underground are to be constructed completely within the clients land ownership.

92 Spring Lane, Whittington...

Rev	Date	Note

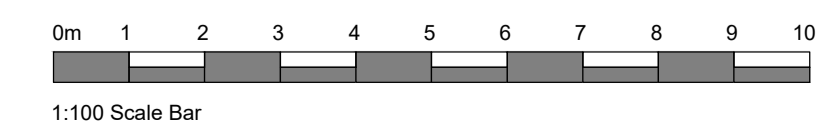
Status:
PLANNING

Client:
Mr Gabriel Wax

Project:
Extension and Alterations to 92 Spring Lane, Whittington

Drawing title:
Existing & Proposed Plans & Elevations

Drawing number: 419-200	Date of first issue: 11/11/22
Revision:	Scale / Paper size: 1:100 / A1



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