

DESIGN & ACCESS STATEMENT

PROPOSED 1 No. DWELLING

FOUR OAKS
IBSLEY
RINGWOOD

FOR

MR C COOPER

JAN 2023

REV A

ISSUED FOR PLANNING

30-01-23

NAP



1.0 Introduction

This statement has been prepared by way of amplification to, and in support of the scheme design, prepared for a full planning application.

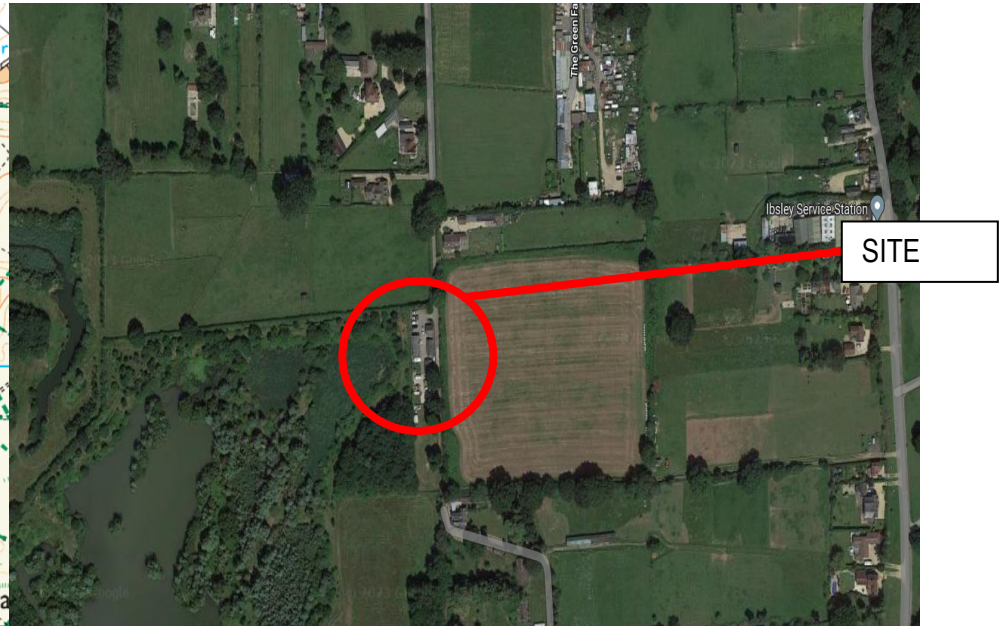
2.0 The Existing Site

- Location

The site is Four Oaks, Ibsley, Ringwood BH24 3NP.



Dia 1.



Dia 2.

- Site History / Current Planning Situation

There have been 2 previous applications on this site

10/96257 - Continued use as dwelling (Lawful Use Certificate for retaining an existing use) Thu 06 Jan 2011 REFUSED, APPEALED 19 Sep 2012
21/11159 - Erection of replacement dwelling; demolition of mobile home and residential building REFUSED Wed 23 Mar 2022

- Surrounding Built Environment / Character / Character Analysis

The site lies in the area of Ibsley in Southampton. Approx. 2 miles from the centre of Southampton.

The site (grid reference is SZ573990), is located north-east of Ibsley, a small rural village in the Upper Avon Valley and lying to the east of the A338. The site is located just outside the New Forest National Park boundary and at the edge of a site for nature conservation. It is 2.5 miles north of Ringwood, and 3 miles south of Fordingbridge. The site area comprises 0.09 hectares of which 0.017 hectare is the cumulative footprint of structures to be replaced. The land is generally flat, largely hardstanding with a grass and plant bed area enclosed within 1.8 -2.2 metre high brick walls and with a high evergreen hedge to the north.

Local settlement is confined to scattered smallholdings and a mix of dwellings along either side of the narrow unmade tracks. Both single and two storey dwellings are present within generous plots adjacent to the track access, along with pastures and paddocks in the neighbouring fields. Loose ribbon development occurs along Gorley Road and more modern bungalow housing development in New Road and Cuffnells Close with access to Ibsley Manor Farm. The nearest residential properties to the site are little haven 62 metres and Jersey Lodge 92 metres away to the north and Ibsley Manor Farm, 70 metres to the south.

- Natural Environment

The application site has a residential use and considered to be a permanent permission for a gypsy Traveller person. The surrounding landscape is dominated by pastoral land uses with an agricultural patchwork of smaller fields and paddocks with hedgerows, trees and small copses. Dispersed in this rural countryside setting, there are scattered buildings for residential and small businesses use. Avon Valley Lakes were created as a result of sand and gravel extraction. They have been developed as an important area for water storage, nature conservation, educational / and recreational use. The area is subject to an agreed Management Plan for the area - the Blashford Lakes Strategic Management Plan (February 2006)

- Access

The application site is accessed from an existing un-adopted track, which the applicant maintains on behalf of the local community. The track runs in a southerly direction from Ibsley Drove. The Drove itself is accessed from the west along the A338 and from the minor road (Gorley Road) connecting Rochford to North Gorley in the east.

3.0 Design Proposals

We have taken into account the comments on the previous application and have reduced the building to less than 100sq m and lowered the roof and changed the external finish to be more in keeping with the existing buildings.

- Building Design

The applicant is seeking planning consent for the construction of a permanent single storey residential dwelling with associated landscaping, on a previously developed site. The dwelling is to replace 3 structures: a mobile home, an existing residential outbuilding and stables (formerly a milking parlour). The timber clad garage on site is to be retained. The garden is to be enclosed and separate from the storage yard associated with the applicant's business use. The site is land at 4 Oaks Dairy, Ibsley Drove, Ibsley, Ringwood, BH24 3NP.

- Mass, Scale and Spacing

The Layout of the site has considered many factors i.e. size, shape and neighbouring houses.

Access to the site is via access track from Ibsley Drove.

The Layout is designed to allow good-sized rear gardens with additional landscaping throughout. The Layout will also be well screened and not dominate the existing scene.

The proposal is for one dwelling to be single storey in height, in keeping with the scale and character of surrounding developments and in keeping with the existing buildings close by.

- Amenity & Landscaping

The proposal includes the introduction of new shrub / hedging to the entire development and grassed areas of the gardens. The boundaries will remain unaffected as best possible and renewed with new close boarded fencing.

Landscaping and boundary reinforcing have been indicated and has been considered throughout the design process to help define private spaces (this includes replacing hedging removed with similar hedging).

The landscaping shown is indicative only, however should the application be successful a fully detailed landscaping scheme will be provided indicating species, TPO's, planting schedule, spacing's and maintenance schedule allowing for seasonal under planting etc.

This we would like to be dealt with as a condition to the approval.

Public open Space and Amenities spaces have not been provided within the development.

- Parking and Access

Parking is to be provided on site for the proposed dwelling aiming at a minimum of 2 parking spaces, to the front. Proposed parking areas will be well lit and visible considering any Secured by Design (SBD) issues that may arise.

The development shall be in full accordance with disabled persons use and access,

It is proposed to access the site from the existing access, as per the details provided within the submitted access plan.

- Refuse storage and collection

Provision would be made for a bin storage and collection to the front of the sites access.

- Drainage

The site does not lie within a Flood Zone, the low probability as it is known that there is no mains foul sewer, It is proposed that wastewater would be discharged via a connection to a new site treatment system or mains sewer and surface water would be to new soakaways.

- Energy Conservation

The proposal will be constructed of high quality materials, where appropriate from renewable sources, and will be well insulated to accord with current stringent legislation and will be fitted with efficient heating systems and zoned controls to minimize carbon emissions.

All dwellings should be fitted with 'A' rated appliances, energy efficient light bulbs/fittings and dual flush/water saving cisterns. Any external light fittings where possible should be solar powered.

The developer will consider the use of energy sources for heating and power such as Combined Heat and Power schemes and solar and photovoltaic technologies.

- Site Waste Management

It is envisaged that upon commencement of work, the main contractor responsible for carrying out construction, will prepare a more detailed report on how site waste should be managed, to include identifying, and giving due consideration to the following:

- Who will be responsible for resource management?
- What types of waste will be generated
- How the waste will be managed, will it be reduced, reused or recycled?
- Which contractors will be used to ensure the waste is correctly recycled or disposed of responsibly and legally
- How the quantity of the waste generated will be measured
- Ensure the on-site material storage and waste handling is well organised, and avoid over ordering of materials
- Implement a recording system of all waste disposed of or transferred through a signed Waste Transfer Note

- Biodiversity

It is not assumed any biodiversity issues will arise on this site.

- Access to Site and Building

Existing vehicular access to the site is as previously described. It was deemed necessary to create a new access which will have clear visibility.

Emergency vehicles will be able to gain access to the building on the site. Emergency egress from each dwelling will be via multiple external doors on the ground floor, and via means of escape windows to first floor habitable rooms.

The building will be designed / compliant to accord with the Building Regulations Approved Document M in respect of disabled access and movement around the buildings. A suitable hard paved area will be provided from the parking area to the front of buildings, with a ramped access and level threshold leading to the principle access. Internal circulation will be fully compliant, with door widths, corridors and toilet facilities within the prescribed limits.

- Crime Prevention

The proposal has been designed to provide a level of natural surveillance to the area immediately surrounding the site, without the loss of privacy to adjacent properties. Principle windows will afford unobstructed views of the private areas, highway/footpath, car parking and access drive.

Windows, dwelling external doors and garage doors should all accord with the minimum standard set out in 'New Homes-Secure by Design'.

Appropriate low energy lighting to car parking areas (to BS 5489) should be provided, as well as the main entrance doors etc.

4.0 Planning Policy Considerations

The site is located within the jurisdiction of New Forest District Council and as such the development plan for the site consists of the Core Strategy and saved policies of the New Forest Local Plan Review, in addition to policy guidance set out by central Government. The Local Plan Proposals Map shows the site falls within the designated built up area.

The scheme makes best use of the land, which is a key aim of national policy.

Similarly, the scheme accords with the Council's own policies of making best use of under used urban land in sustainable locations, in a way which respects the existing form of development and the amenities of the neighbouring properties.

5.0 Conclusion

The proposed development will be a new dwelling to replace the caravan and other buildings on the site and will make a positive contribution towards New Forest's significant housing need. The design is smaller and is visually and located better than previous approved schemes and makes a better contribution to the area.

The proposed development has, whilst meeting the density requirements set out in the planning policy guidelines, supported and complied with the visual quality and amenity aspects of the site location required by The Local Plan and Residential Guide. The mass and form match that of the surrounding buildings and combined with the topography / streetscape minimal impact along the street scene is made and a positive addition to the area is gained.

The architectural style will complement the existing buildings in the vicinity without competing with them, and with the use of similar traditional materials and building details ensure the new work blends comfortably into the site and surrounding area.

The scheme would comfortably bring several benefits. It would –

- Make more efficient use of land for housing.
- Remove a bland area which makes poor use of the land and forms no positive contribution to the area.
- Enhance the appearance and character of the area
- Provide for a modern, attractive, efficient and safe housing scheme with its own internal pedestrian access.

In accordance with application protocol we have undertaken an extensive amount of work and investigation to enable us to submit to the council a meaningful working scheme for a planning application on this site.