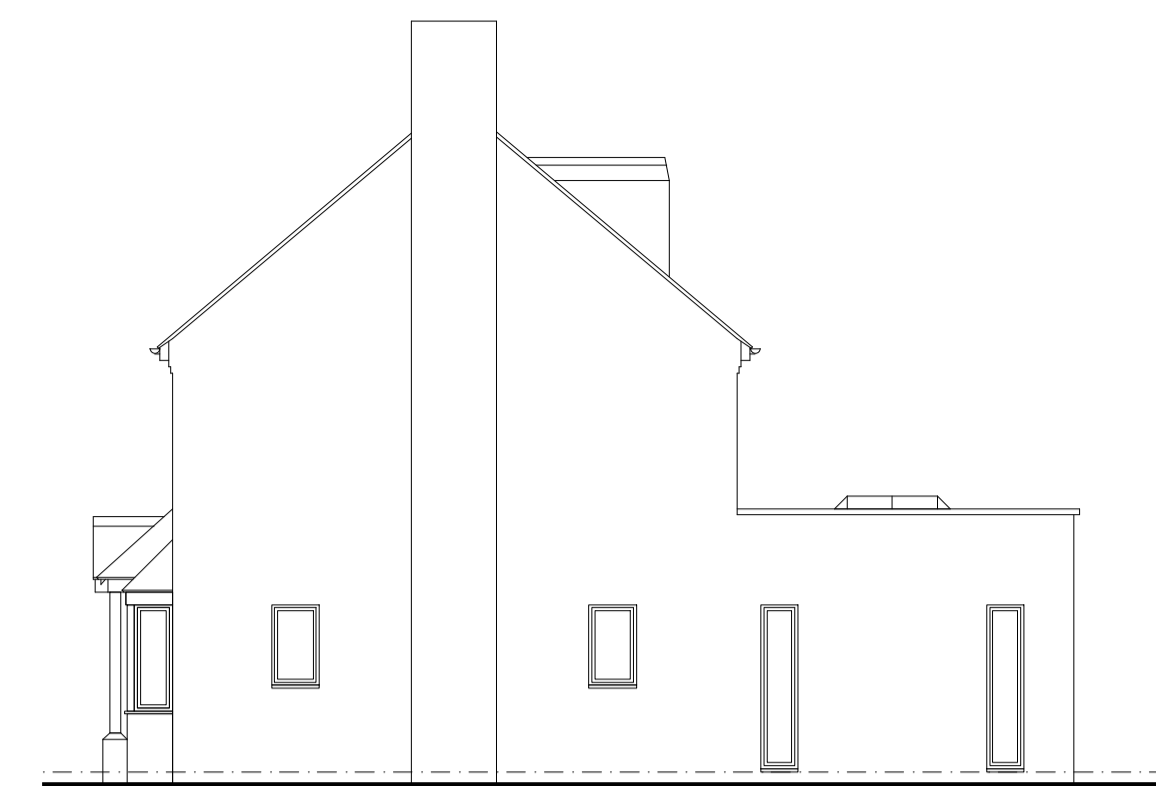




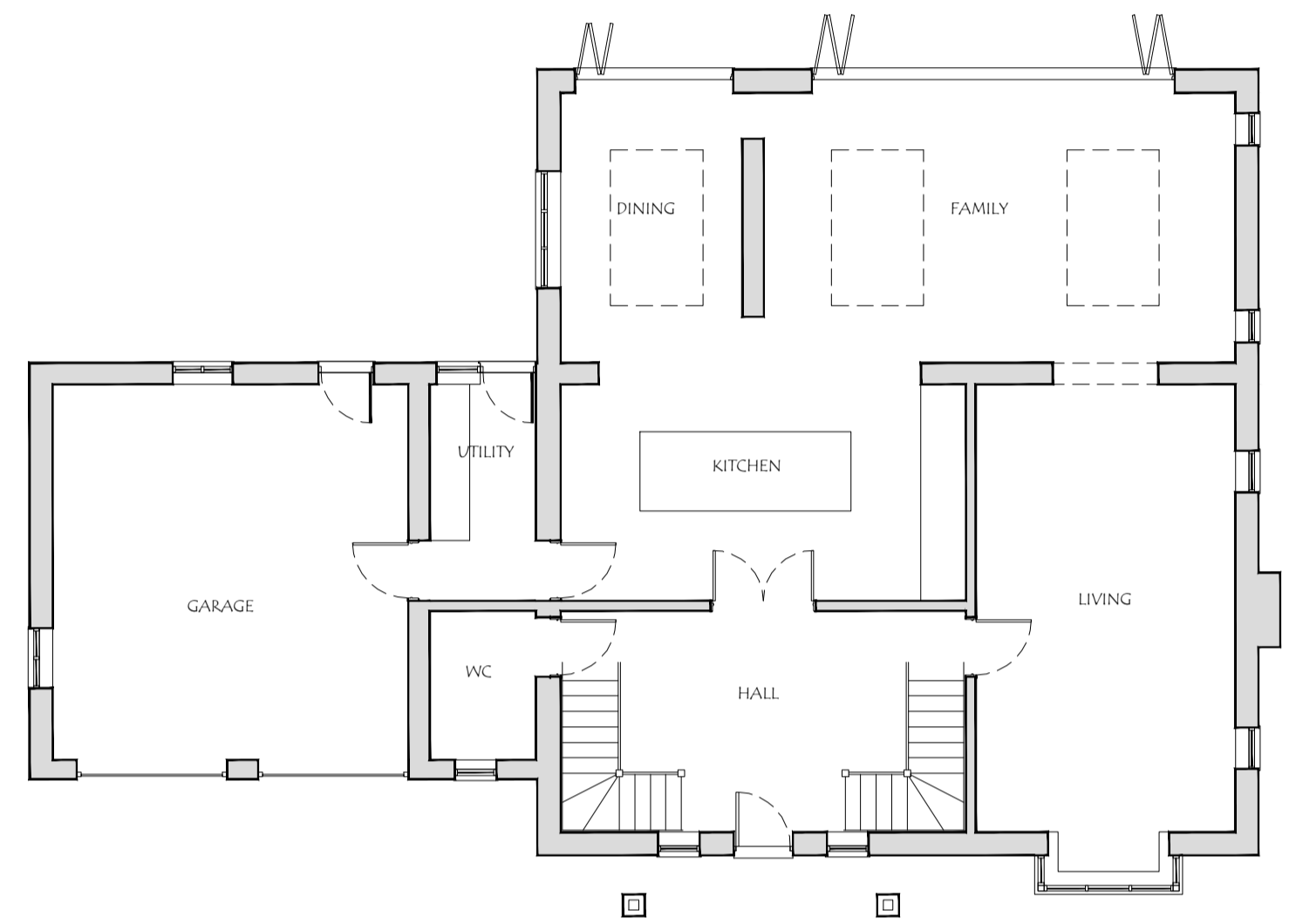
EXISTING FRONT ELEVATION
SCALE 1:100



EXISTING SIDE ELEVATION
SCALE 1:100

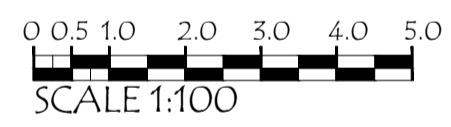


EXISTING SIDE ELEVATION
SCALE 1:100

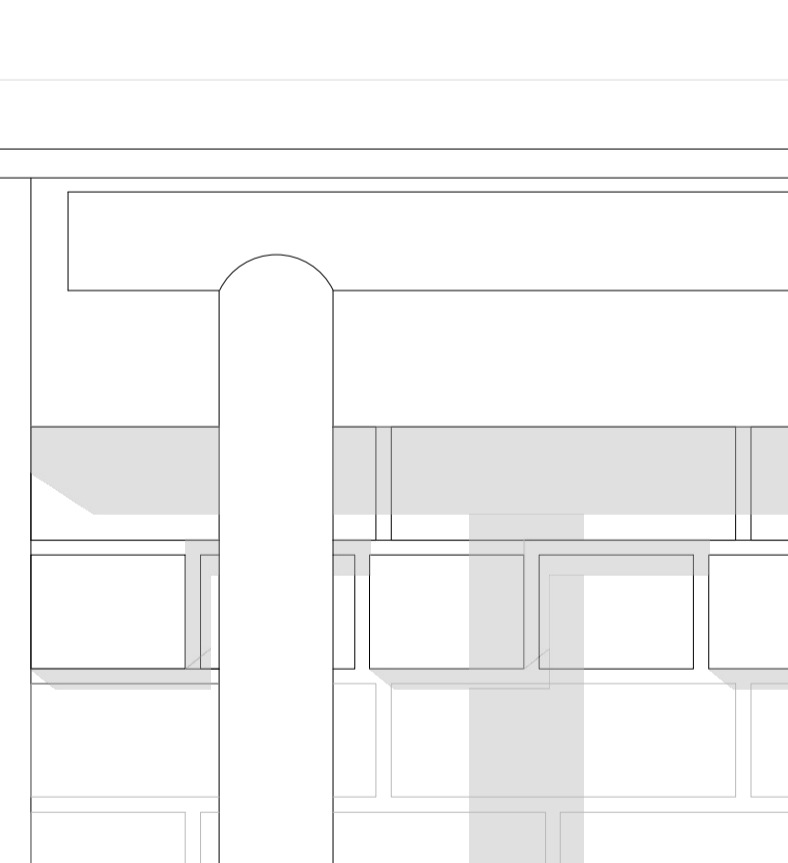


EXISTING GROUND FLOOR LAYOUT
SCALE 1:100

- INDICATES EXISTING WALLS TO BE REMAIN
- INDICATES EXISTING STRUCTURE TO BE REMOVED
- INDICATES NEW CONSTRUCTION
- COLOURED AREA INDICATES NEW FLOOR SPACE.



SCALE 1:100

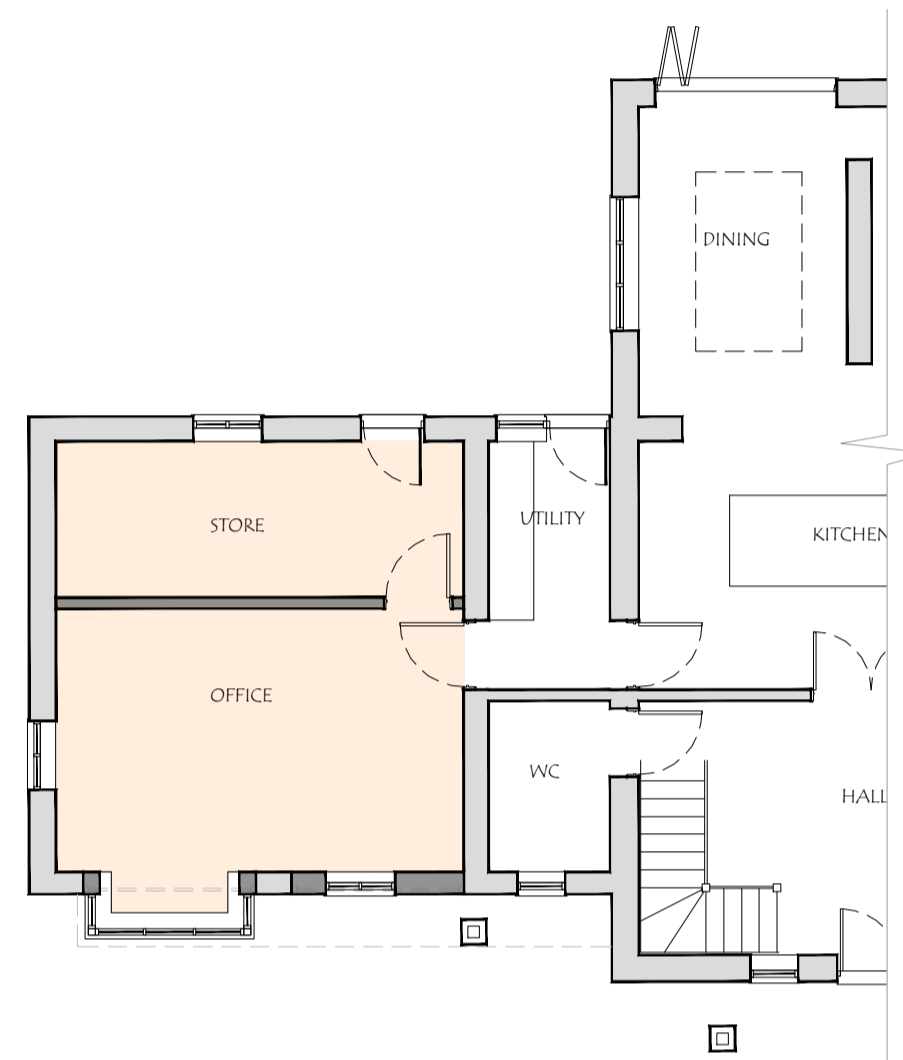


ENLARGED EAVES DETAIL FOR GARAGE
SCALE 1:5

To match the existing eaves on main house.



PROPOSED FRONT ELEVATION
SCALE 1:100



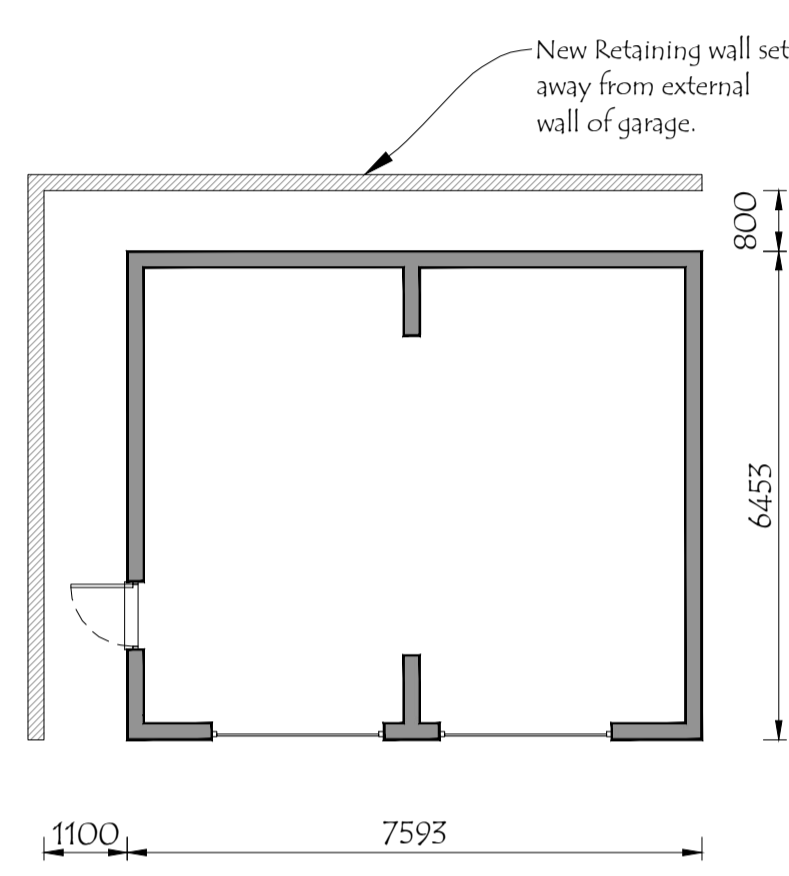
PROPOSED GROUND FLOOR LAYOUT
SCALE 1:100

Showing only the area to be remodeled. The existing garage is proposed to be converted into an office and a store room. The only other change proposed, is that the existing side window to the garage is to be relocated and used on the front elevation. No other changes are made by this proposal.

NOTE-

The rear elevation for the existing and proposed dwelling has been omitted as no changes will be made to this elevation.

It remains as originally approved under application reference 17/O4616/APP dated 10th April 2018.



PROPOSED GARAGE FLOOR PLAN
SCALE 1:100

NOTES-

16, HIGH STREET,
WHADDON,
BUCKS.
MK17 0NA
MATERIAL SCHEDULE.
External Walls - Facing brickwork to match.
Windows and Doors - to match existing.
Roof - Tiles to match existing.
RWP and Gutters - To match existing.

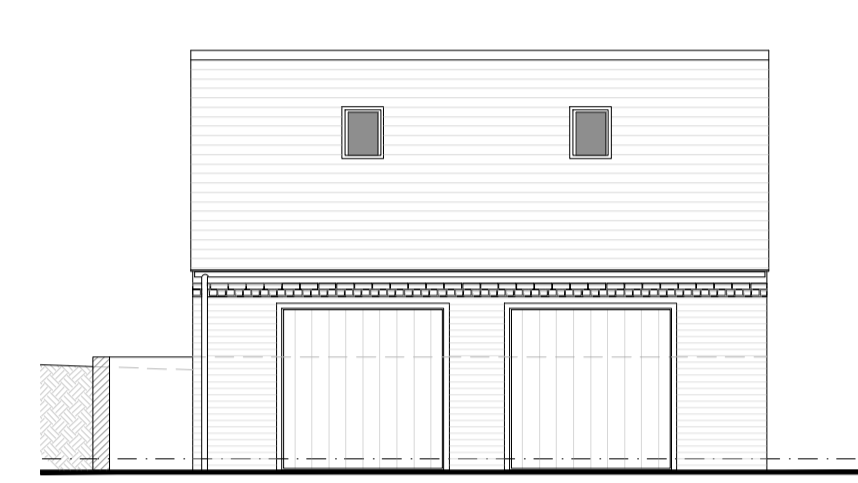
This proposal is to convert the existing integral double garage to create a home office and storage area.

A new detached double garage is to be constructed on the southern boundary. The eaves detailing on the garage is to replicate the eaves of the main house.

No other internal or external modifications are associated with this proposal.

This drawings shows the extent of the new areas of this proposal as being hatched. The areas that are to be removed are shown dotted on the plan.

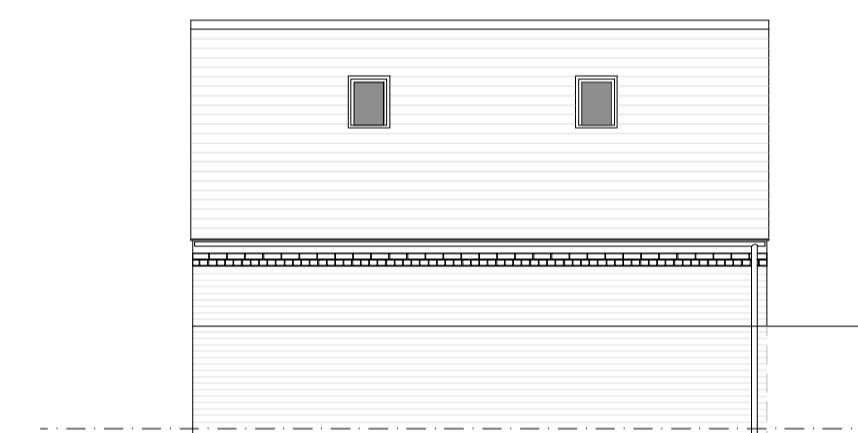
Surface water and foul water drainage to be connected to existing public sewers.
There is no increase in the capacity of the foul sewer.



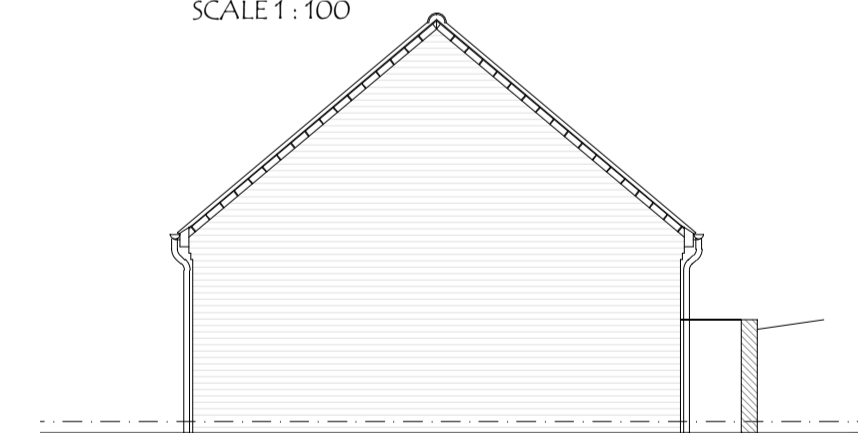
PROPOSED FRONT ELEVATION OF GARAGE
SCALE 1:100
Retaining wall and level difference shown on elevation.
Original garage doors from house, to be reused on detached garage.



PROPOSED SIDE ELEVATION OF GARAGE
SCALE 1:100



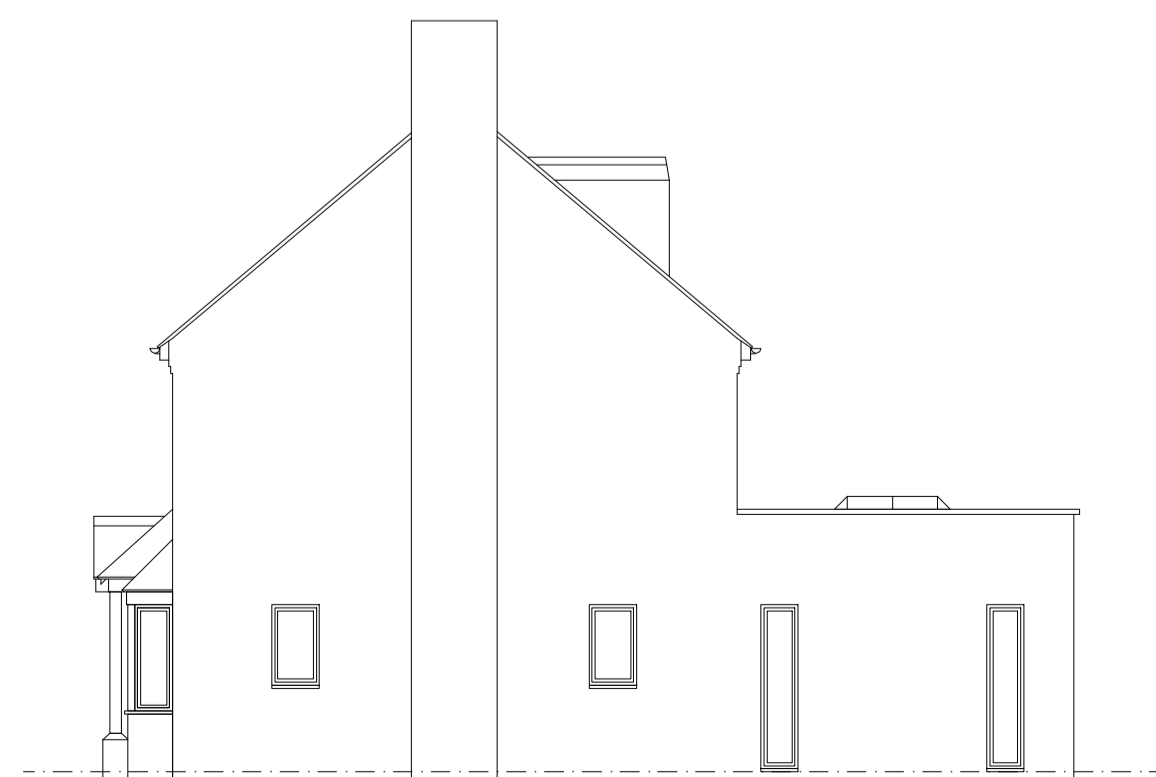
PROPOSED REAR ELEVATION OF GARAGE
SCALE 1:100



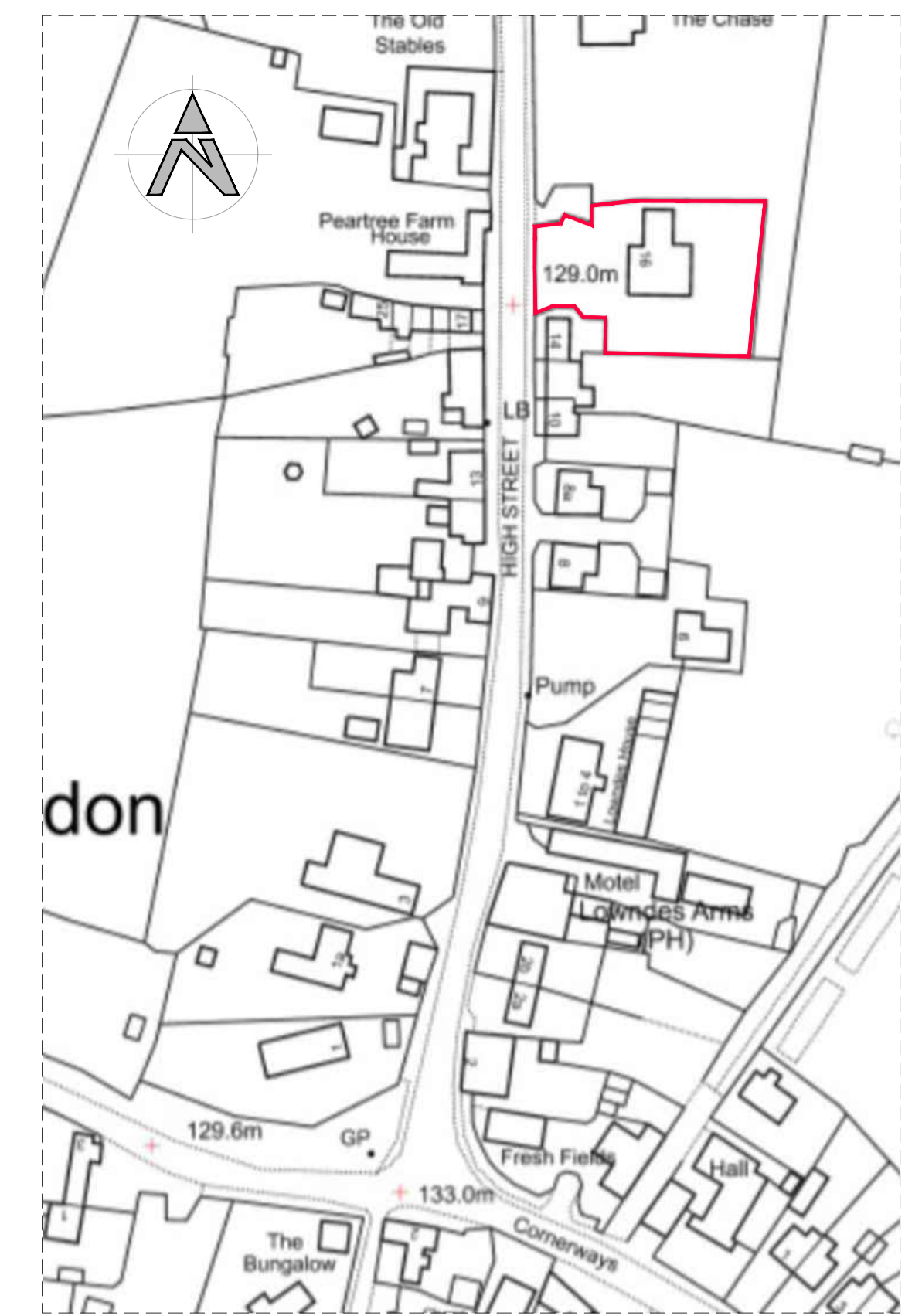
PROPOSED SIDE ELEVATION OF GARAGE
SCALE 1:100



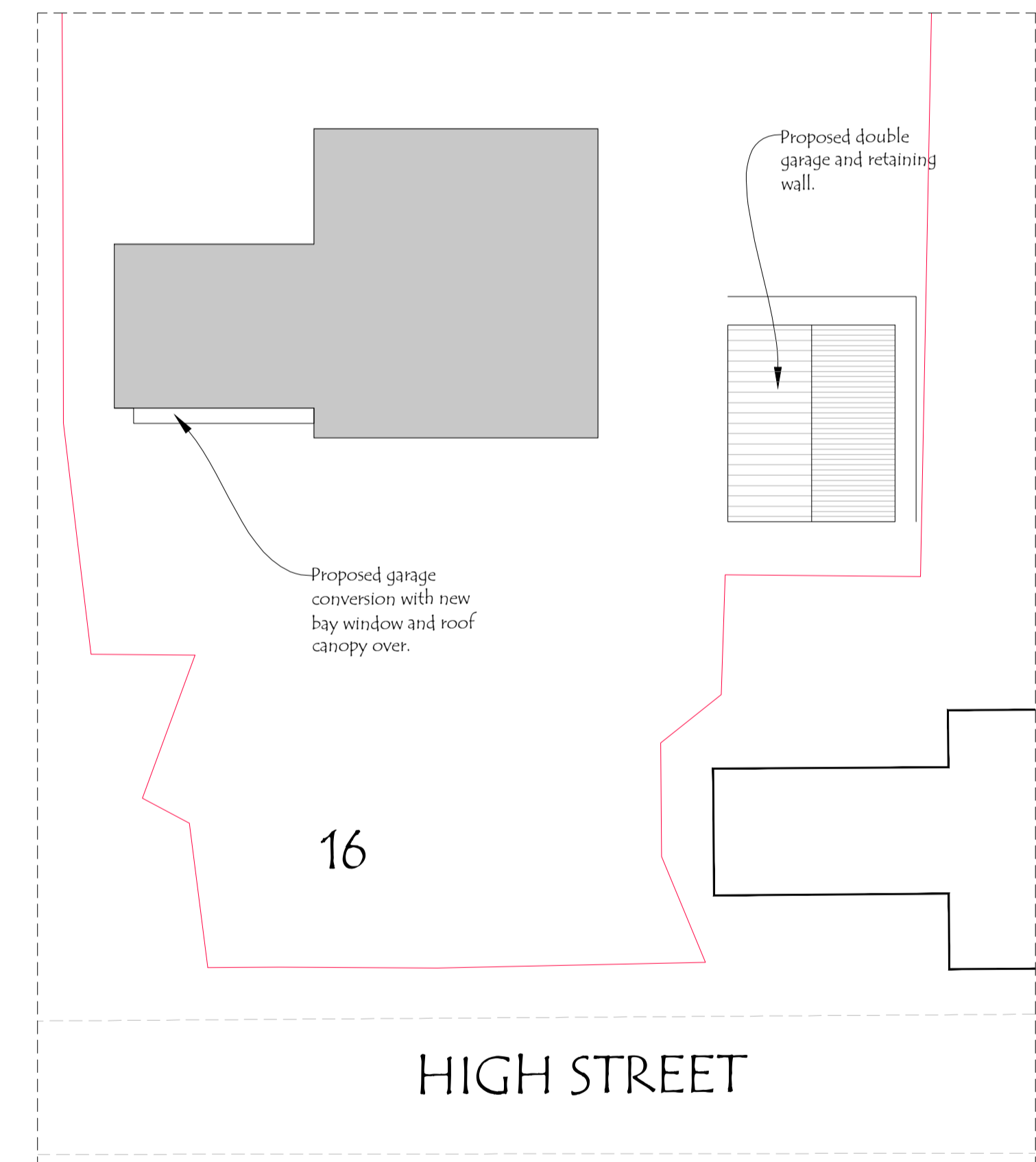
PROPOSED SIDE ELEVATION
SCALE 1:100



PROPOSED SIDE ELEVATION
SCALE 1:100



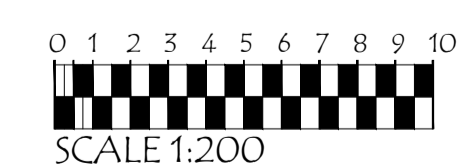
SITE LOCATION
SCALE 1:1250



SITE LAYOUT
SCALE 1:200

Showing new detached double garage and roof of bay window to garage conversion.

No other changes to access or parking arrangements are proposed.



SCALE 1:200

rev	date	description	drawn	chek
		NCC Design 116, Crowborough Lane Kemps Hill, Milton Keynes, Buckinghamshire MK17 6JN 01908 251020 01795 445343 ncc@nccdesign.co.uk www.nccdesign.co.uk		
Project:		16 HIGH STREET, WHADDON, BUCKS, MK17 0NA		
Drawn by:		NCC	Date:	MARCH 2025
Scale:		A1 A5		
Drawing title: GARAGE CONVERSION AND NEW DETACHED DOUBLE GARAGE. FOR MR D MISQUITTA				
Drawing number: P230227 01				revision P1