

FIRE PROTECTION

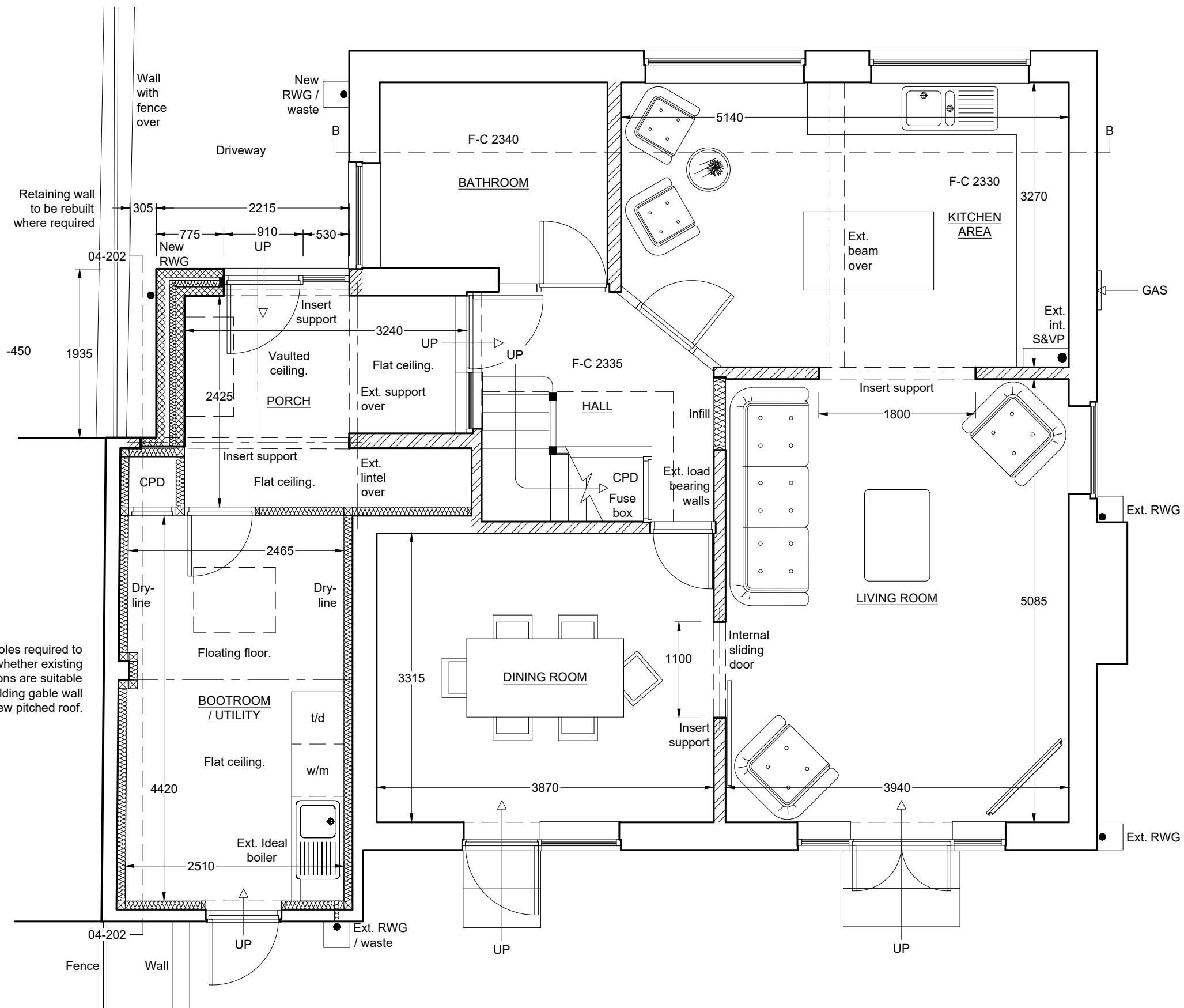
All elements of structure to have a minimum period of fire resistance of 30 minutes.

Linked smoke alarm system to be designed and installed by specialist subcontractor. To be ceiling mounted and fitted to ground and first floor landing areas. Smoke alarms to be fitted at least 300mm from

walls and lighting fittings and to comply with BS 5446 and BS 5839. Supply and install heat detector to kitchen and utility room.

Test certificates will be required upon completion for the emergency lighting and fire alarm systems.

Provide 30min fire doors (FD30) to all habitable rooms and stores as shown on plan to protected fire escape route.



* Trial holes required to deem whether existing foundations are suitable for building gable wall up and new pitched roof.

PROPOSED GROUND FLOOR PLAN

NOTE:
CONTRACTOR TO VERIFY ALL SIZES ON SITE BEFORE COMMENCEMENT.

NOTE:
PLEASE DO NOT SCALE FROM THIS DRAWING.

Party Wall Act
Notices under the Party Wall Act are to be served by the building owner or appropriate body appointed by the building owner. For further clarification on the Party Wall etc Act 1996 contact: Cairn Wharf Consultancy Ltd, 2 Boroughgate, Off Bay Horse Court, Otley, LS21 1SB M 07739 576181 cw@cairnwharf.com
For further information on the Party Wall etc Act 1996: <http://www.communities.gov.uk/documents/planningandbuilding/pdf/133214.pdf>

Building Contract
It is recommended that a formal written agreement is put in place between the building owner and the building contractor. A typical agreement that protects both owner and builder would be produced by the JCT. For further information on building contracts contact: Cairn Wharf Consultancy Ltd, 2 Boroughgate, Off Bay Horse Court, Otley, LS21 1SB M 07739 576181 cw@cairnwharf.com

CDM 2015 Regulations
The Construction (Design and Management) Regulations 2015 applies to all construction work. Designers, builders and Clients all have duties under the regulations. For further information on the CDM 2015 Regulations contact: Cairn Wharf Consultancy Ltd, 2 Boroughgate, Off Bay Horse Court, Otley, LS21 1SB M 07739 576181 cw@cairnwharf.com

GENERAL NOTES
Materials to match existing.
These notes do not comprise a full specification. The drawings are for building regulation purposes only and are not working plans. They do not comprise a complete specification for the whole of the works. Their primary function is to assist the local authority inspector to determine compliance in line with building regulation standards.
Where further clarifications are required contractor shall refer to the client for details and instruction.

All dimensions must be checked by the contractor and any discrepancies noted in writing to MAS Design Consultants Ltd.

All works must be carried out in accordance with current Building Regulations, Codes of Practice and Planning Officers requirements.

All materials must comply with current British Standards in situations used.

REV



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PROPOSED

EXTENT OF PROJECT:
PROPOSAL: PROPOSED GARAGE CONVERSION; FORMING BOOT ROOM / UTILITY. PROPOSED PITCHED ROOF TO EXISTING GARAGE. PROPOSED PORCH. PROPOSED INTERNAL ALTERATIONS; FORMING NEW FIRST FLOOR BATHROOM.

CLIENT DETAILS:
**MR A DENNEHY-NEIL,
35 SCHOOL LANE,
ADDINGHAM, ILKLEY,
LS29 0JN.**

DRAWING TITLE:
PROPOSED GROUND FLOOR PLAN.

PAPER	SCALE	DATE	DRAWING No	REV
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