

DOORS AND WINDOWS

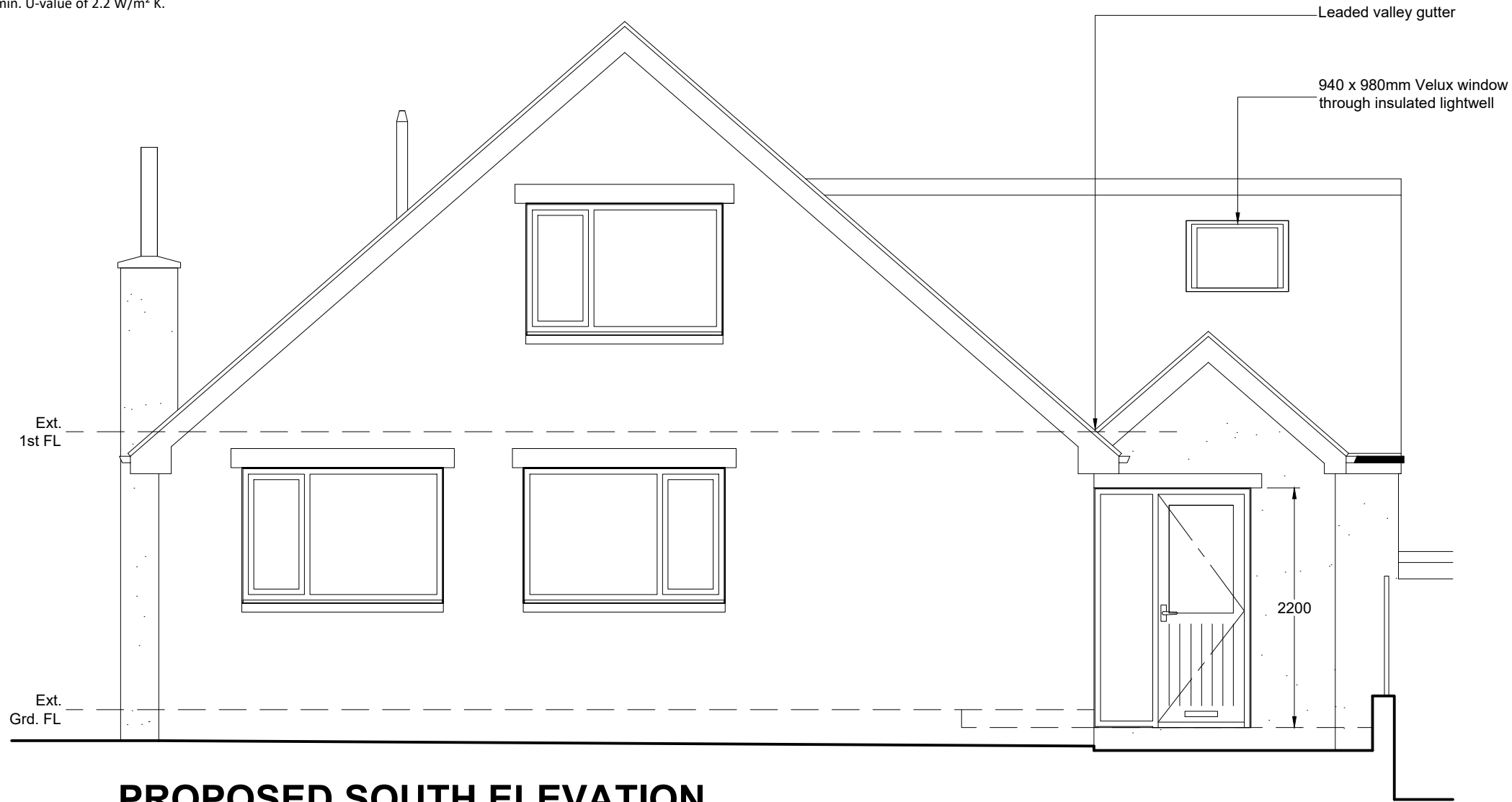
New front main entrance door to be composite.
 All new internal timber doors to ground floor, first and second floor to have minimum 750mm clear openings.
 All replacement windows must have trickle vents regardless of if the previous windows did not.

EXTENSION ROOF LIGHTS

Install 1no. 700 x 1140mm centre pivot Velux roof light above porch and 1no. 940 x 980mm centre pivot Velux roof light over utility through insulated light wells to pitched roof complete with flashing kits, located as indicated with trimmers cut from rafters to head and foot, to be installed fully in accordance with manufacturer's instructions.
 Double up rafters at sides of all roof lights.
 Roof light to achieve min. U-value of 2.2 W/m² K.

EXTENSION GLAZING

Windows to be Pilkington 'K' glass double glazed in accordance with BS 6262-4:2005, with 16mm argon filled air gap and soft low E coating, manufactured to BS 952-1:1995, factory fitted with double-sided security tape.
 All glazing between FFL and 800mm in critical glazing locations to be toughened / laminated safety glass in accordance with Part K4 of the Building Regulations, BS EN 12600 and BS 6206.
 All glazing between FFL and 1500mm in doors, in critical glazing locations to be toughened safety glass in accordance with Part K4 of the Building Regulations, BS EN 12600 and BS 6206.
 All glazing to achieve minimum U-value of 1.4 W/m² K.



PROPOSED SOUTH ELEVATION

NOTE:
 CONTRACTOR TO VERIFY ALL SIZES ON SITE BEFORE COMMENCEMENT.

NOTE:
 PLEASE DO NOT SCALE FROM THIS DRAWING.

Party Wall Act
 Notices under the Party Wall Act are to be served by the building owner or appropriate body appointed by the building owner. For further clarification on the Party Wall etc Act 1996 contact: Cairn Wharf Consultancy Ltd, 2 Boroughgate, Off Bay Horse Court, Otley, LS21 1SB M 07739 576181 cw@cairnwharf.com
 For further information on the Party Wall etc Act 1996: <http://www.communities.gov.uk/documents/planningandbuilding/pdf/133214.pdf>

Building Contract
 It is recommended that a formal written agreement is put in place between the building owner and the building contractor. A typical agreement that protects both owner and builder would be produced by the JCT.
 For further information on building contracts contact: Cairn Wharf Consultancy Ltd, 2 Boroughgate, Off Bay Horse Court, Otley, LS21 1SB M 07739 576181 cw@cairnwharf.com

CDM 2015 Regulations
 The Construction (Design and Management) Regulations 2015 applies to all construction work. Designers, builders and Clients all have duties under the regulations.
 For further information on the CDM 2015 Regulations contact: Cairn Wharf Consultancy Ltd, 2 Boroughgate, Off Bay Horse Court, Otley, LS21 1SB M 07739 576181 cw@cairnwharf.com

GENERAL NOTES
 Materials to match existing.
 These notes do not comprise a full specification. The drawings are for building regulation purposes only and are not working plans. They do not comprise of a complete specification for the whole of the works. Their primary function is to assist the local authority inspector to determine compliance in line with building regulation standards.
 Where further clarifications are required contractor shall refer to the client for details and instruction.
 All dimensions must be checked by the contractor and any discrepancies noted in writing to MAS Design Consultants Ltd.
 All works must be carried out in accordance with current Building Regulations, Codes of Practice and Planning Officers requirements.
 All materials must comply with current British Standards in situations used.

REV

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PROPOSED

EXTENT OF PROJECT:
PROPOSAL: PROPOSED GARAGE CONVERSION; FORMING BOOT ROOM / UTILITY. PROPOSED PITCHED ROOF TO EXISTING GARAGE. PROPOSED PORCH. PROPOSED INTERNAL ALTERATIONS; FORMING NEW FIRST FLOOR BATHROOM.

CLIENT DETAILS:
**MR A DENNEHY-NEIL.
 35 SCHOOL LANE,
 ADDINGHAM, ILKLEY.
 LS29 0JN.**

DRAWING TITLE:
PROPOSED SOUTH ELEVATION.

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