

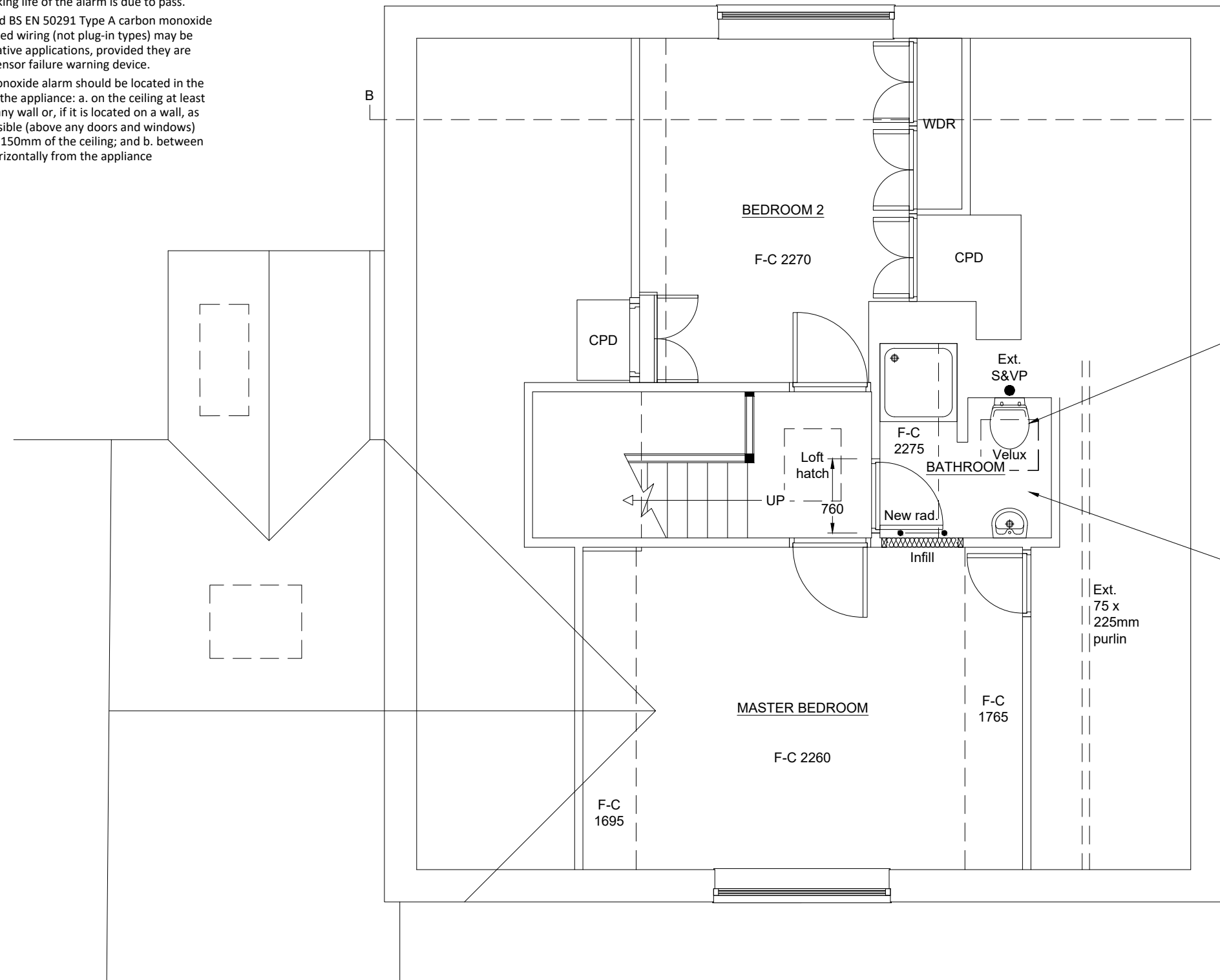
PART J, CARBON MONOXIDE ALARMS

Where a new or replacement fixed solid fuel appliance is installed in a dwelling, a carbon monoxide alarm should be provided in the room where the appliance is located.

Carbon monoxide alarms should comply with BS EN 50291:2001 and be powered by a battery designed to operate for the working life of the alarm. The alarm should incorporate a warning device to alert users when the working life of the alarm is due to pass.

Mains-powered BS EN 50291 Type A carbon monoxide alarms with fixed wiring (not plug-in types) may be used as alternative applications, provided they are fitted with a sensor failure warning device.

The carbon monoxide alarm should be located in the same room as the appliance: a. on the ceiling at least 300mm from any wall or, if it is located on a wall, as high up as possible (above any doors and windows) but not within 150mm of the ceiling; and b. between 1m and 3m horizontally from the appliance



New space saving concealed cistern toilet. NB: S&VP may need to be moved back slightly to accommodate.

In first floor bathroom strip plasterboard to pitched ceiling. Install 25mm Kingspan Kooltherm K107 Pitched Roof Board between rafters with 122.5mm K118 Kooltherm Insulated Plasterboard to underside. Maintain 50mm ventilation gap over insulation. Roof voids to have min. 25mm eaves ventilation with ridge tile vents. All roofs to achieve min. U-value of 0.15 W / m² K.

PROPOSED FIRST FLOOR PLAN

NOTE:
CONTRACTOR TO VERIFY ALL SIZES ON SITE BEFORE COMMENCEMENT.

NOTE:
PLEASE DO NOT SCALE FROM THIS DRAWING.

Party Wall Act
Notices under the Party Wall Act are to be served by the building owner or appropriate body appointed by the building owner. For further clarification on the Party Wall etc Act 1996 contact: Cairn Wharf Consultancy Ltd, 2 Boroughgate, Off Bay Horse Court, Otley, LS21 1SB M 07739 576181 cw@cairnwharf.com For further information on the Party Wall etc Act 1996: http://www.communities.gov.uk/documents/planningandbuilding/pdf/133214.pdf

Building Contract
It is recommended that a formal written agreement is put in place between the building owner and the building contractor. A typical agreement that protects both owner and builder would be produced by the JCT. For further information on building contracts contact: Cairn Wharf Consultancy Ltd, 2 Boroughgate, Off Bay Horse Court, Otley, LS21 1SB M 07739 576181 cw@cairnwharf.com

CDM 2015 Regulations
The Construction (Design and Management) Regulations 2015 applies to all construction work. Designers, builders and Clients all have duties under the regulations. For further information on the CDM 2015 Regulations contact: Cairn Wharf Consultancy Ltd, 2 Boroughgate, Off Bay Horse Court, Otley, LS21 1SB M 07739 576181 cw@cairnwharf.com

GENERAL NOTES
Materials to match existing.
These notes do not comprise a full specification. The drawings are for building regulation purposes only and are not working plans. They do not comprise of a complete specification for the whole of the works. Their primary function is to assist the local authority inspector to determine compliance in line with building regulation standards.
Where further clarifications are required contractor shall refer to the client for details and instruction.
All dimensions must be checked by the contractor and any discrepancies noted in writing to MAS Design Consultants Ltd.
All works must be carried out in accordance with current Building Regulations, Codes of Practice and Planning Officers requirements.
All materials must comply with current British Standards in situations used.

REV

MAS DESIGN CONSULTANTS LTD 01943878398

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PROPOSED

EXTENT OF PROJECT:
PROPOSAL: PROPOSED GARAGE CONVERSION; FORMING BOOT ROOM / UTILITY. PROPOSED PITCHED ROOF TO EXISTING GARAGE. PROPOSED PORCH. PROPOSED INTERNAL ALTERATIONS; FORMING NEW FIRST FLOOR BATHROOM.

CLIENT DETAILS:
**MR A DENNEHY-NEIL.
35 SCHOOL LANE,
ADDINGHAM, ILKLEY.
LS29 0JN.**

DRAWING TITLE:
PROPOSED FIRST FLOOR PLAN.

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