

FOUNDATIONS

On completion of site strip ensure that site of proposed extension is level, and completely free from all vegetable soil and organic matter. Excavate to reduced levels.
 Trial holes to be conducted by main contractor prior to commencement of works on site to ascertain ground conditions and existing garage foundations. Size and depth of all concrete foundations to be agreed on site with the Building Inspector and Structural engineer, and to comply with Building Regulation A1-2, F2 and BS EN 1997-1:2004.
 Foundations to external cavity walls to be concrete strip footings at 600mm x 225mm and to single leaf wall 450mm x 225mm at min 900mm below ground level on suitable bearing strata and constructed at the level of the existing house. New foundations to be tied to existing foundations with 3 No. H16 dowel bars, 400mm long, resin fixed 200mm into the existing footing.

Engineering advice to be sort if existing foundations above min depth or affected by trees and shrubs. All concrete to be min. grade C25 or C30.
 All alternative non strip foundations and retaining walls to be to an approved design by Structural engineer.
 Foundation to be taken below any drainage channels. Min 150 x 100mm concrete lintels to span opening.
 For details refer to **Structural Design drawings and specification.**

EXTERNAL EXTENSION WALLS - RENDERED CAVITY WALL CONSTRUCTION

New external walls to be constructed below ground level in Tarmac Durox Foundation Blocks foundation blocks complying with BS 6073-2:2008 and BS EN 1996-2:2006 to full width of wall over. **Compressive strength of 7.3 N mm².**

External cavity walls above ground level to be 2 no. internal leaf of Tarmac Toplight 100mm Blockwork 7.3 N mm² with 125mm cavity, partially filled with Kingspan Kooltherm K108 cavity board, **75mm** thick,

taped on the joints, secured with retaining clips and cut to return at all window openings. Ensure there are no gaps between the insulation boards, with external leaf of 100mm Tarmac Toplight 7.3 N mm². All precast units to in accordance with BS EN 15435:2008 and BS 6073-2:2008. **To achieve 0.18 W/m²K.**

Internally finished with 12.5mm Gyproc plasterboard with dri wall adhesive to British Gypsum's specification. Fit with tapered joints and a skim finish.

To be finished down to finished floor with a 2 coat 15mm Carlite plasterwork in accordance with BS EN 15435:2008 and BS 6073-2:2008.

Prepare the substrate to receive a render finish as per manufacturers recommendations to maximise bond and help reduce cracking of the substrate. Movement joints and bed joint reinforcement to be included as per manufacturers specific requirements.
 Apply one coat of through coloured Weberpral M render. Scrape back to a finished thickness of 15 -

25mm to chosen finish. Surfaces to be prepared and product applied as per manufacturer's guidelines.

New walls to be joined to existing with a stainless steel wall starter system.

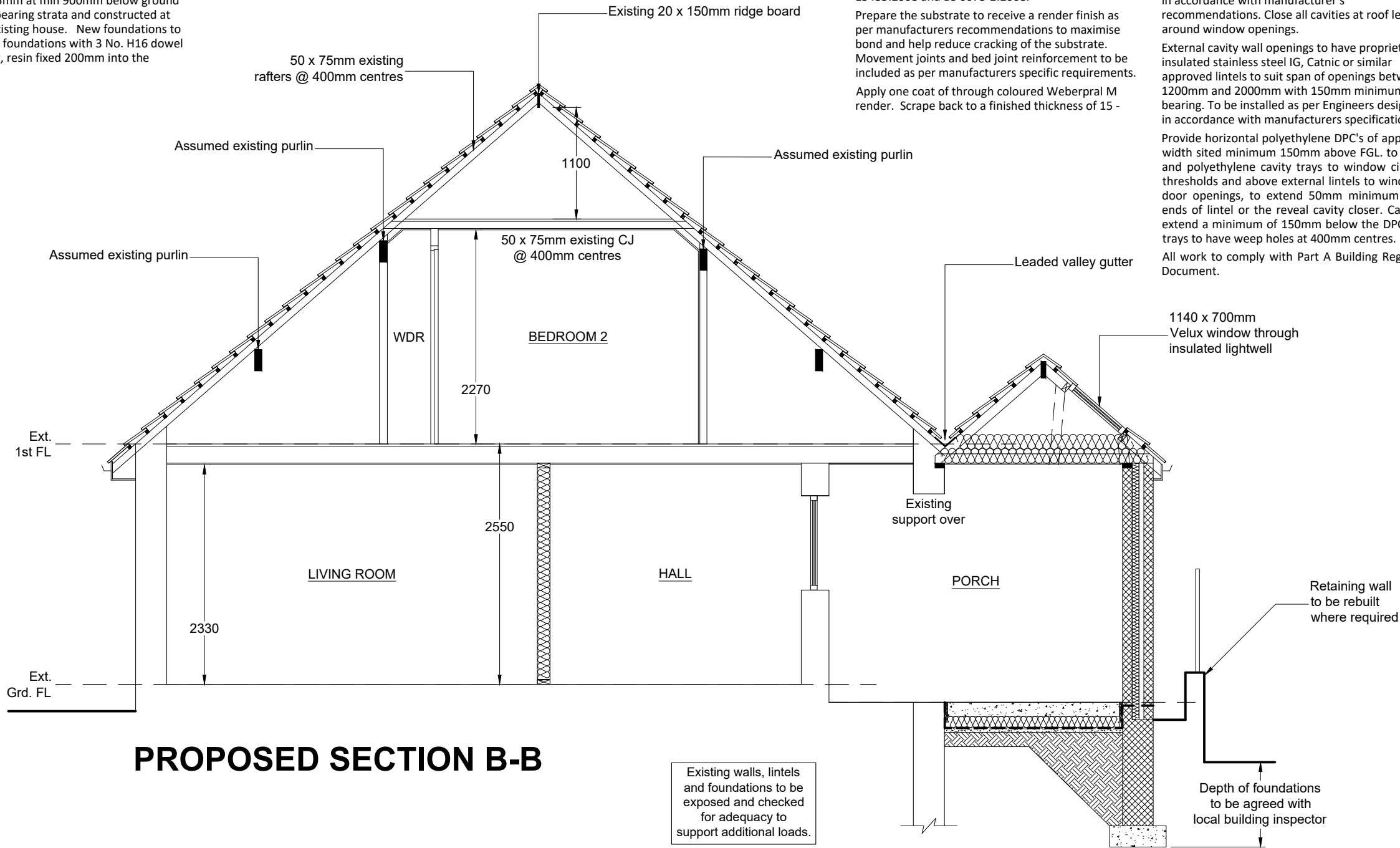
Stainless steel wall vertical twist type (with retaining clips) to be provided and fixed at 450mm centres vertically and 750mm centres horizontally staggered, reduced to 225mm to reveals; all to B.S. 1243. Additional ties to be provided at jamb openings at 300mm centres. To be installed in accordance with manufacturer's recommendations.

Provide suitable Thermabate insulated cavity closers to all external window and door openings. Installed in accordance with manufacturer's recommendations. Close all cavities at roof level and around window openings.

External cavity wall openings to have proprietary insulated stainless steel IG, Catnic or similar approved lintels to suit span of openings between 1200mm and 2000mm with 150mm minimum end bearing. To be installed as per Engineers design and in accordance with manufacturers specifications.

Provide horizontal polyethylene DPC's of appropriate width sited minimum 150mm above FGL to all walls and polyethylene cavity trays to window cills, door thresholds and above external lintels to window and door openings, to extend 50mm minimum beyond ends of lintel or the reveal cavity closer. Cavities to extend a minimum of 150mm below the DPC. Cavity trays to have weep holes at 400mm centres.

All work to comply with Part A Building Regulations Document.



PROPOSED SECTION B-B

NOTE:
 CONTRACTOR TO VERIFY ALL SIZES ON SITE BEFORE COMMENCEMENT.

NOTE:
 PLEASE DO NOT SCALE FROM THIS DRAWING.

Party Wall Act
 Notices under the Party Wall Act are to be served by the building owner or appropriate body appointed by the building owner. For further clarification on the Party Wall etc Act 1996 contact: Cairn Wharf Consultancy Ltd, 2 Boroughgate, Off Bay Horse Court, Otley, LS21 1SB M 07739 576181 cw@cairnwharf.com
 For further information on the Party Wall etc Act 1996: <http://www.communities.gov.uk/documents/planningandbuilding/pdf/133214.pdf>

Building Contract
 It is recommended that a formal written agreement is put in place between the building owner and the building contractor. A typical agreement that protects both owner and builder would be produced by the JCT.
 For further information on building contracts contact: Cairn Wharf Consultancy Ltd, 2 Boroughgate, Off Bay Horse Court, Otley, LS21 1SB M 07739 576181 cw@cairnwharf.com

CDM 2015 Regulations
 The Construction (Design and Management) Regulations 2015 applies to all construction work. Designers, builders and Clients all have duties under the regulations.
 For further information on the CDM 2015 Regulations contact: Cairn Wharf Consultancy Ltd, 2 Boroughgate, Off Bay Horse Court, Otley, LS21 1SB M 07739 576181 cw@cairnwharf.com

GENERAL NOTES
 Materials to match existing.

These notes do not comprise a full specification. The drawings are for building regulation purposes only and are not working plans. They do not comprise of a complete specification for the whole of the works. Their primary function is to assist the local authority inspector to determine compliance in line with building regulation standards.

Where further clarifications are required contractor shall refer to the client for details and instruction.

All dimensions must be checked by the contractor and any discrepancies noted in writing to MAS Design Consultants Ltd.

All works must be carried out in accordance with current Building Regulations, Codes of Practice and Planning Officers requirements.

All materials must comply with current British Standards in situations used.

REV



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PROPOSED

EXTENT OF PROJECT:
 PROPOSAL: PROPOSED GARAGE CONVERSION; FORMING BOOT ROOM / UTILITY.
 PROPOSED PITCHED ROOF TO EXISTING GARAGE.
 PROPOSED PORCH.
 PROPOSED INTERNAL ALTERATIONS; FORMING NEW FIRST FLOOR BATHROOM.

CLIENT DETAILS:
 MR A DENNEHY-NEIL.
 35 SCHOOL LANE,
 ADDINGHAM, ILKLEY.
 LS29 0JN.

DRAWING TITLE:
 PROPOSED SECTION B-B.

PAPER	SCALE	DATE	DRAWING No	REV
A3	1:50	02/23	M3948/04/301	.