

TILING

Fix new anthracite interlocking tiles to match existing with 10 gauge 65mm x 3.75mm flat headed aluminium alloy nails to 38 x 25mm treated SW battens on Kingspan Nilvent Breathable membrane underlay laid to allow water to drain to B.S. 13707:2013.

Tiles to be installed as per manufactures guidance. Battens to suit tile dimensions in accordance with BS 5534 2014. Tiles to be fixed or clipped at eaves and verge to suit prevailing wind conditions. Provide 25mm eaves vents to ensure roof ventilation.

EXTENSION FLOATING TIMBER FLOOR

Ensure concrete slab has dried out fully prior to the installation of Kingspan Thermafloor TF70 (average 1 day per mm of slab thickness). Install a thin layer of cement / sand mortar, a levelling screed, or a proprietary levelling compound can be used to achieve a level surface, and prevent the boards of Kingspan Thermafloor TF70 from slipping under the timber floor boards, if required. This should be allowed to set, harden and dry (approximately 1 day per mm) before proceeding further.

If there is no damp proof membrane in the concrete floor, one (minimum 300 micron / 1200 gauge polythene) should be laid with joints well lapped and folded, to prevent the passage of ground water, over the concrete floor slab, or beam and block floor, prior to installing the insulation boards. The membrane should be brought up the surrounding foundation walls until it is sufficiently above the height of the wall DPC so that it will connect with or form the DPC.

To comply with NHBC recommendations, preservative treated softwood timber battens should be positioned at doorways, access panels and to support partitions. The size of the battens selected should ensure that, when installed, the top surface of the insulation boards are flush with the top of the battens.

Insulation boards should always be loose-laid break-bonded, with joints lightly butted. Boards should be overlaid with a polythene sheet (not less than 250 micron / 1000 gauge), to act as a slip layer, and a vapour control layer. Ensure the polythene sheet has 150 mm overlaps, taped at the joints, and is turned up 100 mm at the walls.

Fit tongue and groove 22mm flooring over the insulation and battens with staggered cross-joints in accordance with DD ENV 12872: 2000. An expansion gap of 2 mm per metre run of floor, or a minimum of 10 mm overall, whichever is the greater, should be provided between the floor boards and the perimeter walls. Where there are long (over 5 metres), uninterrupted lengths of timber floor boards, proprietary intermediate expansion joints should be installed on the basis of a 2 mm gap per metre run. Tongue and groove joints to have a continuous bead of waterproof wood grade PVA adhesive to the top and bottom of the tongue and groove joints.

Fit strips of cork or polyethylene foam to act as a compressible filler and to help prevent cold bridging around the floor perimeter.

All floor to achieve min. U-value of 0.18 W / m² K. A suspended timber floor requires a ventilated air space between the ground covering and the floor timbers.

The ventilated air space should measure at least 150mm to the underside of the suspended timber. Two opposing external walls should have ventilation openings placed so that the ventilating air will have a free path between opposite sides and to all parts. The openings should be not less than either 1,500mm²/m run of external wall or 500mm²/m² of floor area.

NOTE:
CONTRACTOR TO VERIFY ALL SIZES ON SITE BEFORE COMMENCEMENT.

NOTE:
PLEASE DO NOT SCALE FROM THIS DRAWING.

Party Wall Act
Notices under the Party Wall Act are to be served by the building owner or appropriate body appointed by the building owner. For further clarification on the Party Wall etc Act 1996 contact: Cairn Wharf Consultancy Ltd, 2 Boroughgate, Off Bay Horse Court, Otley, LS21 1SB M 07739 576181 cw@cairnwharf.com For further information on the Party Wall etc Act 1996: http://www.communities.gov.uk/documents/planningandbuilding/pdf/133214.pdf

Building Contract
It is recommended that a formal written agreement is put in place between the building owner and the building contractor. A typical agreement that protects both owner and builder would be produced by the JCT. For further information on building contracts contact: Cairn Wharf Consultancy Ltd, 2 Boroughgate, Off Bay Horse Court, Otley, LS21 1SB M 07739 576181 cw@cairnwharf.com

CDM 2015 Regulations
The Construction (Design and Management) Regulations 2015 applies to all construction work. Designers, builders and Clients all have duties under the regulations. For further information on the CDM 2015 Regulations contact: Cairn Wharf Consultancy Ltd, 2 Boroughgate, Off Bay Horse Court, Otley, LS21 1SB M 07739 576181 cw@cairnwharf.com

GENERAL NOTES
Materials to match existing.

These notes do not comprise a full specification. The drawings are for building regulation purposes only and are not working plans. They do not comprise of a complete specification for the whole of the works. Their primary function is to assist the local authority inspector to determine compliance in line with building regulation standards.

Where further clarifications are required contractor shall refer to the client for details and instruction.

All dimensions must be checked by the contractor and any discrepancies noted in writing to MAS Design Consultants Ltd.

All works must be carried out in accordance with current Building Regulations, Codes of Practice and Planning Officers requirements.

All materials must comply with current British Standards in situations used.

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www.masdesignconsultants.com
1 Oxford Street, Guiseley, Leeds, LS20 9AX

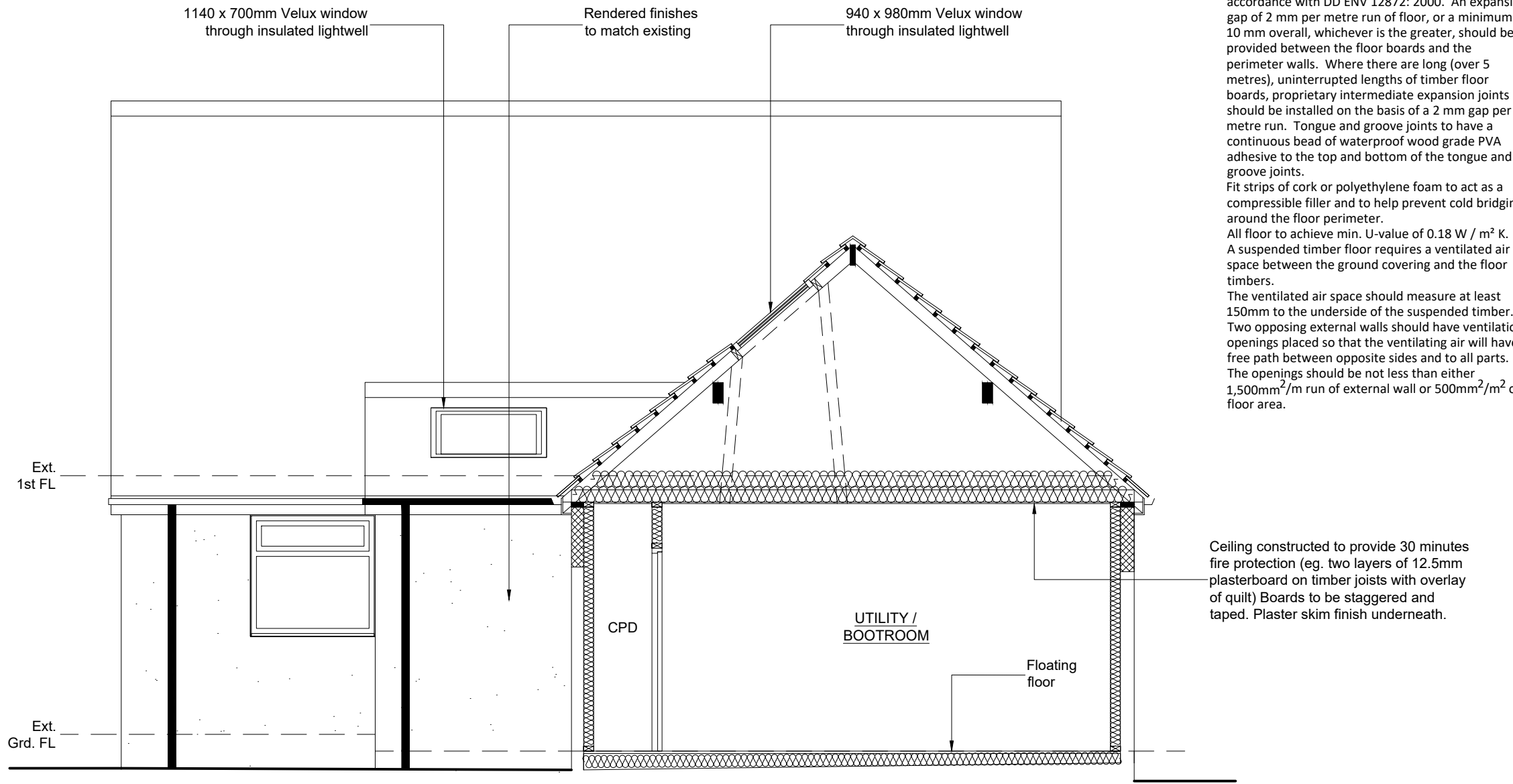
PROPOSED

EXTENT OF PROJECT:
PROPOSAL: PROPOSED GARAGE CONVERSION; FORMING BOOT ROOM / UTILITY.
PROPOSED PITCHED ROOF TO EXISTING GARAGE.
PROPOSED PORCH.
PROPOSED INTERNAL ALTERATIONS; FORMING NEW FIRST FLOOR BATHROOM.

CLIENT DETAILS:
MR A DENNEHY-NEIL.
35 SCHOOL LANE,
ADDINGHAM, ILKLEY.
LS29 0JN.

DRAWING TITLE:
PROPOSED EAST ELEVATION.

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PROPOSED EAST ELEVATION

Existing walls, lintels and foundations to be exposed and checked for adequacy to support additional loads.

* Trial holes required to deem whether existing foundations are suitable for building gable wall up and new pitched roof..