

Prepared by:

AlchemyArchitects Ltd.  
Oak Lodge Studio  
Sea View Road  
Yarmouth  
Isle of Wight  
PO41 0XU

www.alchemyarchitectsltd.com  
will@alchemyarchitectsltd.com  
T. (+44) 07835920760  
Copyright reserved.

**PRINT @ A3 size**



# DESIGN ACCESS & PLANNING STATEMENT

Site: 39 Woodvale Road, Gurnard , Isle of Wight, PO318EE – replacement dwelling



## CONTENTS

### Introduction-

- Principal considerations
- Details of application

### Planning statement-

- National policy
- Gurnard plan
- Design development

### Design explained

- Character of the area
- Planning history
- Proposal explained
- Ancillary building
- Refuse
- Parking
- Access
- Landscape
- Drainage
- Design summary

### Drawings

END



street scene

### Introduction

This is a Design, Access & Planning Statement to support an application for a replacement dwelling at 39 Woodvale Road, Gurnard, Isle of Wight, PO318EE.

A Design, Access & Planning Statement, is a short report accompanying a planning application to illustrate the process that has led to the development of the proposal, and to explain and justify it in a structured way.

### Principal Considerations.

- Principal of the development
- Impact on the character and appearance of the area
- Consideration of neighbouring amenity
- Highways considerations

### Details of application.

1 for 1 replacement dwelling and ancillary building.

New rear terrace/ patio and side access path.

New front terrace and landscaping.



Total site ownership outlined in red and blue

No. 39 SITE



Street view looking north

No. 41



Street view looking north east

No. 39 SITE



View looking west from top of Gurnard Heights

No. 39 SITE

No. 39 SITE

No. 37



Street view looking east



## National Planning Policy.

Section 7: Achieving well designed places.  
 Section 11: Making effective use of land.  
 Section 15: Conserving and enhancing the natural environment

## Island Plan Core Strategy (relevant policies).

**SP1**-Spatial strategy. The proposal is within an existing settlement boundary.

**SP2**-Housing. The proposal is a 1 for 1 replacement domestic dwelling.

**SP3**-Economy.

**SP5**-Environment.

**SP7**-Travel. The proposal is in a sustainable travel location.

**DM2**-Design criteria for new development. See design explanation page 5.

**DM3**-Balance mix of housing. The proposal is a 1 for 1 replacement domestic dwelling.

**DM12**-Landscape, sea scape, bio diversity & geodiversity. No roof lights, site currently small domestic garden-no change proposed.

**DM17**-Sustainable travel. The proposal is deemed to be in a sustainable travel location.

**SPD's**-Parking and Recycling.

Island Roads pre app advice 09/07/2020 advises that a 'betterment' of the existing situation is proposed.

Compliant hard standing for 2 no. IWCC bins shown on plans see arch DWG 002

## Gurnard neighbourhood plan (relevant policies)..

**Policy E1**-Landscape protection and green gaps – new development which could have a detrimental impact on the character and landscape of Gurnard Village and Gurnard Pines will not be supported.

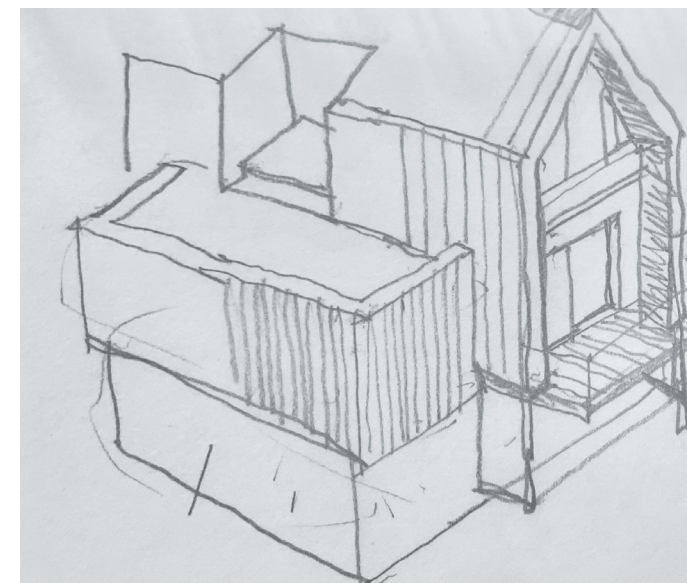
Anwesr- The proposal is a 1 for 1 replacement domestic dwelling. See design explanation, following pages.

**Policy H1.2**- Development should demonstrate that, types/design/tenures meet the local need (ref. local housing need survey).

Anwesr-The proposal is a 1 for 1 replacement domestic dwelling.

**Policy H1.3**- Planning conditions may be imposed as part of any permission to stipulate that the first occupants of the development are to be residents of the IOW and have a Gurnard 'connection'.

Anwesr-The developers/owners are in perminant residence at / on the site.



**DESIGN DEVELOPMENT** from appeal scheme to current proposal



## Description of - Character – mass/scale of the context – (as described in APP/P2114/W/21/3269289).

6. Woodvale Road is a long road that zigzags alternately to the left and right to the east of the appeal property. It contains mostly pitched roof chalet bungalows or bungalows and some two-storey houses. Most of these dwellings (and in nearby roads) are original, traditionally designed buildings with brick, tile or slate external materials and conventional fenestration. These are punctuated by some that have been altered significantly, or replaced, with modern contemporary forms or external materials including timber panels or cladding, render, plate glass fenestration (with powder coated coloured metal frames) and standing seam sheet metal roofs. Viewing points or windows, flat roof terraces and balconies on some buildings are evident given the coastal location and elevated views towards the Solent and mainland beyond.

7. Most of these dwellings are visually or spatially separate from the appeal site. They would not be seen together with the proposed house in public views and are not part of the immediate site surroundings. Nonetheless, there is a local context for two-storey houses, contemporary design or materials and flat roof elements that can be observed in the wider Woodvale Road area and elsewhere in Gurnard.

Moreover, the row of five split level houses opposite the appeal property are located on the lower side of the road with a single storey aspect facing the road and consequently are relatively diminutive. The most significant contribution to the street scene in this lower short section of Woodvale Road is the row of four dwellings, including the appeal property, on elevated ground and which is distinctly different from other parts of Woodvale Road.

## Planning history

- Original application Ref **20/00959/FUL**, dated **18 June 2020**, was refused by notice dated 18 August 2020.
- December 2021-Appeal Ref: **APP/P2114/W/21/3269289 39** Woodvale Road, Gurnard PO31 8EE – Approved.
- Revised design application pre app – **iw21/5/41484**.
- Revised design application pre app – **G.006.22**



aerial view looking north east

## Architects analysis of planning history – main dwelling.

### APP/P2114/W/21/3269289 – approved appeal

A flat roofed design over 3 story's using render and glass with some subservient volumes picked out in timber cladding and was said to comply with Island Plan2 (IP) Policy DM2 by the inspector.

### iw21/5/41484 –joint pre app with No.37.

No.39 – revised design using a pitched roof across the majority of the plan to accommodate a partial 3rd story. 'A more welcome aesthetic approach' reflecting the new build next door at No.41. An element of flat roof remains to step down the massing, down slope, to No.41. The two volumes, as seen on the street scene would break up the elevation and bulk of the unit without compromising the pattern of development in the area and might be said to add a suitable level of variation and interest without simply replicating the design at No.41.

### G.006.22 – pre app with No.37.

No.39 – A largely similar design to that proposed in **iw21/5/41484**. Some concerns raised over a lack of material break up on the southern/south eastern elevation to soften the proportion. Similarly the northern/ north western elevation was 'set back/ subservient' in **iw21/5/41484**. Also the amount/height of the 1st floor glazing had been reduced, which was deemed to have a negative effect on the street scene.

## Architects analysis - Ancillary building

### Appeal Ref: APP/P2114/W/21/3269289

**2 5.** The proposal would demolish the chalet bungalow and replace it with a house over three floors and demolish a garage in the rear garden and replace it with an ancillary outbuilding. It is a revised scheme following the Council's previous refusal of planning permission. The Council did not object to the ancillary outbuilding, nor did any interested parties. I have no reason to reach a different view in this respect.

No negative reference appears to have been made to subsequent ancillary variations proposed in **iw21/5/41484** and **G.006.22** pre app enquiries.

The current proposal is also along similar/along the lines of previously proposed designs.



aerial view looking west



## THE PROPOSAL -

### Architects analysis of revised/new design – main dwelling.

Principal of development -The principal of a new replacement dwelling and ancillary building based on the approximate footprint location of the existing dwelling/ ancillary building appears to have been well established in the planning history of this site. Similarly the board scale and mass appears to be reasonably established on the street scene.

### Street scene / primary west elevation

The revised design builds on the positive LPA comments on the use of a pitched roof with a subservient flat roof volume. The larger pitched roof volume is identified in a standing seam metal material, increasingly employed in the immediate and wider area (for example-No.35 Woodvale Road). This volume projects slightly forward of the north elevation section of the dwelling to make the smaller flat roofed section subservient/ more subservient as highlighted in pre application guidance. This is reinforced by the use of softer timber cladding at first floor level.

The 1st floor glazing height and width has been increased/reinstated to take into account pre application guidance.

Sliding timber slatted shade screens are indicated to soften the elevation.

A single narrow balcony has been substituted at first floor level to replace the previous long balcony that spanned the whole street elevation.

This reduces the mass on the street elevation as seen from the road. It also increases front garden privacy to neighbours. In addition it provides some deep shade and weather protection to the large ground floor primary glazing.

The slight forward projection of the pitched roof element provides 'cheeks' at the sides of the primary upper windows to 'channel' the forward view also helping with neighbouring privacy.

A narrow upper balcony/ set back helps to throw deeper shade to the underside of the pitched roof and glazing, increasing the modelling and visual break up of the street elevation.

Finally a chimney feature has been employed at the juncture of the two main volumes, which seeks to identify with similar vertical features of the neighbouring dwellings on the street scene.

### North elevation (side) – adjacent No.41

The flat roof element has had glazing reduced to a minimum. The centre 1st floor bathroom has a small window with obscured glazing to 1.7m above 1st floor FFL with an opening light above.

A narrow vertical ground floor window towards the street captures an oblique sea view glimpse, arguably less intrusive than the existing dwelling's corner window.

A narrow horizontal slot window at counter height supplies daylight to the kitchen, again arguably less intrusive than the existing dwelling's window in the same location.

Timber cladding to the first floor seeks to soften and break up the mass of the north elevation. Other elements of pitched roof and rear volume are well set back.

### South elevation (side) – adjacent No.37

Here glazing has also been reduced to a minimum.

The 1st floor bathroom and bedroom have a small window with obscured glazing to 1.7m above 1st floor FFL with an opening light above.

The 1st floor is clad in standing seam metal, wrapping down as part of the roof volume (which slopes away and would not be observed in reality on site, as it would not be viewed in flat elevation). This material 'frames' a softening timber cladding section, referencing the north elevation.

Below this is a rendered ground floor element with front door and desk height slot window.

The elevation is then further softened visually and proportionally by a forward element of timber cladding which signs and forms the main entrance door.



north elevation



east elevation



west elevation



south elevation

## THE PROPOSAL - East elevation (rear)

Design similar to that shown in original planning application and discussed in Appeal Ref: **APP/P2114/W/21/3269289**.

A simple projection, slightly subservient in parapet height to the north elevation.

This element is broken down vertically by a change in material to standing seam metal at first floor.

1st floor windows, which provide light and ventilation to 3no. small, non habitable rooms are 'set back' from the main elevation.

This creates 'cheeks' to 'direct' any view away from neighbouring amenity.

The timber clad lining of this recess also softens the elevation. 2no. small 2nd floor windows allow natural light and vent to the stair and a store room.

The main 'pitched' volume of standing seam metal projects towards slightly to break up the volume of the rear elevation. This is further achieved by a 1st floor band of timber cladding running through the design.

## Flat roof terrace.

The second floor plan shows a modest roof terrace area set back from the parapet on the western (front) elevation by 1.75m, north elevation by 2m and east elevation by 3.78m.

Glazing access to the terrace is well recessed into the pitched roof allowing only a blinkered view to the sea.

The extent of the accessible terrace area has been significantly reduced from that of the previous two designs.

This should ensure that no direct overlooking/ reduction in No.41's amenity is caused, whilst allowing sea views and useful maintenance access to roofs.

Pre application has not produced any adverse comments/advice on a well set back roof terrace. Terraces/ roof terraces and balconies are discussed in the character context of the area in **APP/P2114/W/21/3269289**.

## Ancillary building

Similar to previous applications, which exhibited flat and pitched roof designs. The revised design is for a single room with WC and looks to echo the main dwelling in its aesthetic.

## IWCC – recycling bin store

This is located to the rear of the property and designed to site next to the ancillary building in an easily accessible location (see DWG-001-key)

## Parking

This has been reviewed by Island Roads on previous applications. The existing off road rear parking for 2 vehicles remains unchanged.

## Access

A ramped – flush access into the building is shown from the rear car parking entry to the front door.

## Landscaping

Ref drawing 001, general landscaping indicated. Existing hedging/shrubs maintained and/or replaced as required.

## Drainage

Existing combined mains drainage connection utilised.

## Design summary

A considered approach that attempts to condense the extensive planning history and arrive at a balanced design that sits comfortably within the street scene.

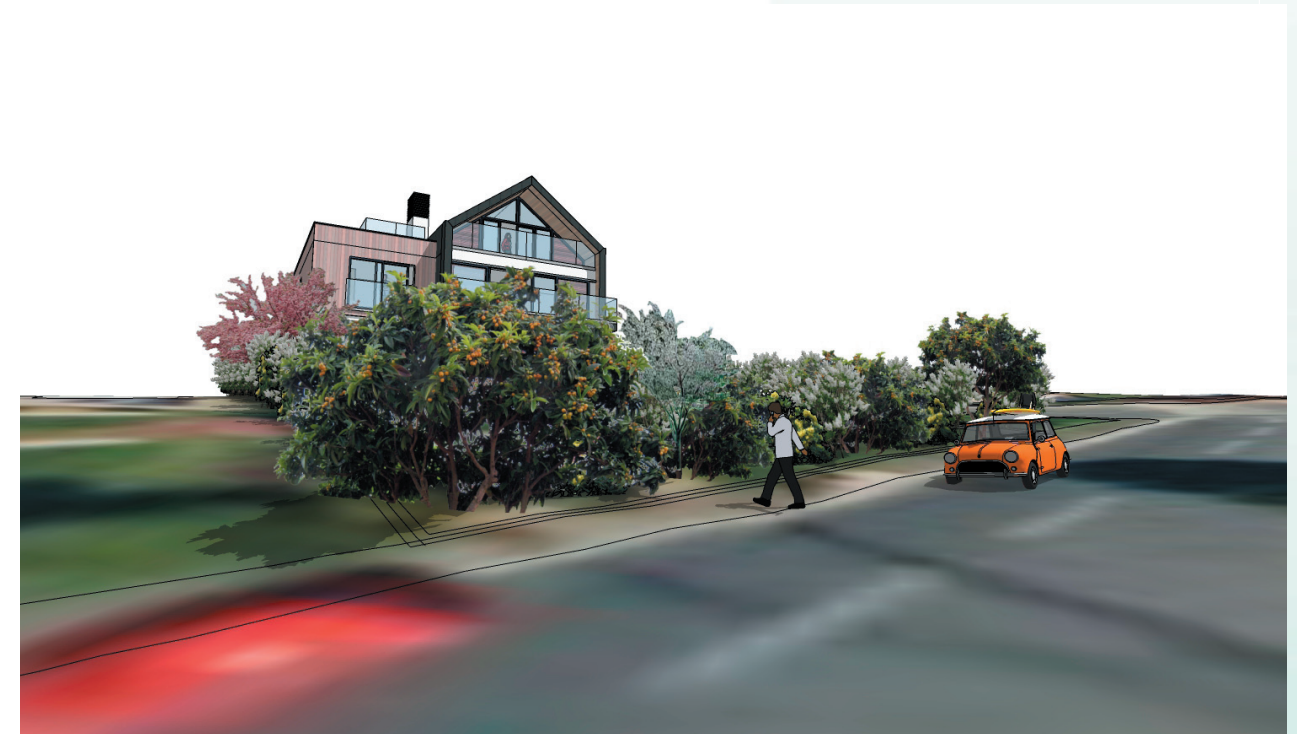
A contemporary replacement dwelling, taking its queue's from the most recent addition at No. 41 without slavishly duplicating the design or overly compromising neighbouring amenity.

Attempting to broadly maintain the existing levels of adjacent privacy, whilst allowing sea views and external spaces to be sensibly enjoyed.

A positive addition to this constantly evolving area of Gurnard.



street view looking north east



street view looking east