

This technical note provides the relevant information in pursuit of the discharge of condition 17 relating the planning application reference number 19/00180/OUM.

CONDITION 17

No above ground construction shall take place until details of the proposed arrangements for future management and maintenance of the proposed streets within the development have been submitted to and approved in writing by the Local Planning Authority. (The streets shall thereafter be maintained in accordance with the approved management and maintenance details until such time as an Agreement has been entered into unto S38 of the Highways Act 1980 or a Private Management and Maintenance Company has been established).

To ensure satisfactory development of the site and to ensure estate roads are managed and maintained thereafter to a suitable and safe standard, in accordance with policy COM7 of the East Cambridgeshire Local Plan 2015. The condition is ore-commencement as it would be unreasonable to require applicants to undertake this work prior to consent being granted.

EXISTING SITE

The site is located off Station Road, Haddenham. The development is to be built on existing brownfield land which was occupied by large industrial units. The approximative OS grid reference for the centre of the site is TL 466763 and post code is CB6 3XD.

A site topographical survey of the existing development can be found attached to this technical note.

PROPOSED SITE

All the existing industrial units are proposed to be demolished and to construct 48 dwellings with the associated infrastructure.

A copy of the proposed site plan is attached to this technical note.

STREET MANAGEMENT AND MAINTENANCE ARRANGEMENT

As per the Highway Arrangements Plan ref 220469-RGL-ZZ-XX-DR-D-125-0002, the main access roads will be offered for adoption under a S38/278 of the Highways Act 1980 to the local Highway Authority (LHA). The adoptable road will be maintained in accordance with LHA Protocol.

The driveways associated with the shared ownership plots will be privately maintained by the plot owners.

The remaining estate roads (shared driveways) and parking spaces associated with the affordable plots, will be privately maintained by a private management company, Accent Housing Limited, financed via a service charge levied at dwelling occupiers.

The private shared driveways are currently impermeable block paving. Should Anglian Water accept to have the S104 sewers beneath permeable paving, the road construction specification will be updated accordingly.

To deliver a drainage strategy which complies with the Lead Local Flood Authority requirements, it is proposed that the parking spaces will be permeable paving allowing for surface water treatment and storage of runoff.

| | | | | | | | |
|--------------|----------------|-------|----------|-------------|---------------|-------|------------|
| Prepared By: | Olga Prisacaru | Date: | 27.03.23 | Reviewed by | Bryan Hoadley | Date: | 27.03.2023 |
|--------------|----------------|-------|----------|-------------|---------------|-------|------------|

The maintenance frequency and activities of the private permeable paving can be seen within Table 1 below, which is prepared in accordance with the latest design guidance.

| MAINTENANCE SCHEDULE | REQUIRED ACTION | TYPICAL FREQUENCY |
|------------------------|--|---|
| Regular Maintenance | Brushing and vacuuming (standard cosmetic sweep over whole surface) | Once a year, after autumn leaf fall, or reduced frequency as required, based on site-specific observations of clogging or manufacturers recommendations – pay particular attention to areas where water runs onto pervious surface from adjacent impermeable areas as this area is most likely to collect the most sediment |
| Occasional Maintenance | Stabilise and mow contributing and adjacent areas | As required |
| | Removal of weeds or management using glyphosate applied directly into the weeds by an applicator rather than spraying | As required – once per year on less frequently used pavements |
| Remedial Actions | Remediate any landscaping which, through vegetation maintenance or soil slip, has been raised to within 50mm of the level of the paving | As required |
| | Remedial work to any depressions, rutting and cracked or broken blocks considered detrimental to the structural performance or a hazard to users, and replace lost jointing material | As required |
| | Rehabilitation of surface and upper substructure by remedial sweeping | Every 10 to 15 years or as required |
| Monitoring | Initial inspection | Monthly for 3 months after installation |
| | Inspect for evidence of poor operation and / or weed growth – if required, take remedial action | Three-monthly, 48h after large storms in first six months |

| | | | | | | | |
|--------------|----------------|-------|----------|--------------|---------------|-------|------------|
| Prepared By: | Olga Prisacaru | Date: | 27.03.23 | Reviewed by: | Bryan Hoadley | Date: | 27.03.2023 |
|--------------|----------------|-------|----------|--------------|---------------|-------|------------|

| MAINTENANCE SCHEDULE | REQUIRED ACTION | TYPICAL FREQUENCY |
|----------------------|--|-------------------|
| | Inspect silt accumulation rates and establish appropriate brushing frequencies | Annually |
| | Monitor inspection chambers | Annually |

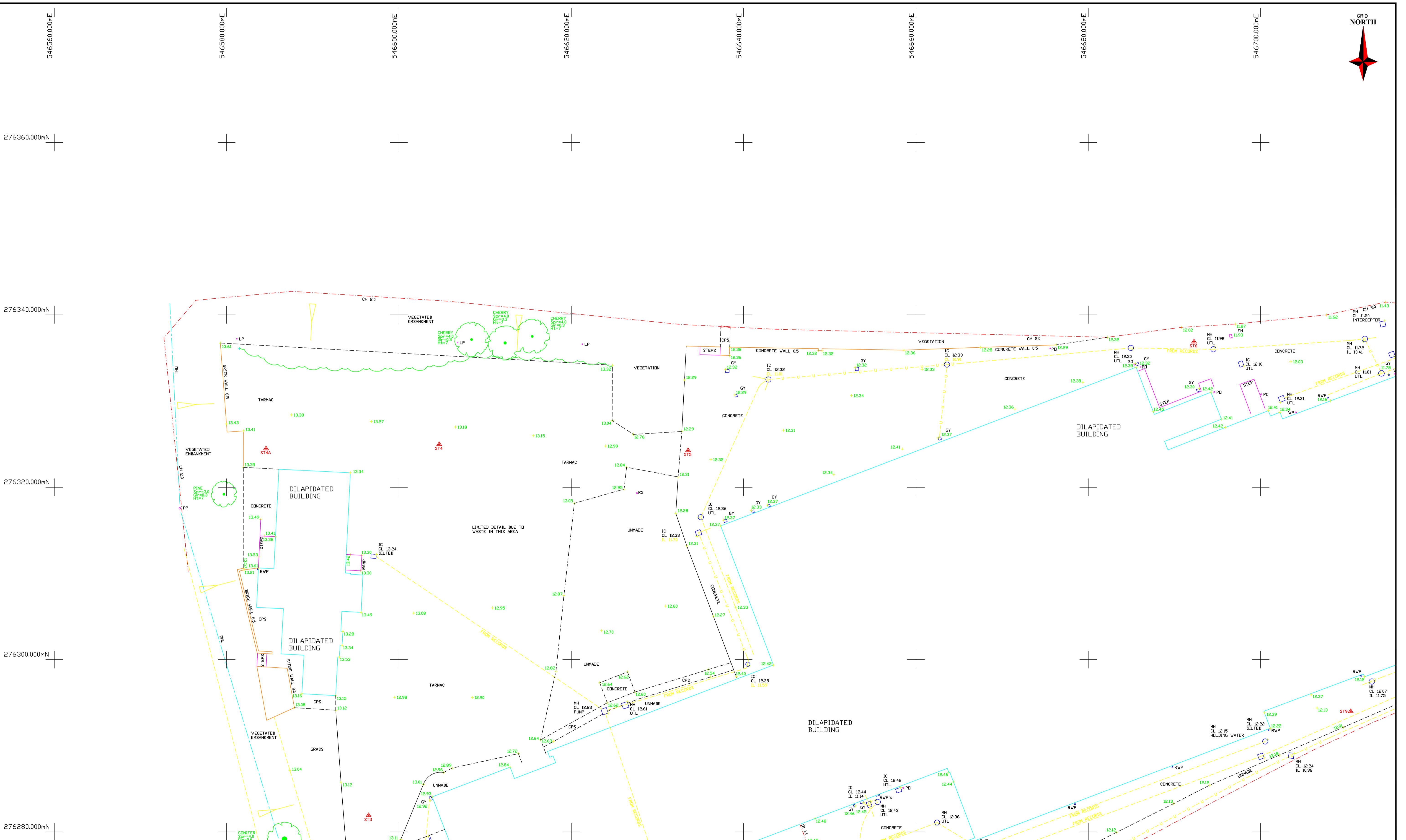
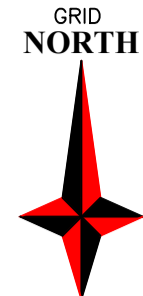
Table 1 – Private Permeable Paving Maintenance Schedule

We trust the following statements and the attached documents are sufficient to allow for the planning condition to be discharged.

| | | | | | | | |
|--------------|----------------|-------|----------|-------------|---------------|-------|------------|
| Prepared By: | Olga Prisacaru | Date: | 27.03.23 | Reviewed by | Bryan Hoadley | Date: | 27.03.2023 |
|--------------|----------------|-------|----------|-------------|---------------|-------|------------|

APPENDIX A

Haddenham Topographic Survey



Company details:
Address - 25 High Street, Sproydon, Ipswich, IP8 3AF
Email - info@empdrainage.co.uk or gna@empdrainage.co.uk
Contact No - 01473 748 704 or 07376 866 884

NOTES-
The accuracy and content of this drawing are dependent on the original specification and EMP should be consulted before use at other scales.
Where underground services are shown, all reasonable care has been taken within the original specification and requirements. Before use of this information the user should satisfy themselves of the completeness and accuracy of such detail and consult EMP before undertaking any works. Due to the nature of this work and limitations imposed by ground conditions and the detection equipment, no guarantee can be given that all services have been recorded. PAS128 Type A Trial holes/excavations should be dug at critical locations.
Our aim is to produce the best possible results for our clients, within the agreed specification and cost constraints. All reasonable care has been taken in the survey detail represented on this drawing. Any discrepancies must be reported immediately to EMP and any other comments are most welcome.
Levels shown at kerbs are channel level unless stated.
Control: All levels and co-ordinates are related to the datums described.
The horizontal and vertical control of this survey is based on the Ordnance Survey National Grid and level datum via Network RTK GPS.
We have applied no reverse scale factor to this survey.

- LEGEND**
- | | | | | | |
|---|---|---|---|---|---|
| Features: ACD Drainage Channel AV Air Valve AB Air Brick BM Benchmark BO Bollard BS Bus Stop BT British Telecom Cover CL Cover Level CO Column CTV Cable TV Cover DK Drilled DPC Drip Gutter DPS Dump proof Course EIC Electricity IC ER Earth Rod FH Fire Hydrant GV Gas Valve GU Gully IC Inspection Cover IL Invert Level JBX Junction Box KO Kerb Outlet | LP Lamp Post MP Marker Post DML Overhead Line PM Parking Meter PO Post PP Power Pole RF Road Footing RNP Road Name Plate RS Road Sign RWP Rain Water Pipe SD Street Light SV Stop Valve TS Telephone Call Box TP Telegraph Pole TS Traffic Signal UTL Unable to lift VP Vent Pipe WM Water Meter WO Wash Out WP Waste Pipe | Surfaces & Finishes: BB Breeze Block CC Concrete CT Ceiling Tiles CP Concrete Paving Slabs CPT Carpet CFL Concrete Floor LND Linoleum RNV Road Pavings REN Render S Steel work T Tarmac TSP Textured Safety Paving | Boundary Types: BW Barbed Wire CB Close Boarded CH Chainlink CI Cast Iron Fencing IT Iron Fencing LRF Larch Log PAL Palisade PB Post & Rail PW Post & Wire TDR Timber Knee Rail RTW Retaining Wall VSP Wire Mesh Fence | Services: --- CATV --- CATV cables --- COMB --- Combined Sewer --- DTL --- Duto cables --- ELEC --- Electric cables --- FOWL --- Foul water --- GAS --- Gas pipes --- HEAT --- Heating ducts --- S-W --- Service water --- STW --- Storm water --- TEL --- Telecom cab. --- UNID --- Unidentified --- WTR --- Water pipes --- 150P --- Pipe Diameter/Flow --- OHL --- Overhead Lines | Survey Station Fence Gate Painted Road Markings Edge of Vegetation Kerb/Drp Kerb Tree Banks Building Overhead Building Detail Wall |
|---|---|---|---|---|---|

- Sheet Layout**
- | | |
|--------------|--------------|
| 1052/T/01-03 | 1052/T/02-03 |
| 1052/T/03-03 | |

Station Schedule

| No | Easting | Northing | Height | Misc. Desc. |
|------|------------|------------|--------|---------------|
| ST1 | 546641.117 | 276262.776 | 12.570 | Hill (N) No.1 |
| ST2 | 546611.063 | 276244.093 | 13.106 | Hill (N) No.1 |
| ST3 | 546596.472 | 276261.935 | 13.206 | Hill (N) No.1 |
| ST4 | 546604.668 | 276324.987 | 13.187 | Hill (N) No.1 |
| ST4A | 546584.573 | 276324.495 | 13.361 | Hill (N) No.1 |
| ST5 | 546593.555 | 276324.282 | 12.300 | Hill (N) No.1 |
| ST6 | 546592.271 | 276336.892 | 12.049 | Hill (N) No.1 |
| ST7 | 546736.627 | 276339.805 | 11.526 | Hill (N) No.1 |
| ST7A | 546783.957 | 276358.047 | 11.422 | Hill (N) No.1 |
| ST8 | 546746.520 | 276310.517 | 11.844 | Hill (N) No.1 |
| ST9 | 546710.454 | 276310.517 | 12.043 | Hill (N) No.1 |
| ST10 | 546670.767 | 276278.138 | 12.198 | Hill (N) No.1 |

| Job No. | Surveyor | Checked | Date | Scale |
|---------|------------|---------|---------|-------|
| 1052 | T.Cosgrove | M.Wood | Nov '22 | 1:200 |

Drawing No. 1052/T/01-03

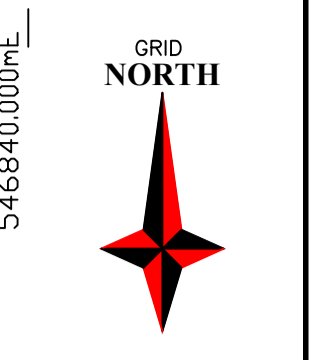
| Revision | Detail |
|----------|--------|
| A | |

| Rev | Job No. | Date | Revision Detail | Surveyor | Checked |
|-----|---------|------|-----------------|----------|---------|
| | | | | | |



CLIENT DETAILS
Burmor Construction
Burmor House
Sunderland Road
Market Deeping
PE6 8FD

PROJECT DETAILS
Topographic Survey
62-64 Station Road
Haddenham
Ely
CB6 3XD



276360.000mN

276340.000mN

276320.000mN

276300.000mN

276280.000mN

546700.000mE

546720.000mE

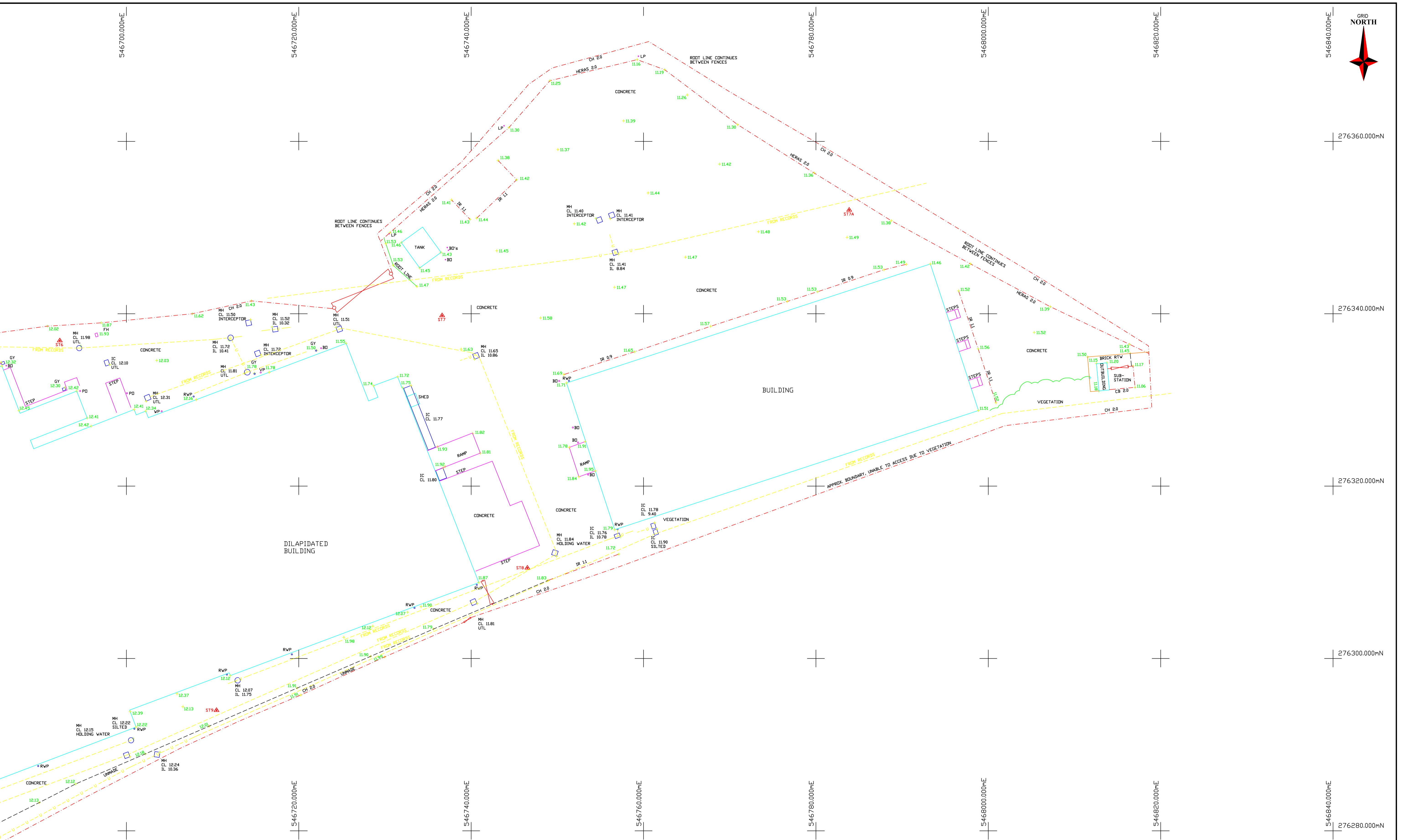
546740.000mE

546780.000mE

546800.000mE

546820.000mE

546840.000mE



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We have applied no reverse scale factor to this survey.

LEGEND

| | | | |
|--------------------------|------------------------|----------------------|---------------------|
| Features: | LP Lamp Post | Surfaces & Finishes: | BB Breccia Block |
| ADJ Drainage Channel | AV Air Valve | CB Concrete | CH Chalk |
| AB Air Brick | AM Manhole | CL Ceiling Tiles | CI Cast Iron |
| BM Benchmark | PM Parking Meter | CP Carpet | CT Cast |
| BO Bollard | PO Post | CTF Concrete Tiling | CTF Concrete Tiling |
| BS Bus Stop | PP Power Pole | CTF Concrete Tiling | CTF Concrete Tiling |
| BT British Telecom Cover | RP Road Name Plate | CTF Concrete Tiling | CTF Concrete Tiling |
| CD Column | RSP Rain Water Pipe | CTF Concrete Tiling | CTF Concrete Tiling |
| CV Cable TV Cover | SD Service Duct | CTF Concrete Tiling | CTF Concrete Tiling |
| DD Drilled | SV Stop Valve | CTF Concrete Tiling | CTF Concrete Tiling |
| DK Drop Kerb | TSP Telephone Call Box | CTF Concrete Tiling | CTF Concrete Tiling |
| DPC Damp proof Course | TP Telegraph Pole | CTF Concrete Tiling | CTF Concrete Tiling |
| ER Earth Rod | UTL Unable to lift | CTF Concrete Tiling | CTF Concrete Tiling |
| FH Fire Hydrant | VJ Vent Pipe | CTF Concrete Tiling | CTF Concrete Tiling |
| GV Gas Valve | VP Vent Pipe | CTF Concrete Tiling | CTF Concrete Tiling |
| GY Gully | WM Water Meter | CTF Concrete Tiling | CTF Concrete Tiling |
| IC Inspection Cover | WU Wash Out | CTF Concrete Tiling | CTF Concrete Tiling |
| IL Invert Level | WP Waste Pipe | CTF Concrete Tiling | CTF Concrete Tiling |
| JBX Junction Box | WV Waste Valve | CTF Concrete Tiling | CTF Concrete Tiling |
| KO Kerb Outlet | | CTF Concrete Tiling | CTF Concrete Tiling |

Boundary Types:

| | | | | | | | | |
|------------------|-------------|----------|--------------|---------|---------------------|---------------------|---------------------|---------------------|
| BB Breccia Block | CB Concrete | CH Chalk | CI Cast Iron | CT Cast | CTF Concrete Tiling | CTF Concrete Tiling | CTF Concrete Tiling | CTF Concrete Tiling |
|------------------|-------------|----------|--------------|---------|---------------------|---------------------|---------------------|---------------------|

Services:

| | | | | | | | | | | | | | |
|------------------|----------------|------------------|-----------------|------------|-----------|--------------|---------------|-------------|--------------|--------------|-------------|--------------------|----------------|
| CATV CATV cables | Combined Sewer | DALX Data cables | Electric cables | Foul water | Gas pipes | Heating duct | Service ducts | Storm water | Telecom cab. | Unidentified | Water pipes | Pipe Diameter/Flow | Overhead Lines |
|------------------|----------------|------------------|-----------------|------------|-----------|--------------|---------------|-------------|--------------|--------------|-------------|--------------------|----------------|

Survey Station

| | | |
|--------------------------|----------|--------------------------|
| Survey Station | Symbol | Description |
| Fence | (Symbol) | Fence |
| Gate | (Symbol) | Gate |
| Painted Road Markings | (Symbol) | Painted Road Markings |
| Edge of Vegetation | (Symbol) | Edge of Vegetation |
| Kerb/Drain Kerb | (Symbol) | Kerb/Drain Kerb |
| Tree | (Symbol) | Tree |
| Banks | (Symbol) | Banks |
| Building | (Symbol) | Building |
| Overhead Building Detail | (Symbol) | Overhead Building Detail |
| Wall | (Symbol) | Wall |

Station Schedule

| No | Easting | Northing | Height | Misc. Desc. |
|------|------------|------------|--------|---------------|
| ST1 | 546641.117 | 276262.776 | 12.570 | Hill (H) No.1 |
| ST2 | 546611.063 | 276244.093 | 13.106 | Hill (H) No.1 |
| ST3 | 546596.472 | 276281.938 | 13.206 | Hill (H) No.1 |
| ST4 | 546604.668 | 276324.987 | 13.187 | Hill (H) No.1 |
| ST4A | 546584.573 | 276324.495 | 13.361 | Hill (H) No.1 |
| ST5 | 546633.555 | 276324.282 | 12.900 | Hill (H) No.1 |
| ST6 | 546692.271 | 276336.892 | 12.049 | Hill (H) No.1 |
| ST7 | 546736.627 | 276339.805 | 11.526 | Hill (H) No.1 |
| ST7A | 546783.857 | 276338.047 | 11.422 | Hill (H) No.1 |
| ST8 | 546746.520 | 276310.517 | 11.844 | Hill (H) No.1 |
| ST9 | 546710.454 | 276310.517 | 12.043 | Hill (H) No.1 |
| ST10 | 546670.767 | 276278.138 | 12.198 | Hill (H) No.1 |

Revision

| Rev | Job No. | Date | Revision Detail | Checked | Scale |
|-----|---------|-------|-------------------------------|---------|-------|
| A | 1052 | 12/22 | Addition of 3D survey points. | T.Cos | M.W |

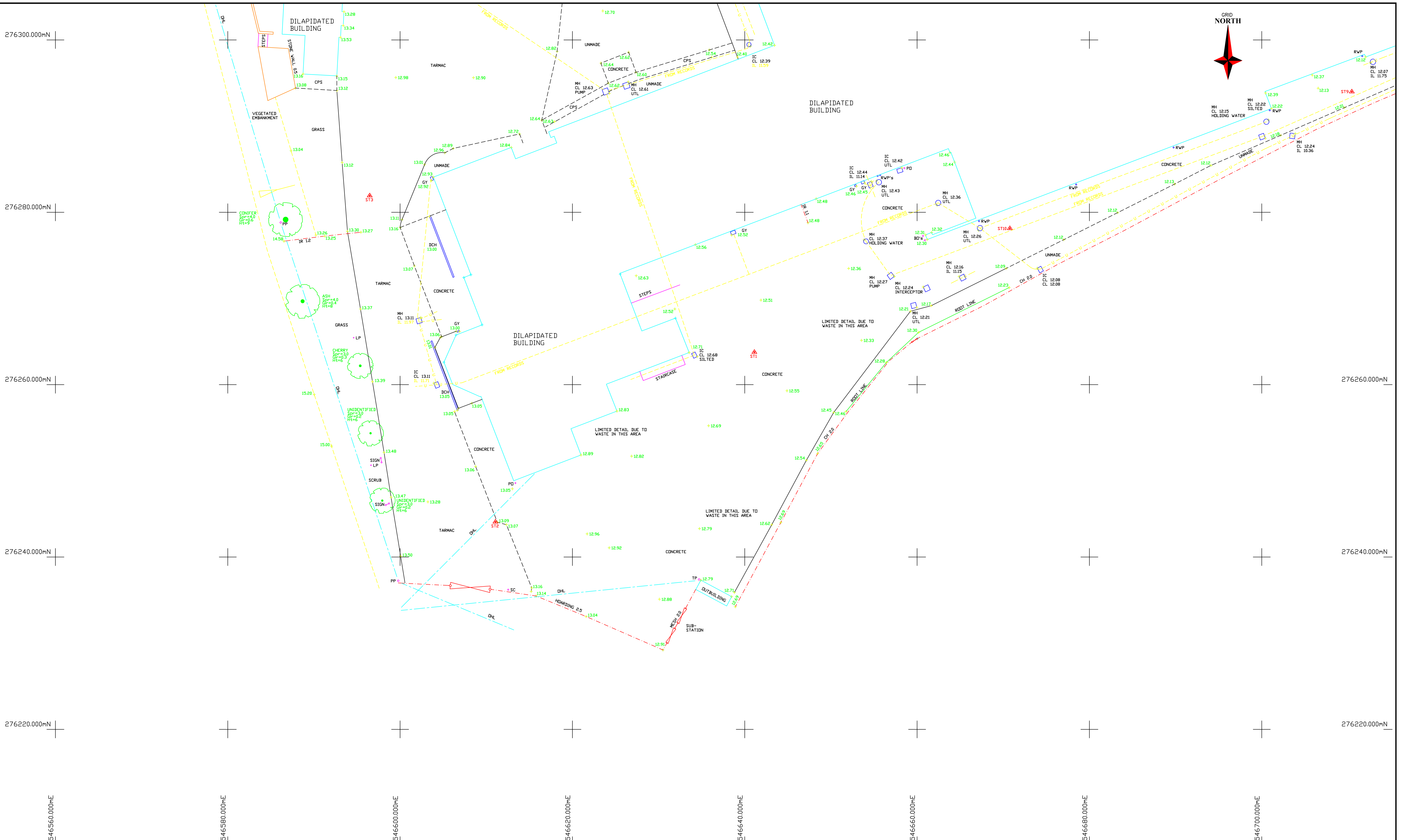
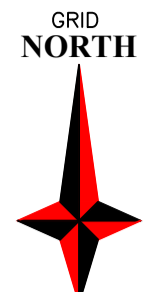
EMP Surveys Ltd

CLIENT DETAILS

Burmor Construction
Burmor House
Sunderland Road
Market Deeping
PE6 8FD

PROJECT DETAILS

Topographic Survey
62-64 Station Road
Haddenham
Ely
CB6 3XD

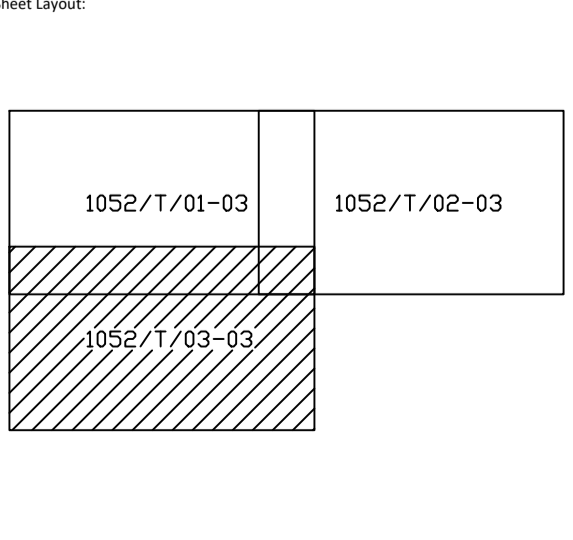


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LEGEND

| | | | | | |
|--|---|---|---|--|---|
| Features: ACD Drainage Channel AV Air Valve AB Air Brick BM Benchmark BO Bollard BS Bus Stop BT British Telecom Cover CL Column COY Cable TV Cover DSD Drused DK Drain Kerb DPC Damp proof Course ER Earth Rod FH Fire Hydrant GV Gas Valve GY Gully IC Inspection Cover IL Invert Level JB Junction Box KO Kerb Outlet | LP Lamp Post MP Marker Post OHL Overhead Line PM Parking Meter PP Power Pole RD Road Sign RNP Road Name Plate RVP Rain Water Pipe SD Service Duct SV Stop Valve TD Telephone Call Box TP Telegraph Pole UTL Unable to lift VP Vent Pipe WM Water Meter WO Wash Out WP Waste Pipe | Surfaces & Finishes: BB Breeze Block CON Concrete CCT Concrete Tiling CPT Carpet LND Linoleum RNV Brick Pavings REN Render S Textured Surfacing TSP Textured Safety Paving | Boundary Types: BW Barbed Wire CB Close Boarded CH Chainlink CIP Cast-in-place IT Iron Tiling LUR Lurch Lip PAL Palisade PW Post & Rail TBM Timber knee rail RTW Retaining Wall VSP Vehicle Safety Fence WVF Wire Mesh Fence | Services: CATV CATV cables COMB Combined Sewer DADO Dado cables ELEC Electric cables FOU Foul water GAS Gas pipes HEAT Heating duct SVC Service ducts STW Storm water TELECOM Telecom cab. UNID Unidentified WAT Water pipes 1500 Pipe Diameter/Flow Overhead Lines | Survey Station Fence Gate Painted Road Markings Edge of Vegetation Kerb/Drp Kerb Tree Banks Building Overhead Building Detail Wall |
|--|---|---|---|--|---|



Station Schedule

| No | Easting | Northing | Height | Misc. Desc. |
|------|------------|------------|--------|---------------|
| ST1 | 546641.117 | 276263.776 | 12.570 | Hill Cl. No.1 |
| ST2 | 546611.063 | 276244.093 | 13.106 | Hill Cl. No.1 |
| ST3 | 546596.472 | 276261.935 | 13.206 | Hill Cl. No.1 |
| ST4 | 546604.668 | 276324.987 | 13.187 | Hill Cl. No.1 |
| ST4A | 546584.573 | 276324.495 | 13.361 | Hill Cl. No.1 |
| ST5 | 546593.555 | 276324.282 | 12.900 | Hill Cl. No.1 |
| ST6 | 546592.271 | 276336.892 | 12.049 | Hill Cl. No.1 |
| ST7 | 546736.627 | 276339.805 | 11.526 | Hill Cl. No.1 |
| ST7A | 546783.957 | 276358.047 | 11.422 | Hill Cl. No.1 |
| ST8 | 546746.520 | 276310.517 | 11.844 | Hill Cl. No.1 |
| ST9 | 546710.454 | 276310.517 | 12.043 | Hill Cl. No.1 |
| ST10 | 546670.767 | 276278.138 | 12.198 | Hill Cl. No.1 |

| Job No. | Surveyor | Checked | Date | Scale |
|--------------|------------|---------|---------|-------|
| 1052 | T.Cosgrove | M.Wood | Nov '22 | 1:200 |
| Drawing No. | Revision | | | |
| 1052/T/03-03 | A | | | |

CLIENT DETAILS
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Market Deeping
PE6 8FD

PROJECT DETAILS
Topographic Survey
62-64 Station Road
Haddenham
Ely
CB6 3XD

APPENDIX B

Site Plan

- General Site Setting out notes:
- All roads, car parking areas and paths design and surface finishes as per the specification and to the structural engineers design.
 - All external ground levels to the structural engineers design.
 - All external drainage to the structural engineers design.
 - This drawing is to be read in conjunction with the relevant structural, drainage, highway, mechanical and electrical consultants design drawings and specifications.
 - All new planting and landscaping to the landscape consultants design and specifications.
 - Setting out dimensions are to face brick, face of road kerbs and outside face of path edgings unless noted otherwise.
 - Setting out co-ordinates are relating to world co-ordinates.

--- Site Boundary

--- Roads: Asphalt

--- Roads: Traffic calming road hump formed in impermeable block paving
Manufacturer: TBC
Colour: TBC

--- Roads: Regular impermeable heavy duty block paving
Manufacturer: TBC
Colour: TBC

--- Parking Bay: Regular impermeable light duty block paving
Manufacturer: TBC
Colour: TBC

--- Parking Bay: Regular permeable light duty block paving
Manufacturer: TBC
Colour: TBC

--- Footpaths: Asphalt

--- Footpaths: 400mm x 400mm x 35mm impermeable paving
Manufacturer: TBC
Colour: TBC

--- Impermeable paving to garden min 900mm wide

--- Soft Landscaping zone

--- Fences: 1.8m high close boarded timber fence

--- Fences: 1.8m hit and miss timber fence

A Level access threshold with threshold drain. Refer to drawing A0201 for further details

B Paved area (10m x 10m) consisting of a minimum of 8 nos. 600mm x 600mm x 30mm smooth finish, grey concrete paving slabs.

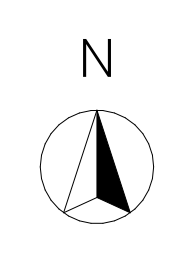
C Bin Location (2 nos. 240 litre bins) on 600mm x 600mm x 30mm smooth finish, grey concrete paving slabs.

D Cycle Store on 600mm x 600mm x 30mm smooth finish, grey concrete paving slabs. Refer to drawing A0510 for further details.

E Flat top featherboarded heavy duty timber gate.

F Air Source Heat Pump Outdoor Unit - size and foundation base requirements to be confirmed

G Indicates electric charge location. To be either wall mounted on the property, or where remote to the property mounted on a proprietary post on suitable foundation to Structural Engineers details.



| | | |
|----------|-------------|----------|
| D01 | first issue | 22.02.23 |
| revision | note | date |

client
Burmor Construction on behalf of Accent Housing
 project title
Residential Development, Station Road, Haddenham
 drawing title
Complete Site Plan

drawing status
Design Development
 scale date
1:250 @ A0 September 2022
 project number drawing number revision
2717 AL0210 D01

APPENDIX C

Highway Arrangement Plan

Standard construction hazards that a competent contractor would be aware of have not been identified on this drawing. Risks that may not be immediately apparent are listed below.

| | |
|---|------------------|
| ⚠ | Groundwater |
| ⚠ | Unknown services |

| Status | Date | Description | Dwn | Eng | Chd | Veri |
|--------|----------|------------------------|-----|-----|-----|------|
| S2-P01 | 27.03.23 | Issued for information | OP | OP | BHo | BHo |

PROPOSED KEY

- Site Ownership Boundary
- Proposed extent of Highway to be adopted (under S278/S38 of the Highway Act 1980).
- Construction to Cambridgeshire Housing Estate Road Specification and to the satisfaction of Cambridgeshire Highways (construction to be agreed as part of technical S278/S38 package)
- Proposed Private Highway Areas not offered for adoption



- Notes**
1. This drawing is to be read in conjunction with all the relevant contract documentation.
 2. This drawing and its contents shall not be reproduced or reused in whole or in part without Rolton Group's express permission in writing and Rolton Group accepts no liability for any damages, costs, losses, claims, proceedings or expenses arising from such use.
 3. All dimensions are in mm unless otherwise stated. Dimensions to be checked on site prior to construction and any discrepancies reported to the Rolton Group Engineer.
 4. Only drawings that indicate CONSTRUCTION as the issue purpose should be used for construction.
 5. Any CONSTRUCTION status issue does not provide or imply approval or validation of any third party information.
 6. Revision clouds are shown for assistance only, the whole drawing is to be checked for new/amended information.
 7. Not all hatches and linetypes shown on legends and keys may be present on this drawing. Drawings to be printed in colour by default, typical material colours are for clarity only.
 8. Lighting columns and positions shown are indicative only and subject to detailed design by Street Lighting consultant.



INSET A



ROLTON GROUP
 ENGINEERING THE FUTURE™
 www.rolton.com 01933 410909

Project:
Proposed Development at Station Road, Haddenham

Drawing Title:
Highway Arrangements Plan

| | | |
|-----------------------------|-------------------|-------------------|
| RGL Project Ref: 22-0469 | Scale@A1 1:250 | Scale@A3 1:500 |
| Specification(s): | | |

| | |
|---|----------------------|
| Drawing Number: 220469-RGL-ZZ-XX-DR-D-125-0002 | Status: S2-P01 |
| Project Originator/Zone/Level/Type/Role/Classification/Number | Suitability/Revision |
| Issue Purpose: INFORMATION | |