

Mid Suffolk District Council
Endeavour House,
8 Russell Road,
Ipswich,
IP1 2BX

Our ref: E850.C1.Let04a
12th April 2023

Dear Sir / Madam,

VARIATION OF CONDITIONS APPLICATION – LAND TO THE NORTH AND EAST OF WARREN MILL HOUSE, ELMSWELL ROAD, WETHERDEN

PERMISSION TO BE VARIED: DC/22/03101

CONDITIONS TO BE VARIED: 2, 5, 6, 7, 8, 9

Introduction and Summary

Planning permission was granted on 16th August 2022 under reference DC/22/03101 for the erection of 2 houses on the land to the north and east of Warren Mill House. This variation of conditions application seeks to update the approved documents listed under Condition 2 to alter the design of the approved houses and to make changes which improve the layout of the site and the design of the houses. This variation application also seeks to remove Conditions 5 and 6 as the required Archaeological investigation has been undertaken, and to vary Conditions 8 and 9 to update the highway conditions to reflect the amended site plans as the requirements of these conditions have been met.

Condition 2

This variation application seeks to change the approved documents under planning consent DC/22/03101. The following table lists all of the approved plans and drawings listed in the decision notice and provides the corresponding amended plans proposed in this application. The updated documents are listed in italics:

Evolution Town Planning Limited

Registered Office:

Opus House Elm Farm Park
Thurston Bury St Edmunds
Suffolk IP31 3SH

Registered in England Number
10636748



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|--|---|
| Approved Plans under DC/22/03101 | Proposed Updated Plan |
| Highway Access Plan DM06 | Highway Access Plan DM06 |
| Proposed Block Plan and Street Scene 2205-01A | Proposed Block Plan and Street Scene 2238-01 |
| Proposed Plot 1 Plans and Elevations 2205-02A | Proposed Plot 1 Plans and Elevations 2238-02 |
| Proposed Plot 2 Plans and Elevations 2205-03A | Proposed Plot 2 Plans and Elevations 2238-03 |
| Proposed Garage Plans and Elevations 2205-04A | Proposed Garage Plans and Elevations 2238-04 |
| Arboricultural Assessment LS1882-01 + Landscaping plan | Arboricultural Assessment LS1882-01B + Landscaping plan |
| Land Contamination Assessment | Land Contamination Assessment |
| Ecology Survey/Report | Ecology Survey/Report |
| Planning Statement | N/A |
| Application Form | N/A |
| Defined Red Line Plan E850 Rev 0 | Defined Red Line Plan E850 Rev 0 |
| Covering Letter | N/A |
| Land Contamination Questionnaire | Land Contamination Questionnaire |

Updated Block Plan and Street Scene

Figure 1 shows the Block Plan which was approved under application DC/22/03101 alongside the proposed updated Block Plan which is put forward in this variation of conditions application.

This application proposes an improved layout which forms an attractive courtyard design for each plot. The layout of the development seeks to respect the rural character of its surroundings by maintaining the appearance of a collection of interconnected barn-style buildings which are subservient to Warren Mill House.



Figure 1: Approved 2205-01A and Proposed 2238-01 Block Plan Comparison (not to scale)

The updated block plan includes separate drives for each of the houses. The access is located in the same area, but the width of each road is now two 4-metre access roads with a 1-metre separating hedge rather than a single 5-metre shared access. The inclusion of the central hedge will reduce the prominence of the access roads which will be more difficult to see from the public footpaths to the east and west of the site.

The proposed garages have also been increased in width by 1.5 metres per garage to provide additional storage space for bicycles and other residential paraphernalia as well as car parking. The height and depth of the garages have not changed.

Figure 2 shows a comparison of the Street Scene from the approved plans and the proposed Street Scene, the character of the development is improved by presenting a more attractive and visually interesting frontage to the plots, especially Plot 2 while remaining subservient and lower than Warren Mill House. As shown in Figure 2, the previously approved frontage of Plot 2 did not present an attractive visual outlook as this lacked any variation. By rotating Plot 2, this means that the principle elevation now looks towards the road which presents a much more attractive frontage. The updated scheme shows varying height gables to the front and differing roof pitches which provide more visual interest.

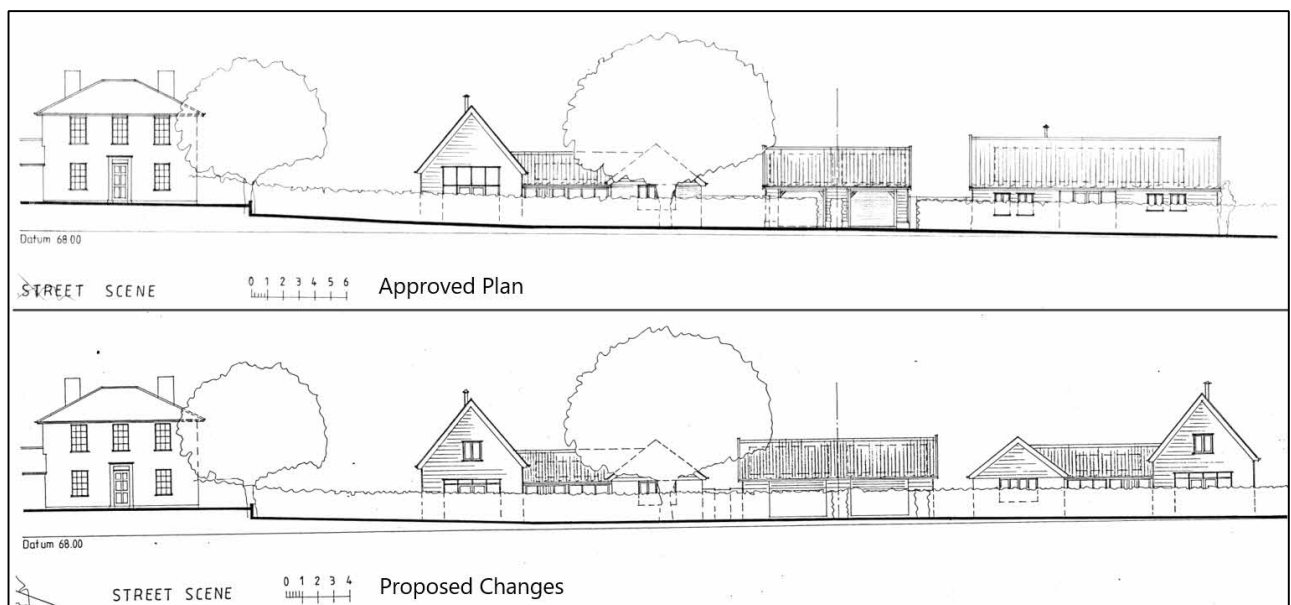


Figure 2: Approved - 2205-01A and Proposed 2238-01 Street Scene Comparison (not to scale)

The impact of the changes on the wider landscape due to the updated design of Plot 2 will be minimal. As shown in Figure 3, the increase in height of the proposed ridge of Plot 2 is modest and the impact of this increase in height is reduced by rotating the house. This means this taller section of the building is perpendicular to the road, reducing the view of it, whereas, on the approved scheme, the highest ridge of Plot 2 ran parallel to the road.



Figure 3 - Comparison of Plot 2 Principal Elevations (not to scale)

Updated Elevations and Floor Plans

This variation seeks changes to the approved elevations and floor plans. The changes to the elevations of Plot 1 are minor and are mostly related to changes to the fenestration and the removal of the lean-to utility room element positioned to the north of the kitchen.

A comparison of the approved Plot 1 elevations against the proposed elevations can be seen in Figure 3.



Figure 4: Comparison of Approved Plot 1 Elevations (top) and Proposed Elevations (bottom)

This variation application seeks to make changes to the internal layout of the Plot 1 house type and to make better use of the internal space of the houses. The roof space has been utilised to provide additional internal floor area to provide another bedroom. This increases the floor area while reducing the footprint of the building as the utility room lean-to element has been removed. The footprint of Plot 1 is reduced from 210 sqm to 200 sqm. The height of the roof has only been increased by 0.3 m to accommodate the additional headspace required. Plot 2 is proposed to mirror the updated Plot 1 design and is a handed version of this.

Planning Policy Considerations

National Planning Policy is set out in the National Planning Policy Framework 2021 (NPPF), which Local Planning Policy is contained with the Mid Suffolk Local Plan 1998 (the Local Plan), the Mid Suffolk Core Strategy 2008 (the Core Strategy), and the Mid Suffolk Core Strategy Focussed Review 2012 (the Focussed Review).

Chapter 11 of the NPPF requires that planning policies and decisions encourage the effective use of land. The proposed changes to the approved plans seek consent to rearrange the previously approved houses which will provide more floor space with only minor external changes to Plot 1 and with changes to Plot 2 which improve the outlook and character and provides an increased floor area without increasing the footprint of this property.

While there are first-floor bedrooms included in both plots two ground-floor bedrooms with ensuite bathrooms are also included so the houses remain appropriate for elderly residents or those with limited mobility. The first-floor rooms could be utilised as guest bedrooms and should be considered an efficient use of space in keeping with the aims of the NPPF.

The NPPF Chapter 12 requires that development results in “high-quality, beautiful and sustainable buildings and places”. Paragraph 130 b) states that decisions should ensure that developments are “visually attractive as a result of good architecture, layout and appropriate and effective landscaping”. This variation seeks to improve the approved scheme in all of these regards, improving the layout, architecture and landscaping of the development. Core Strategy Policy CS5 and Local Plan Policy H13 require high-quality design and layout that respects the local distinctiveness of the region. Core Strategy Policy CS5 specifically encourages the creation of visual interest in the street scene, which this variation seeks to achieve.

Chapter 15 of the NPPF states that planning decisions should seek to contribute to and enhance the natural and local environment. Core Strategy Policy CS5 also seeks to protect and preserve the natural environment. The additional hedge planting proposed will benefit local wildlife and will improve the visual outlook of the site.

Condition 5 – Archaeology Scheme of Investigation

This condition required that prior to development commencing, a programme of Archaeological work should be secured in accordance with a Written Scheme of Investigation (WSI).

The submitted Archaeological Evaluation Report includes a WSI which was agreed upon by Suffolk County Council Archaeological Service (SCCAS) prior to the evaluation taking place.

The site investigation has been completed in accordance with the WSI and therefore Condition 5 should be removed from the decision notice.

Condition 6 – Archaeology Site Investigation

The site investigation outlined in the WSI was undertaken on the 01st November 2022. The submitted Archaeological Evaluation Report details this investigation and confirms that the investigation did not reveal any archaeological features and stray finds recovered from the site were largely post-medieval date but did include one Roman Coin and a token of 15th-16th Century date.

With this low level of finds, it was agreed with SCCAS that no further investigations should be required at the site.

The results of this investigation have been deposited in the OASIS archive.

Therefore Condition 6 should also be removed from the decision notice.

Condition 7 - Highways - Access Layout

Condition 7 requires that no part of the development shall be commenced until the existing vehicular access shown in Drawing No 2205/01 Rev.A has been laid out and completed in all respects in accordance with SCC Drawing No DM01. As the specified plan has been updated, it is requested this condition is varied to reflect the updated plan reference, as follows;

“No other part of the development hereby permitted shall be commenced until the existing vehicular access as shown on Drawing No 2238/01 has been laid out and completed in all respects in accordance with SCC Drawing No DM01 (Standard drawings for vehicular access). Thereafter the access shall be retained in the specified form.”

Condition 8 - Highways - Access Surface Treatment

Condition 8 requires that details shall be submitted to, and approved by the Local Planning Authority regarding the first 5 metres of the driveway being surfaced in a bound material. The submitted site plan shows that the access is surfaced with bound gravel for the first 5 metres of the access. Therefore, this condition should be altered as follows;

“Prior to the development hereby permitted being first occupied, the upgraded access shall be properly surfaced with a bound material as shown in the approved plan for a minimum distance of 5 metres”

The metalled highway should not be referred to in this condition as the access leads onto a private road, and where this road meets the metalled highway, this is already a bound surface.

Condition 9 – Highways – Surface Water Discharge

Condition 9 required that prior to the commencement of works on the access, details preventing surface water discharge from the development onto the highway would be submitted to, and approved in writing by the Local Planning Authority. The updated site plan shows an ACO drain which runs across the front of the access which will prevent any surface water from flowing from the site onto the private road. Therefore, this condition should be altered as follows;

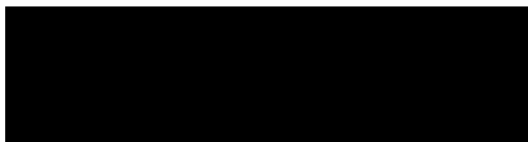
“Prior to the use of the approved access, the detail submitted to and approved in writing by the Local Planning Authority showing the means to prevent the discharge of surface water from the development onto the access road shall be carried out in its entirety before the access is first used and shall be retained thereafter in its approved form.”

We enclose the following documents with this application:

- Planning Portal Conditions Discharge Application Forms
- This Covering letter
- Block Plan & Street Scene as Proposed – Ref 2238-01
- Plot 1 – Plans and Elevations as Proposed – Ref 2238-02
- Plot 2 – Plans and Elevations as Proposed -Ref 2238-03
- Garaging – Plans and Elevations as Proposed – Ref 2238-04
- Landscaping Plan and Tree Survey – LS1882-01 Rev A
- Archaeological Evaluation Report – HER Ref: WDN 046

We trust that this is sufficient for you to progress with this application and we will be in touch when an officer has been allocated.

Yours sincerely



SAM STONEHOUSE
SENIOR PLANNER
EVOLUTION TOWN PLANNING LTD