



ArkleBoyce.

Lyme House, Nocton

**Combined Design, Access and
Heritage Statement**

Revision A



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Status	Planning Application
Date	20.03.2023
Written by	GB
Checked by	-
Revision	A

1.0 Introduction.



The Old School, extension and renovation of Grade II Listed property in conservation area and AONB



Slingsby Lodge, replacement dwelling in the open countryside



Cuckoo Wood, replacement dwelling in the Green Belt



Crimble Hall farm shop and restaurant, in special landscape area.

1.0 Introduction.

1.1 Architectural approach

We are a passionately design-led, client-centred studio. We bring together our client's personal vision, the immediate and wider context, and our skill, imagination and experience to create individual buildings of beauty, quality and effortless function.

Getting the most from buildings is at the heart of what we do. From the outset we have aimed to creatively resolve issues where occupiers, developers, investors and statutory regulator's respective views meet.

We believe that good design is fundamental to each project, and that it is not just in the architecture of the building and the selection and detailing the materials, but is in the efficiency of the space, the ease of construction and in the added value that it can bring.

Exceeding expectations and ensuring client satisfaction is fundamental to our approach – we view each project from our client's perspective not just our own. What's important to you is important to us. That's why our design creativity is supported by hands-on project management, tight budget control, and constant dialogue with clients and excellent communication with contractors, from first brief to final fit.

1.2 Executive Summary

This Design, Access and Heritage statement is produced to accompany the proposed extension and partial refurbishment of the dwelling at Lyme House, The Green, Nocton, Lincoln LN4 2BG.

This report follows a pre-application submission (22/1584/ADVICE) made to NKDC and the designs and proposals contained herewith aim to build on the feedback received as part of that process.

The general proposals are to convert the existing garage into a snug and subsequently extend the property to create a new purpose-built garage which is sensitive to the house, its plot and neighbours. The existing snug and home office will be converted into a semi-independent living accommodation for the owners parents. The annex will allow for assisted living but with a level of independence too.

The scheme also considers the entrance to the property, hall way and how the property can benefit from an improved connection between the kitchen and the converted garage.

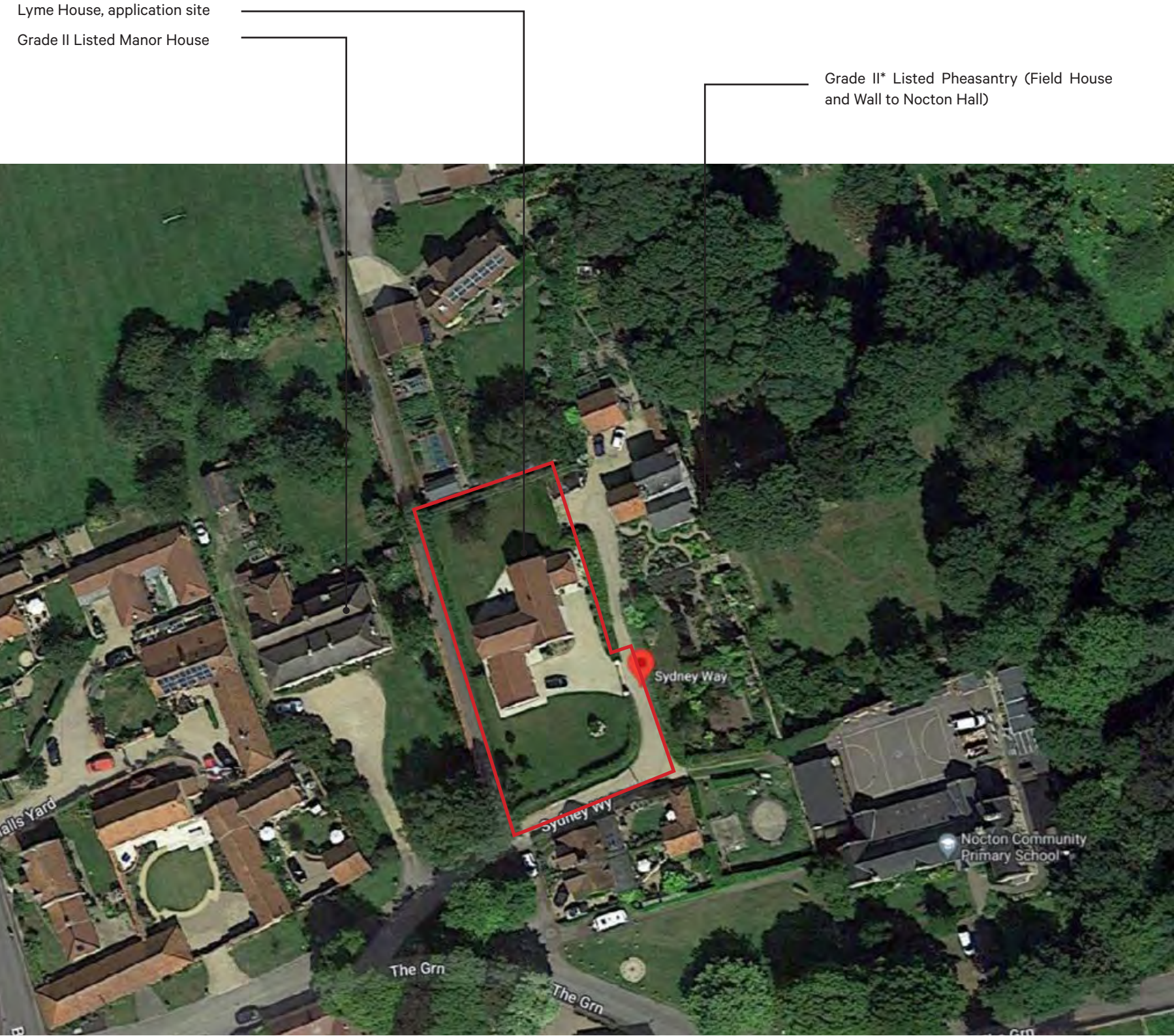
As stated in the pre-application submission, these designs are cognisant of the Nocton Conservation Area and it's character, with particular attention paid to the inter-visibility towards the Grade II* Listed Pheasantry.

The designs and justification contained within the application seek to explain how the character and setting of Lyme House and the heritage assets have been considered and the design itself, is worthy of contributing positively to the existing house and wider context.



View of Lyme House from The Green, Nocton.

2.0 Existing House



Aerial plan of site and surroundings

2.1 Site Location

Nocton is a village and civil parish in the North Kesteven district of Lincolnshire, England. It is situated on the B1202 road, 7 miles (11 km) south-east from Lincoln city centre.

At the south of the village are the remains of Nocton Hall, and 1 mile (2 km) to the east the earthwork remains of Nocton Park Priory.

To the east of the site is the Grade II* listed Pheasantry, known as Field House and Wall to Nocton Hall, and to the west is the Grade II listed Manor House. Both are obscured by planting, trees and mature hedges.

The site is found centrally within the village and is a well proportioned new build dwelling, dating from 2014.

Locally the landscape is a mix of built form/typology including large detached dwellings, cottages and grander properties, befitting of a mature village setting. Trees and greenery form a key part of the villagescape, as well as the ad-hoc nature of the plots and the nature of development over time.

2.0 Existing House.

2.2 Views of site

Grade II* Listed Pheasantry (Field House and Wall to Nocton Hall) from The Green



Partial view through to rear of Pheasantry



2.0 Existing House.



Existing site plan and immediate context

2.3 Existing Site Plan

The existing dwelling is sat on the site as a series of staggered wings, set back deliberately to respond to the rear view of The Pheasantry. This frame is enhanced by the cluster of trees to be located in the south east corner of the plot. Further smaller trees have been planted in recent years and these are reported in the arboricultural report submitted with this application.

The original house design is a series of different elements that reflect the character of a converted barn, but with a contemporary glazed element on the front and side elevations that provide the proposal with its own identity whilst at the same time, with its traditional shape and materials respect the older elements of this part of the village.

It is considered that the break up of the elements reflects the rear of the adjacent Pheasantry.

Like many other plots and properties in Nocton, Lyme House has a maturing boundary of hedges and benefits from the partial screening from trees, and the backdrop they create, adding to the landscape character.

Access to the site is via a stoned track which also leads to the rear of The Pheasantry.

Legend

1. Existing gravel driveway
2. Existing timber automated gates
3. Existing mature hedges and timber fence
4. Lawn
5. Existing trees - refer to arboricultural report
6. Existing private access track
7. Main house
8. Modular drainage pipes for drainage attenuation installed as part of house construction
9. Existing FWS pipeline running along boundary of property, shown in approximate position and connection from existing house.

2.0 Existing House.



Existing southern elevation and massing diagram

2.4 House massing

Existing House

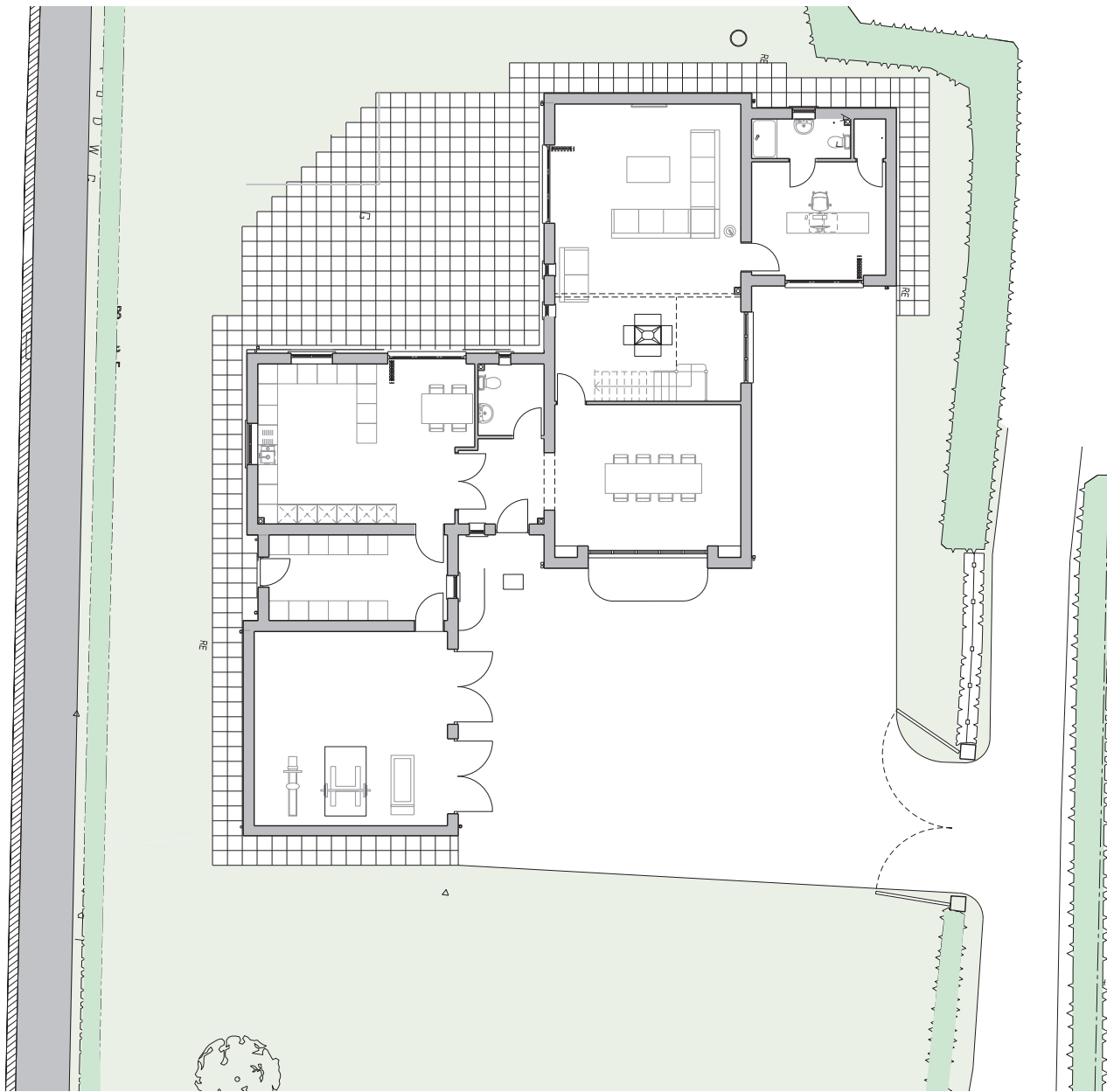
The existing house is arranged into a series of articulated wings, which respond to orientation, use and context. The primary gable is defined by a double-height glazed element which contains the dining room at ground floor and master bedroom at first floor.

The existing garage forms part of a separate wing which aligns with the western boundary.

2.0 Existing House.

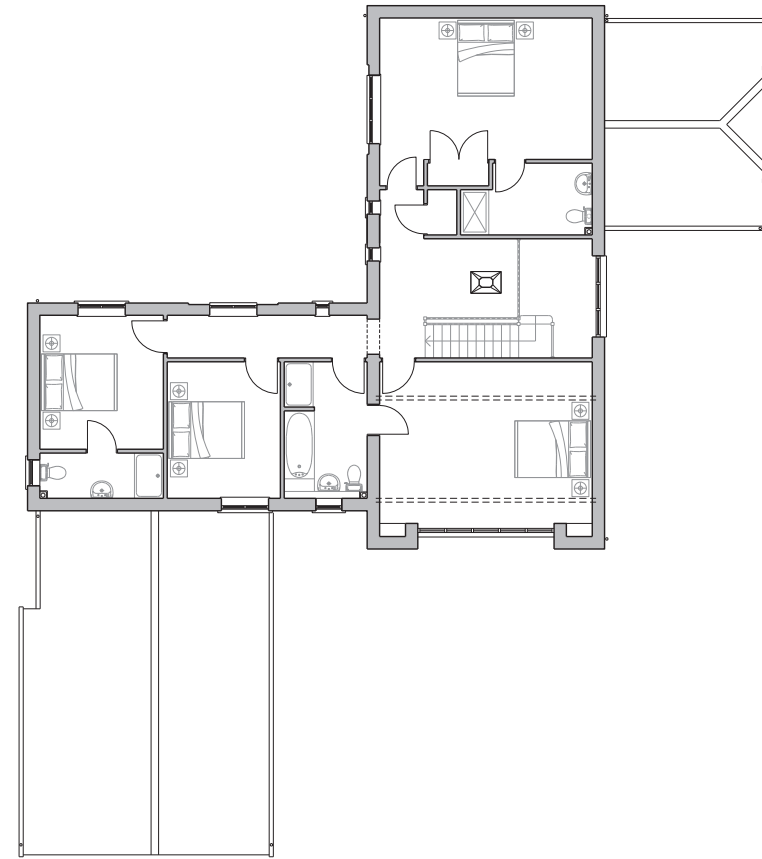
2.5 Existing Ground Floor Plan

The ground floor plan illustrates the house is segregated into a series of interconnected rooms with a generous circulation space on the as the entrance hall. The large windows to the rear of the property connect well with the garden and landscape beyond.



2.6 Existing First Floor Plan

The first floor plan shows the 4 bedrooms which vary in size slightly, whilst the master bedroom is modest for a dwelling of this scale.



3.0 Heritage Assessment

NKDC have designated the Nocton Conservation Area which covers most of the village itself, and includes parts of the grounds to Nocton Hall. This is stated by the adopted Conservation Area Assessment, published in July 2008.

The Conservation Area generally has an open character but it is noted that in some parts the buildings are massed together to “form distinctive, large groups, with two storey, stone buildings set back from the pavement edge and separated from one another by significant garden or other undeveloped areas.

Boundaries such as hedges or stone walls are commonly used to define the pavement edge, providing a visual link between buildings. Buildings generally have steeply pitched, pantile roofs with plain or parapet verges and windows that have a vertical emphasis. Trees are essential to the character of the Conservation Area.

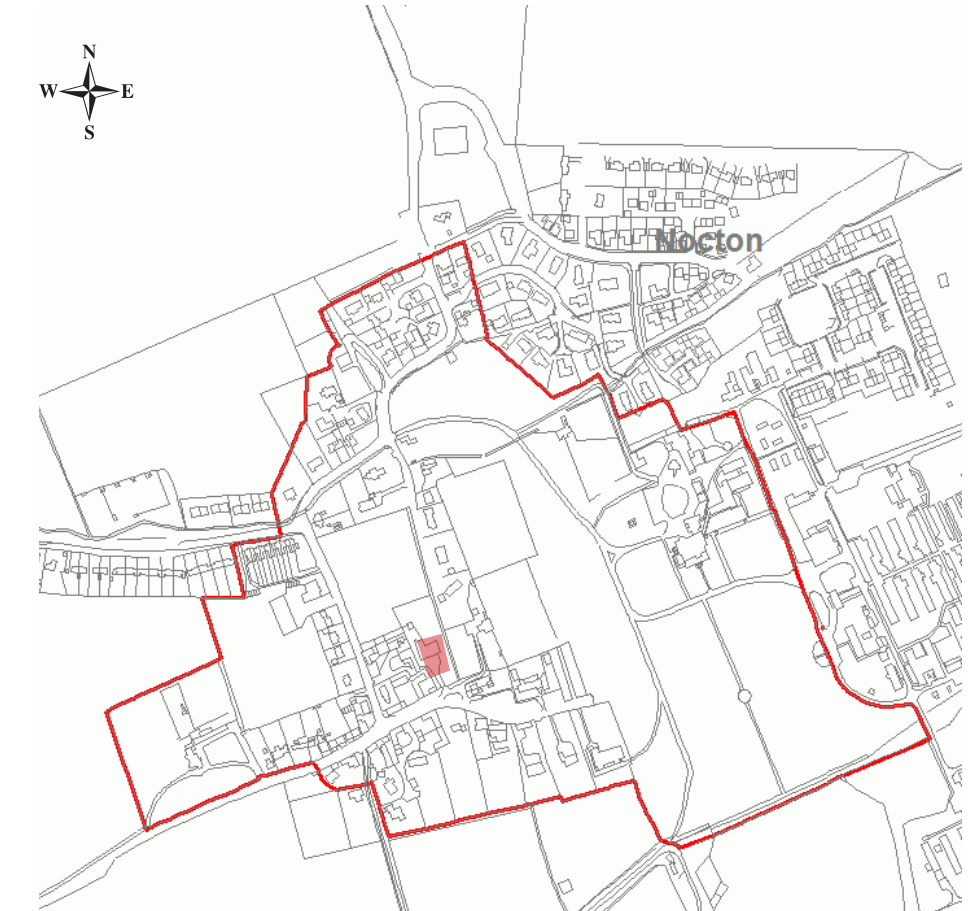
The appraisal continues to state that Nocton’s sense of place has been enhanced in recent years with a variety of public art installations.

The topography is generally flat and the village itself is nestled with gently rolling farmland, lying on the dip slope of Lincoln Heath, with Nocton fen located to the east.

The landscape setting of Nocton, and that within the village is characterised by the layered views offered by mature trees, and views of the steeply pitched roofs set within these trees.



3.1 Nocton Conservation Area



<p>North Kesteven District Council District Council Offices, Kesteven Street, Sleaford, Lincolnshire, NG34 7EF</p>	<p>Reproduced from or based upon the 2007 Ordnance Survey mapping with permission of the controller of Her Majesty's Stationery Office (c) Crown Copyright. Licence No. LA100017926</p>
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3.0 Heritage Assessment

The appearance of the village is defined by the common materiality but also the layers of varying roof forms, which create a layered villagescape. The significant greenery adds to the texture and richness of the English village character.



The view towards the Pheasantry from The Green displays many key traits from the village character, notably the backdrop of significant trees from the Nocton Hall grounds.



Green spaces, mature trees and hedgerows, and glimpses of buildings help to form part of the character of Nocton.



Curved roads help to give a sense of the village revealing its character, this is more notable where clusters of buildings step back and forth, creating an attractive villagescape.

3.2 Character Analysis

Views and scenes within the village are defined by the historic road pattern which are defined by the curves and bends within the roads, curating views which evolve as one proceeds. These bends can be sharp or more subtle, either way, limiting the view but creating glimpses of what is beyond.

The conservation area review highlights The Green's subtle curves in this manner and also the views which are defined by the wider grass verges, mature trees and definitive set-back of the buildings. In this sense, the space is less conventional than other parts of the village, particularly in the way that buildings are not the only defining part of the spatial quality, with trees, hedges and boundaries defining the immediate landscape character.

Buildings only define the edge of the street around the junction of The Green and Main Road. Elsewhere, they are set back from the road edge and are less prominent. They play only a part in defining these spaces, shared with the many hedges, trees and occasionally walls, throughout the village.

Nocton is an estate village and illustrates the influence of wealthy owners and the high regard they held architecture and design of the buildings. The village's landscaped of dominant trees and hedges contributes strongly to this character and richness.

Buildings vary subtly with Listed and unlisted, and it is this blend of characters which "help to create the particular local distinctiveness that makes Nocton what it is." The village however is unified by a series of materials such as stone walling and generally steeply pitched, pantile roofs.

It is acknowledged that some older buildings have had more modern alterations but, in the main, these have not detracted from their value.

3.0 Heritage Assessment

3.3 Formal Historic England Listings

Grade II* buildings are particularly important buildings of more than special interest; 5.8% of listed buildings are Grade II*.

Historic England's Listing Summary gives the following details;

Heritage Category:	Listed Building
Grade:	II*
List Entry Number:	1061910
Date first listed:	04-Dec-1979
Statutory Address 1:	FIELD HOUSE AND WALL TO NOCTON HALL, THE GREEN
County:	Lincolnshire
District:	NKDC
Parish:	Nocton

National Grid Reference: TF 05946 64261

TF 06 SE NOCTON THE GREEN 5/56 (north side) Field House and Wall to Nocton Hall GV II 4/12/1979*

House. Late C18 with one facade incorporating a garden house of circa 1700, and adjoining the remaining C17 and C18 walls to Nocton Hall. Coursed rubble and brick with ashlar and brick dressings. The Garden house which faces east, has a 3-bay 1½-storey facade with rusticated quoins at the corners and marking the slightly projecting central bay, a plinth and a moulded cornice. Central partially blocked doorway with moulded ashlar surround with central keystone and pulvinated frieze and cornice above. Eitherside single windows, both blocked, in moulded ashlar surrounds similar to the doorway. Above 3 oval windows, also blocked, all with bolection moulded surrounds and each with 4 bracketed keystones. The south front, of 2 storeys has a main block with slate roof and a lower west wing with pantile roof. Two brick gable stacks, a single brick coped gable, and brick quoins. Main block has central door with glazing bar overlight. Single sliding casement to east, and 2 similar windows above. Lower wing has 3-light casement with 2-light casement above. All openings under wooden lintels. The remaining walls to the original Nocton Hall adjoin at the north-east and south-east corners, that to the north is of coursed rubble with a plinth and ashlar moulded bands, that to south is brick with various buttresses.

Listing NGR: TF0594664261

The property is also included within the boundary of The Nocton Conservation Area.



Glimpse view of the east elevation of The Pheasantry, through the mature trees taken from the footpath within the grounds of Nocton Hall.

The Manor House, Nocton is a Grade II Listed building (listed in May 1985) and has therefore been identified as a building of special interest. Grade II listed buildings form 91.7% all listed building in England.

Historic England's Listing Summary gives the following details;

Heritage Category:	Listed Building
Grade:	II
List Entry Number:	192330
Date first listed:	02-May-1985
Statutory Address 1:	MANOR HOUSE, THE GREEN
County:	Lincolnshire
District:	NKDC
Parish:	Nocton

National Grid Reference: TF 058642

TF 06 SE NOCTON THE GREEN 5/55 (north side) Manor House GV II

Manor House. Early C19. Coursed rubble. C20 tiled hipped roof. Central doorway, with half-glazed 6-fielded panel door with semi-circular fanlight above. Pilaster bracketed open porch. Four glazing bar sashes, under segmental heads with ashlar voussoirs. Above 5 similar glazing bar sashes 4 white brick stacks.

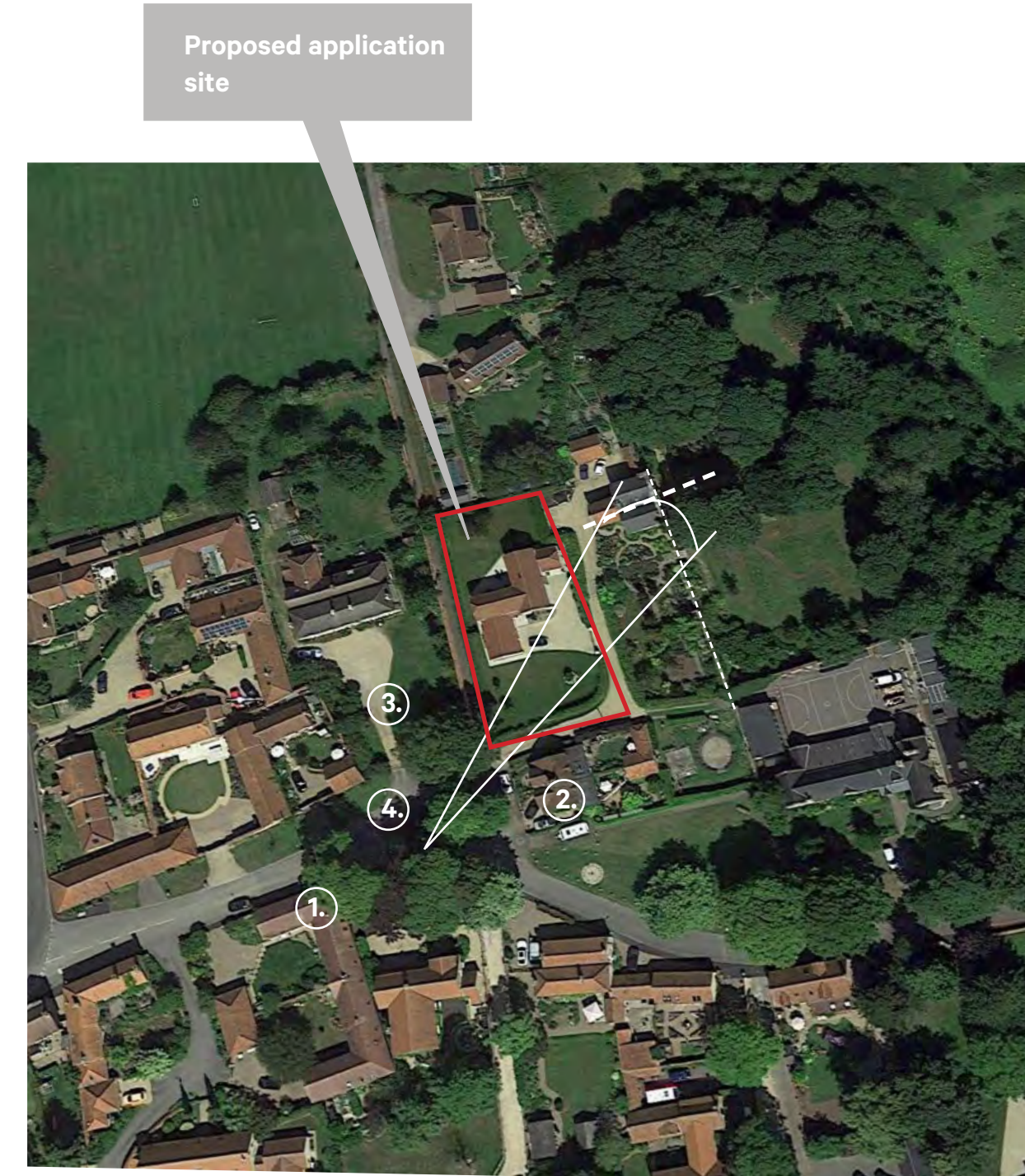
Listing NGR: TF0588364234

The property is also included within the boundary of The Nocton Conservation Area.



Photograph date not known, but illustrates the primary facade with window boxes and wall climbers. <https://nocton.blogspot.com/2012/04/post-times-green.html>

3.0 Heritage Assessment



3.4 Setting of Listed Buildings and the Application

In the vicinity of the proposed dwelling, are two listed buildings, set within the vicinity of Lyme House and a further pair cottages which typify Nocton.

1. The Pheasantry

The Grade II* listed building is set back from The Green, and a neighbour of Lyme House, albeit separated by mature gardens, hedges and stone track.



The architecture itself is of interest, particularly the east front of The Pheasantry, which is thought to date from around 1700, from which to provide hot food for travellers to stop passers by calling at the Hall for hospitality. The adjacent garden walls are from the same period.

The building is has a unique character due to the juxtaposition with the earlier estate wall. The western side of the wall displays a C18 dwelling with pitched roofs and 3 varied gables, and it is this massing which addresses the view from The Green. The more distinctive facade faces east into the Nocton Hall grounds and makes more reference to the historic occupation of the estate.



2. The Cottages

The handsome cottages typify the Nocton conservation area in their materiality, composition and scale. Whilst they are not listed (they have been suggested they would meet the test of Non-Designated Heritage Assets) they display many of the architectural features listed within the CA appraisal such as steep roof pitches, expressive chimney stacks and use of the local stone. Their position contributes greatly to the setting of the Green and surrounding buildings, and a positive element of the villagescape.

3. Manor House

This handsome dwelling, named the Manor House dates from the early 19th century with a structured Georgian facade, faced in coursed rubble stone. The hipped roof dates slightly later as stated in the Historic England listing (C20). Central doorway, with half-glazed 6-fielded panel door with semi-circular fanlight above. Pilaster bracketed open porch. Four glazing bar sashes, under segmental heads with ashlar voussoirs. Above 5 similar glazing bar sashes 4 white brick stack.



The building is set back from the road and well hidden by mature trees and hedges which shield it from many views except from the glimpsed view through the entrance gates.

(from Historic England – list entry number: TF0588364234)

3.0 Heritage Assessment

The view itself is largely formed of trees and foliage, buildings are significantly screened by foreground and mid-ground vegetation.

Foreground mature trees merge with hedgerows and other boundary treatments to form strong plot delineation.

Layers of greenery and visible in the vista, punctuated by stonework, roof forms and the curving stone track.

Unbroken treeline of Nocton Hall grounds indicate the location of the hall and its history.



View 01

View taken from the eastern side of the mature street in the Green, looking east towards The Pheasantry.

The view displays many hallmarks of the character of Nocton, in many senses curates a glimpsed view of the rear of the Pheasantry, showing its massing, materiality and scale which clearly belong to the village, despite its distance from the road.

[It should be noted that many comments on these images apply to both views.]

3.5 View Analysis from The Green

The large mature trees to the south-west of Lyme House obscure a full view of the house.



View 02

View taken from the western side of the mature street in the Green, looking east towards The Pheasantry and Lyme House.

The rear elevation of the Pheasantry is visible more clearly from this angle and the view allows the appreciation of the building, and its existence. It is an incidental view as opposed to a 'designed view' and one which was intended to greet visitors, the primary facade facing away from this view and towards Nocton Hall grounds.

Existing hedgerow and timber fencing reflects the surrounding character of Nocton, with defined, green boundary treatments.

Unbroken treeline of Nocton Hall grounds continue as a strong feature of the vista.

The Pheasantry is glimpsed and partially obscured by the layers of greenery in the fore and mid-ground. The dark green backdrop of trees serve to highlight the buildings gables and stepped massing.

Of interest is the unusual slate roof (typically orange pantile is the predominant material in Nocton) although this is generally only found on the more notable properties, where slate is seldom found.

3.0 Heritage Assessment

3.6 Summary of Existing Significance

The main consideration for the heritage impact of these proposals is in relation to impacts on designated heritage assets and in particular views of the Grade II* listed The Pheasantry from The Green, which is identified within the Nocton Consideration Area Appraisal.

Whilst the Conservation Officer has not raised specific objection to the proposal it was requested that a Heritage Statement assesses this in greater detail both in relation to the significance of The Pheasantry itself as a designated heritage asset, but also the public view of this from either side of the existing tree within the centre of The Green and the impact upon the identified view.

1. Aesthetic value:

The building's architect is unknown although its historic use and function are documented, which itself explains the unique form of the building, partly constructed within the remains of the walls of Nocton Hall grounds. The east facing wall displays handsome architectural features, its tall [blank] fenestration with rusticated stone quoins create an attractive composition. The presence of brick is also unusual in Nocton and therefore highlights its uniqueness. The setting of the trees and overgrown parkland add further to this aesthetic of a window on the past.

The western elevation is formed of three wings, with varied gables which very much belong to the C18 and create an interesting composition visually. The relationship with the wall is not immediately clear at a distance and it is only on closer inspection where the presence of the wall and its dressed ashlar mouldings, become apparent.

As such there is **some aesthetic value in external presentation** of property, particularly in the scenic setting of the mature parkland.

2. Communal value:

The scenic and historic value of Nocton is not only provided by the individual buildings, but by their collective nature. The loose formality of their arrangement, especially in the older areas of Nocton are a product of the curved roads, glimpsed and emerging views, and layered vistas which are further curated by the presence of numerous mature trees, hedges and grass verges.

The Pheasantry is elevated in this by being on the boundary of the historic Nocton Hall grounds. Currently the grounds and house are in a particularly poor condition with little maintenance, and therefore the overly mature specimen trees create an imposing backdrop to the building.

The building is only partially visible until at close quarters but still provide a reference it's important history.

As such there is **some communal value** in the property as both an unusual architectural design and as a key reference point for the wider area.

3. Evidential and Historic value

The building has been heavily altered over its history, since the construction of the wall, thought to be in the early parts of the C17. This is largely due to the later addition of a more traditional C18 dwelling to the western elevation. The exact dates are not known.

The nature of the blocked or partially blocked windows / door openings points to significant changes from any original layout or use. The very existence of the building from this era however makes it a key marker for the evolution of the hall, grounds and the estate village itself.

The building is now used as a private dwelling and its listed status assists in its preservation. As such there is **considerable evidential value** in the property.

4. Historical value:

As the Nocton Hall estate was purchased in 1600 by Lord Stanhope and the main house was rebuilt in 1675 by Sir William Ellys. He built a small building in the grounds as a resting place for travellers where 12 hot meals a day were provided to avoid them calling at the Hall seeking hospitality. The surviving remains of the early building now forming part of The Pheasantry may be the remnant of this. (Reference: Nocton Conservation Area, NKDC, p8, 6.3)

The Nocton Conservation Area Assessment provides a full and detailed assessment of the conservation area's character and appearance and it gives an indication of the contribution made by buildings to its significance. The building is identified as having an important role in displaying the heritage of the village, estate and the dilapidated hall.

Most properties within the conservation area have stone elevations, traditional detailing and pantile roof coverings. The nature of the Pheasantry displays an unusual brick and stone facade, and the later stone wings.

As such there is **some / considerable historic value** in the property.

5. Scenic / Panoramic Value:

The view of the building is glimpsed through trees and the existing buildings which surround it, even though not at particularly close quarters. Like many buildings in Nocton, the house has its own setting, garden and mature boundary of hedgerows and walls.

The Conservation Area Review states that the character and appearance of the Conservation Area would be maintained if any building here is behind a line drawn diagonally across the plot from the south west corner up to an including The Pheasantry.*

[*This point is specifically qualified and reflected in the pre-application response and should be noted in the wider context of this application and special consideration afforded by the design.]

Considerable scenic / panoramic value is therefore present.

6. Landscape Scenic Setting:

The building carries historic features that can only be experienced at close quarters. The western elevation, which is more prominent from The Green, does not immediately portray the wider significance of the building, whose eastern facade is older and carries the higher degree of interest, facing into the grounds of the hall.

Notwithstanding this, the composition of the building itself is unusual and carries a degree of weight. The combination of features are also understood to add to the character and significance of the area.

The large mature specimen trees, and their significant number, create an imposing backdrop to the building when viewed from The Green, as such the vistas takes upon a layered character with the Pheasant being somewhat concealed by the fore and mid-ground vegetation, adjacent buildings and large trees. The building cannot be seen in its entirety unless within the immediate setting.

The building therefore has **some significance** and visual value in its contribution to the setting of the conservation area and character of the surrounding area.

3.0 Heritage Assessment

7. Landscape Aesthetic Value:

The Nocton Conservation Area summarises that "...Trees, hedges and green open spaces are an essential element of the Conservation Area. Because there are so many of them no attempt has been made to survey the individual trees, identify their species or determine their health or potential to reach their optimum height."

This combined design, access and heritage statement makes numerous reference to the contribution greenery has on the overarching character of the village and specifically the setting of it's many listed buildings. The Pheasantry is surrounded by mature trees and in particular the large and mature trees which are tall and dense in their arrangement.

The hedgerows also play a significant role in the appreciation of buildings in the village, many of which obscure and frame views in varying ways. This is very much the case with the Pheasantry and its view is layered, loosely framed and yet reflects well the character of Nocton.

The landscape aesthetic has **some significance**.

Summary

To summarise, the value of the building arises from its position in Nocton and its historic interest to the Nocton Hall grounds, the estate village and it's architectural character.

The building's significance is mostly derived from it's social significance, external facades and the manner in which it occupies a position in the estate which has fallen out of use. The Pheasantry therefore offers a glimpse, in more ways than one, of the past.

There is significant evidential and historic value, as well as its general appreciation from a public view, although it should be noted this is not a 'designed view'. The aesthetic value is higher where the C17 facade can be appreciated and therefore any proposals should be seen in the context of this hierarchy.

No works are proposed to the grounds or The Pheasantry itself, and this assessment is therefore provided to assist in understanding the impact of the proposals of extending Lyme House, which itself is in the foreground of a specific view, identified within the NKDC Conservation Review.

		SIGNIFICANCE AS EXISTING					
Asset Ref:	Description / significance	Exceptional significance	Considerable significance	Some significance	Limited significance	Unknown significance	No / negative significance
	The Pheasantry						
	Regional / National Historical Significance						
	Aesthetic Value						
	Scenic / Panoramic Significance						
	Evidential Value						
	Communal Value						
	Landscaped Setting						
	Scenic / Panoramic Significance						
	Aesthetic Value						

4.0 Pre-Application Feedback



Proposed visual of garage extension, included with pre-application submission

Pre-Application Advice Reference Number: 22/1584/ADVICE Date of Report Sign off: 19th December 2022

Applicant Details: Mr N Sutton
Address of Site Lyme House The Green Nocton Lincoln Lincolnshire LN4 2BG

Advice
The Site

Lyme House is a detached 4/5 bed house, with attached double garage to the front, constructed in Lincolnshire limestone and clay pantile. It is a recent addition to Nocton Conservation Area, planning permission (ref: 11/0633/FUL) in August 2011 with a subsequent non-material amendment (ref: 13/0708/PNMAT) in relation to the glazed screen on the front elevation in July 2013. Boundary treatments comprise hedging both retained and newly planted as part of the development, with access via solid timber gates from the eastern end of The Green.

The site abuts a public right of way to the west with the Grade II listed Manor House, dating from the early 19th century beyond. To the east, sharing the same access, is the Grade II* Pheasantry and adjacent walls. This is late 18th century with one façade incorporating a garden house of c1700 and adjoining some 17th and 18th century walls. To the south are a pair of semi-detached cottages which satisfy the requirements to be considered non-designated heritage assets.

The site lies within Nocton Conservation Area

Proposal

Externally the scheme comprises the erection of a new detached double garage to the south of the existing garage. The floor level would be approximately 1m below the existing with access via a gentle slope from the existing driveway. Materials would be vertical timber cladding to the walls and zinc roof. The garage would be angled and connected to the existing building via a flat roofed glazed link.

The existing garage will be converted to a snug/ living space with the existing doors replaced with full height timber windows.

Finally, the existing home office and lounge will be used as a ground floor annex with bedroom. This would appear to comprise the erection of a new dividing wall between the hallway and lounge. The proposal seeks to provide multi-generational living enabling elderly family members to reside within the house but also have their own day space.

4.1 Summary of Feedback

Conclusions on the principle of development

The proposed internal works to the property do not require planning permission but are useful in understanding the need for a new double garage when the property is already served by one. In this context it is also appropriate to note that the use of the existing downstairs office as a bedroom is consistent with the approved floor plans from the original permission which showed this room as a study/ bedroom 5.

Consideration should therefore focus upon any associated impacts of the proposed extension and in particular upon Nocton Conservation Area and the setting of the adjacent Grade II and Grade II* listed buildings.

The Conservation Officer made the following remarks within the context of the pre application response;

In respect of the extension proposed, the form and materials proposed would appear as a subservient later addition to the original property and are acceptable. The setting of the building into the ground also reduces it overall height but at the same time would not result in an addition of awkward proportions. It would however come forwards of the main elevation of the house and into the visibility splay referenced within the Conservation Area Appraisal. Although the Appraisal isn't explicitly referenced within the supporting document, consideration is given in detail to this view and the development as proposed uses orientation and recessing the building into the ground as a means of reducing impact.

As The Pheasantry is Grade II* listed, comments from Historic England have been sought as they would be a statutory consultee on any application. However, they have advised that they no longer provide advice via an LPA to a third party. The Conservation Officer has though provided positive comments:

'I'd be happy to see an application on the line shown. Although there is a view of the Pheasantry, the design suggests the impact would be minimal and in any case it is not a "designed" historic view since the important side of the Pheasantry faces the opposite way, into the hall grounds.'

Whilst these are noted I would recommend that the Heritage Statement specifically references the Conservation Area Appraisal and provides some more assessment in relation to this view both in respect to impacts on the setting of The Pheasantry but also from within the Conservation Area (i.e. The Green). The visualisation at 4.5 is useful in illustrating the impact upon one view of The Pheasantry but this is from the east of the tree within the centre of The Green and a further public view is available from west of the

4.0 Pre-Application Feedback



Proposed visual of garage extension, included with pre-application submission

tree which is perhaps more in line with that referenced in the Appraisal. Beyond this, existing trees screen the view. Given that this is specifically referenced within the Appraisal, I would suggest that the Heritage Statement includes both an assessment on the significance of The Pheasantry including the different elevations and also these two views in order to demonstrate the degree of harm caused to the setting of the designated heritage assets (i.e. The Pheasantry and Nocton Conservation Area).

Given the relationship to the Grade II listed Manor House and design proposed, it is not considered that the proposal would cause harm to the setting of this or the non-designated heritage assets to the south. Although the garage will to a greater extent turn its back to The Green, given that it will be set back from the boundary and some interest is offered with the gable window and choice of materials, it would not appear overly prominent given the existing boundary vegetation and recessing into the ground by 1m.

Other Issues

It is not considered that the proposal would adversely impact upon the amenities of adjacent residents (Policy LP26) or detrimentally impact upon highway safety (Policy LP13).

There is a large mature tree located to the south west, the root area of which may be impacted by the proposal. The submission should therefore be accompanied by an arboricultural assessment to BS5837-2012 to assess any impacts and also a scheme for the protection of the root protection area and the existing hedges during construction.

The proposed site layout indicates that 3 small trees will be relocated to the boundary and the practicalities of this should be considered as part of the assessment. Furthermore in conjunction with the above discussion regarding the retention of the view towards The Pheasantry, the siting of the three trees directly within this line, may not be appropriate and an alternative location within the curtilage considered.

4.1 Summary of Feedback

Conclusion

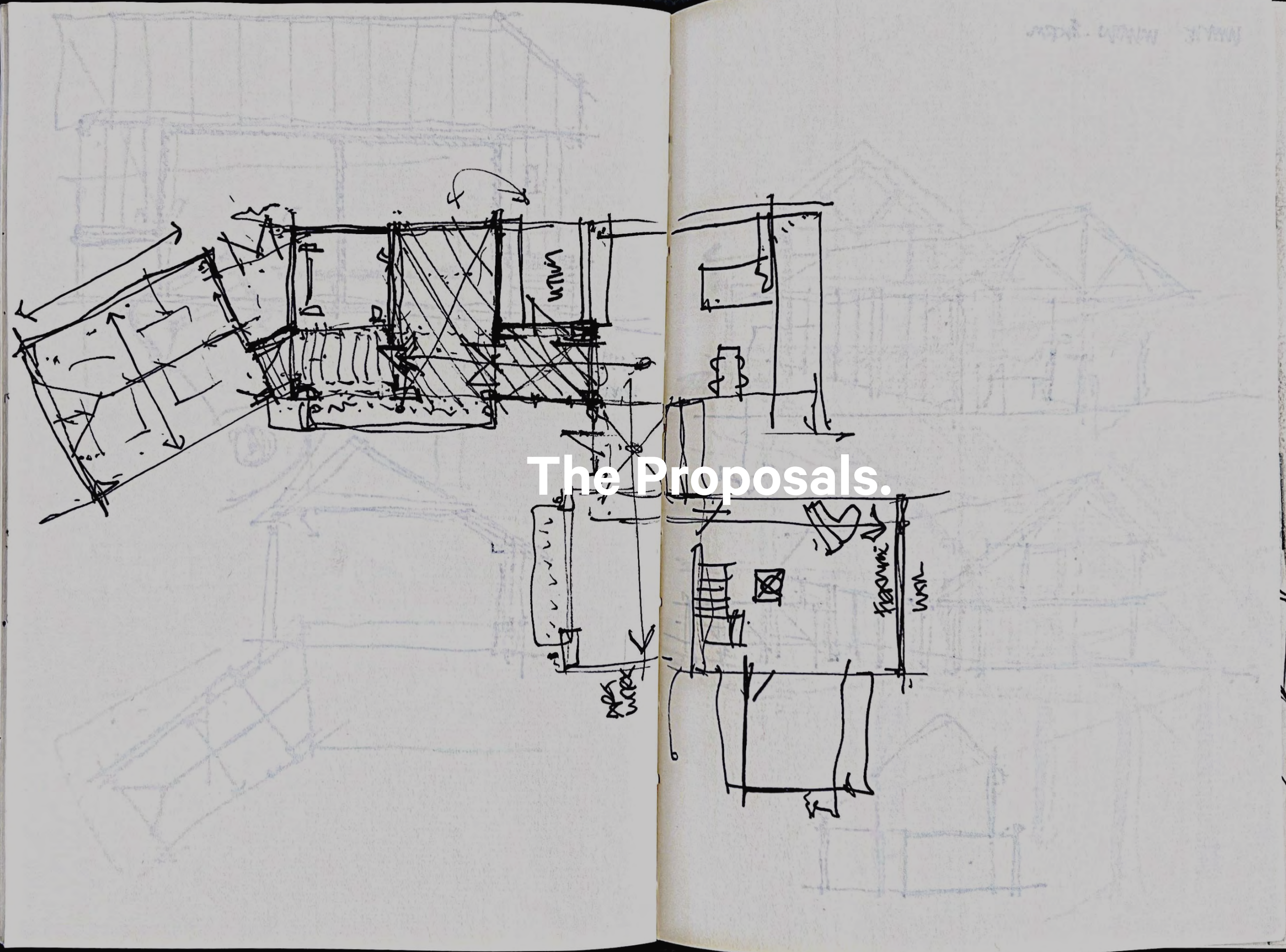
This inquiry relates to the construction of a garage extension to the existing dwelling, internal alterations to create annex and conversion of existing garage into a living room at Lyme House, a relatively recent new house within Nocton Conservation Area, adjacent to both Grade II and Grade II* listed buildings.

The principle of development proposed is acceptable and the proposed link garage extension would not give rise to adverse impacts in respect of residential amenity or highway safety. The form and materials chosen for the extension also relate well to the existing house. The main consideration will therefore be in relation to impacts on designated heritage assets and in particular views of the Grade II* listed The Pheasantry from The Green, which is identified within the Nocton Consideration Area Appraisal. Whilst the Conservation Officer does not raise objection to the proposal it is recommended that the required Heritage Statement assesses this matter in greater detail both in relation to the significance of The Pheasantry itself as a designated heritage asset, but also the public view of this from either side of the existing tree within the centre of The Green and the impact upon the identified view. If you would like to provide further information in relation to this then we would be happy to provide further guidance.

Information Requirements to Support a Planning Application

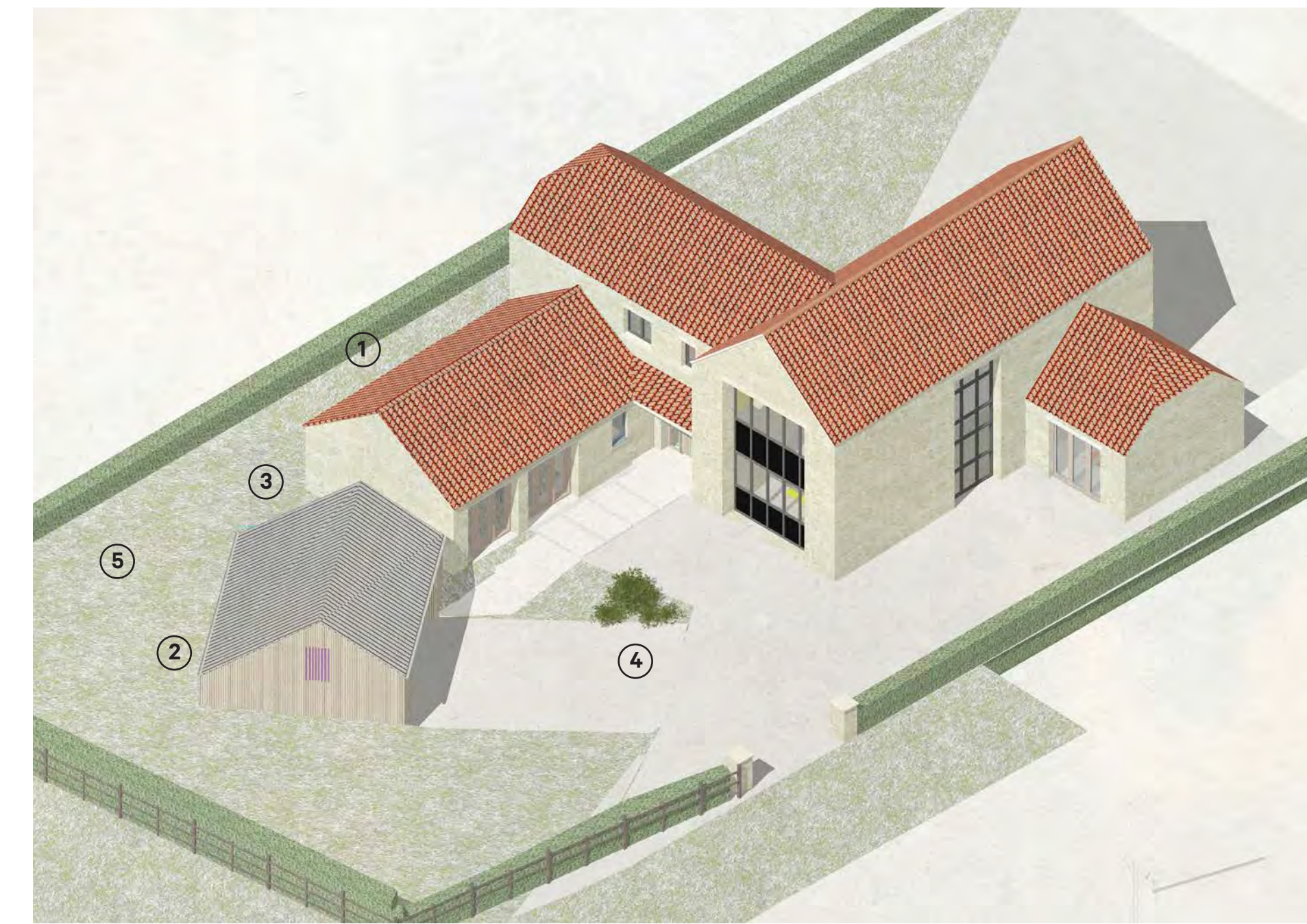
Heritage Statement
Arboricultural Assessment to BS5837-

[The above represents a summary of the salient points from the pre-application report and the original document should be consulted for a full assessment, albeit it is not the intention of this summary to mis-represent the findings and advice offered.]



5.0 Proposals

5.1 Summary of Proposals



The proposed external designs are for a new extension to the south of the existing house and garage. This is part of a wider plan to consider how the existing house might be re-ordered internally and extended in a sensitive manner, whilst creating an attractive and resolved dwelling when complete.

Primarily the brief is to amend parts of the internal space to create annex accommodation for multi-generational living, and subsequently extending to account for the lost internal space.

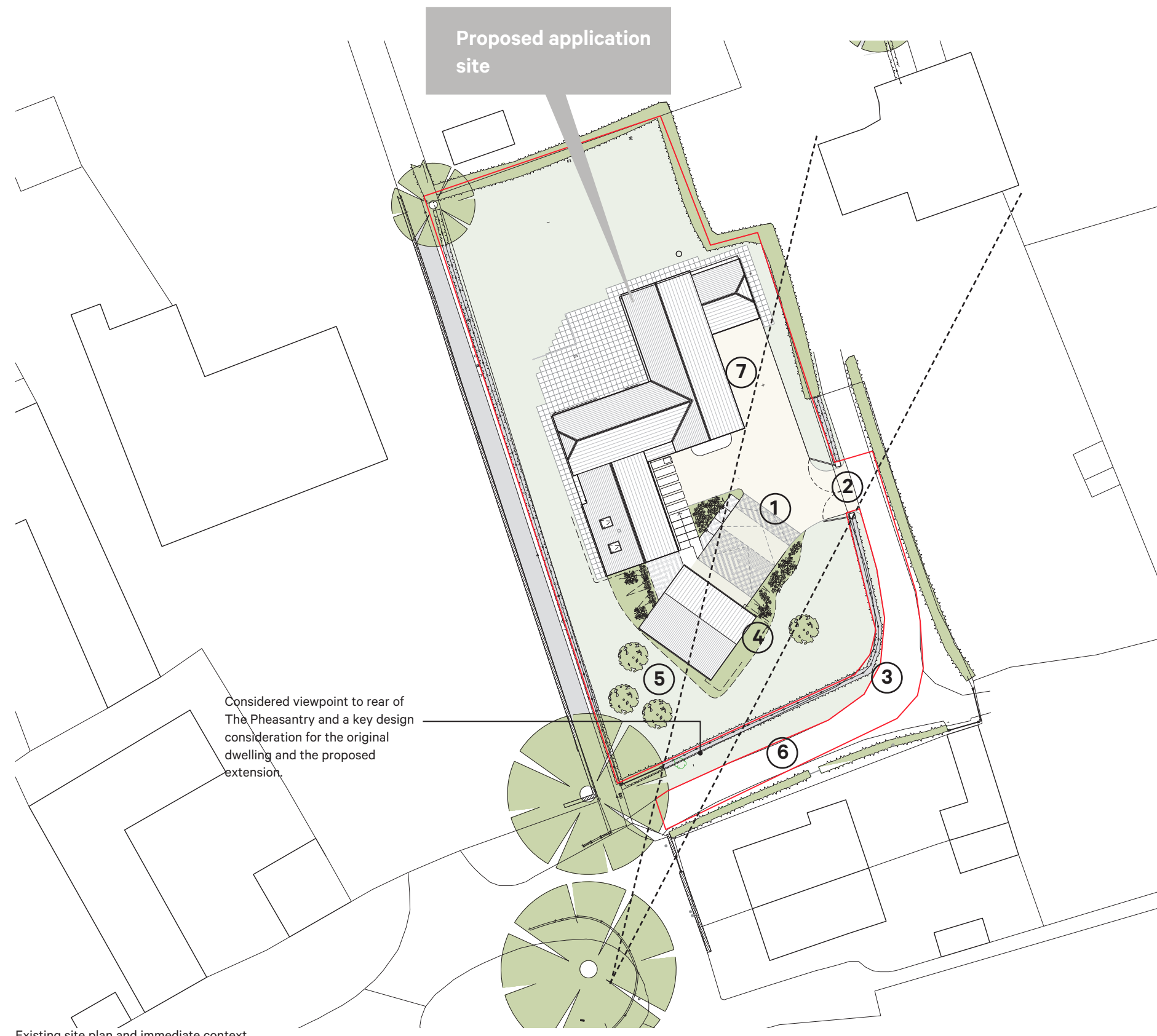
The designs start from the viewpoint of being sensitive to the character of Nocton and the Conservation Area, but also to be respectful of views from The Green towards the Grade II* Listed Pheasantry.

The proposals can be summarised in a few key areas:

1. Existing garage to be converted into a snug / living space. Garage doors to be replaced with glazing.
2. New garage extension, with asymmetric pitched roof, to be constructed circa 1m lower than external levels to preserve views towards The Pheasantry.
3. A definitive gap between the new garage annex and the existing dwelling, assists with geometry and articulation between old and new. (The glazed link illustrated at pre-application stage has been omitted).
4. A subtle ramp helps to allow vehicles to access the lowered garage.
5. 3 No. existing small trees to be retained and protected to assist with visually obscuring any impact from The Green.

Proposed axonometric of proposals

5.0 Proposals



5.2 Proposed Site Plan

The existing dwelling is sat on the site as a series of staggered wings, set back deliberately to respond to the rear view of The Pheasantry. This frame is enhanced by the cluster of trees to be located in the south east corner of the plot. Further smaller trees have been planted in recent years and these are reported in the arboricultural report submitted with this application.

The original house design is a series of different elements that reflect the character of a converted barn, but with a contemporary glazed element on the front and side elevations that provide the proposal with its own identity whilst at the same time, with its traditional shape and materials respect the older elements of this part of the village.

It is considered that the break up of the elements reflects the rear of the adjacent Pheasantry.

Like many other plots and properties in Nocton, Lyme House has a maturing boundary of hedges and benefits from the partial screening from trees, and the backdrop they create, adding to the landscape character.

Access to the site is via a stoned track which also leads to the rear of The Pheasantry.

Legend

1. Existing gravel driveway
2. Existing timber automated gates
3. Existing mature hedges and timber fence
4. Lawn
5. Existing trees - refer to arboricultural report
6. Existing private access track
7. Main house

5.3 Proposed Massing

The massing of the house is broken down into a series of wings, assembled in a loose cruciform plan, with the primary mass orientated in a north-south direction, with primary gable and feature double-height glazing. There is a stepped secondary axis to the building which bisects the main house.

The garage wing creates a third element to the composition, single story in height and completes the overall massing.

The proposed extension continues this subservient wing, respecting the existing composition but creating a clear distinction between old and new. The new garage wing is angled toward the stone gate posts but also sunken slightly to reduce its visual impact on vistas towards the Grade II 'The Pheasantry'.

The proposed scheme is subservient to the main dwelling and the surrounding context, being recessed into the ground to reduce its visual impact and maintaining the visual connection between the Green and The Pheasantry.



Proposed massing of the proposals

5.0 Proposals.

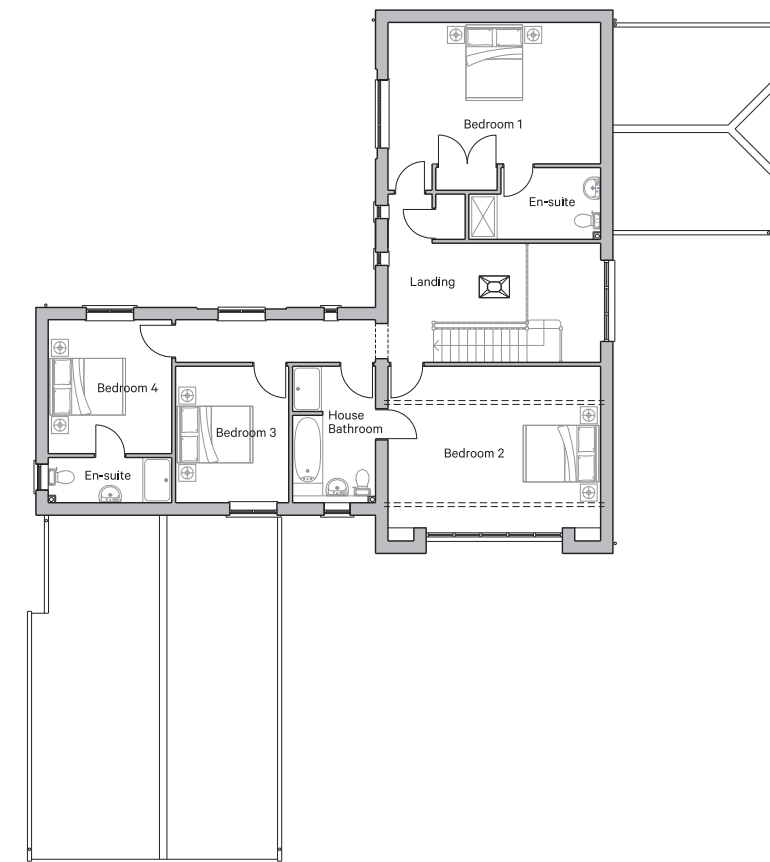
5.4 Proposed Ground Floor Plan

The ground floor plan illustrates the house is segregated into a series of interconnected rooms with a generous circulation space on the as the entrance hall. The large windows to the rear of the property connect well with the garden and landscape beyond. The ground floor plan also illustrates the proposed use of the northern end of the floor plan as a supported living space for elderly relatives.



5.5 Proposed First Floor Plan

The first floor plan shows the 4 bedrooms which vary in size slightly, whilst the master bedroom is modest for a dwelling of this scale.

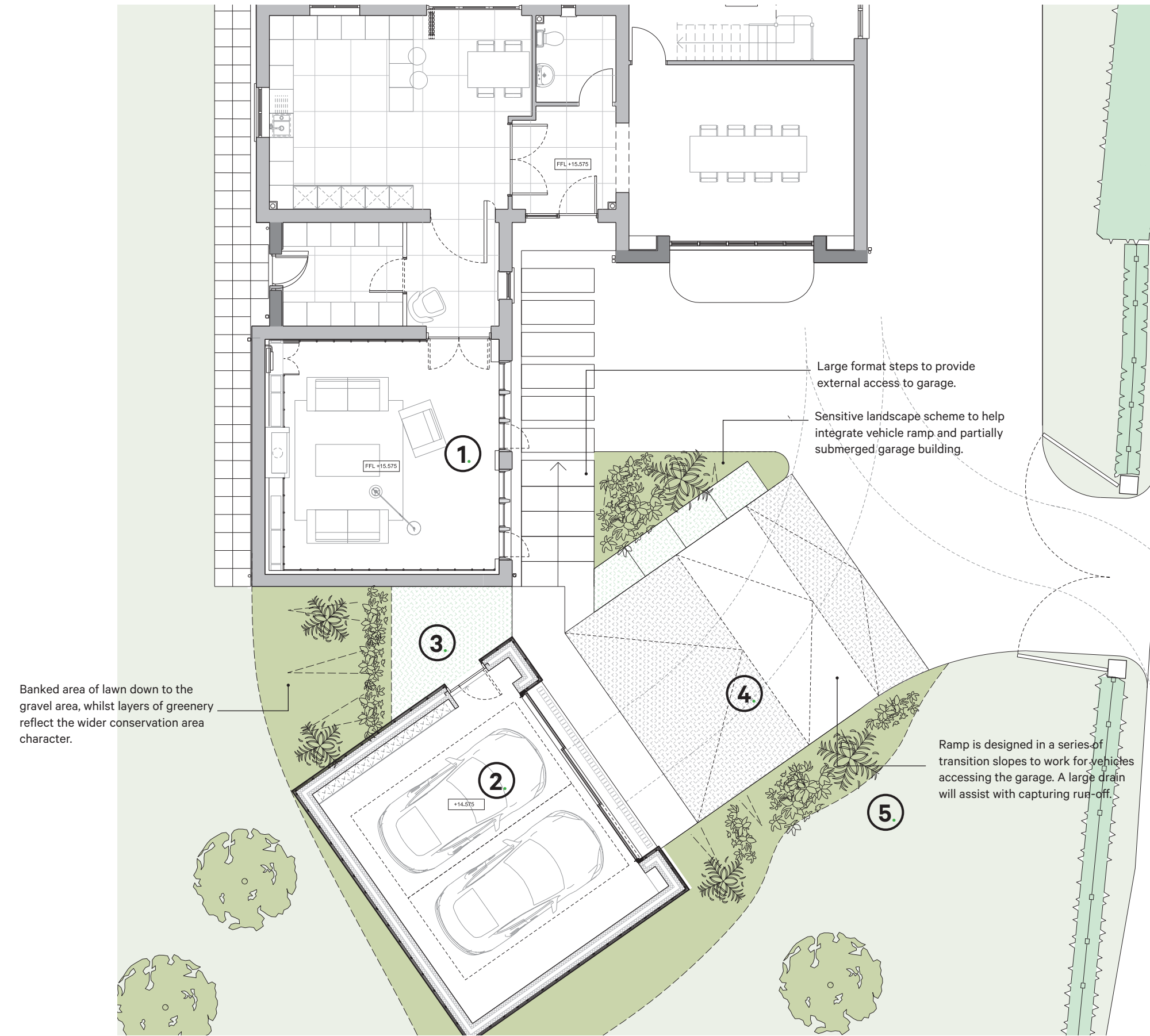


5.6 Proposed Ground Floor Plan Detail

Initial briefings considered how the existing house might be re-ordered internally and extended in a sensitive manner, whilst creating a considered and resolved dwelling when complete. Primarily the brief is to re-order the internal space to create annex accommodation, and subsequently extending to account for the lost internal space.

The proposals can be summarised in a few key areas:

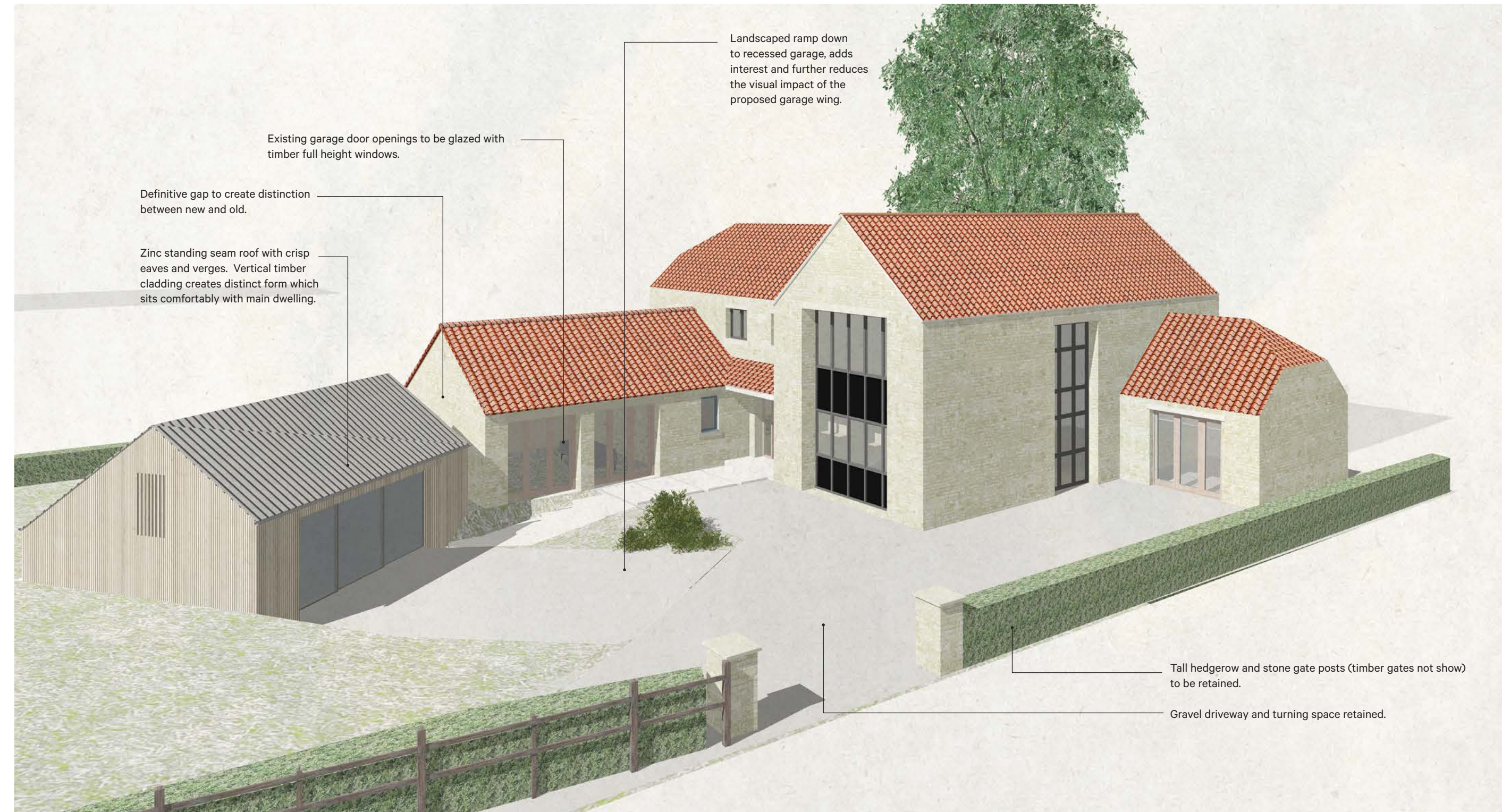
1. Existing garage to be converted into a snug / living space which will act as a living room annex for multi-generational living in the house. The owners of the house wish to enable elderly family members to be able to co-habit the house whilst having their own space to spend time during the day. (Refer to full ground floor plan in section 5.5).
2. New garage extension to be constructed circa 1m lower than external levels to reduce the visual impact of the proposals on the conservation area.
3. A definitive gap visually separates the new garage annex to the existing dwelling, which clearly articulates the new and old, especially important due to the angled position of the new extension. This junction also allows for the change in level between the new and old, importantly using a lightweight materials to emphasise further the distinction.
4. A subtle ramp helps to allow vehicles to access the lowered garage, which is flanked by structured planting and landscaped steps to help the garage and overall composition feel more settled in the landscape. The soft planting further helps to disguise the extension and will only mature over time. Levels will be slightly adjusted around the ramp and the new garage with informal planting to further soften the setting of the proposed garage.
5. Existing trees will all be retained and protected during construction. An arboricultural report has been commissioned to assess the proposals and is submitted along with this application.



Detail plan of the proposed garage and landscape

5.0 Proposals.

5.7 Proposed Massing Articulation



Aerial view of proposed extension and associated landscaping

5.0 Proposals.

5.8 Proposed Design Rationale

1. Articulation and balance

The existing house is polite and well mannered design which reflects the language of barns and other similar rural vernacular buildings. The use of local limestone, natural clay pantiles and timber framed windows. There are elements of contemporary detailing though such as the large recessed windows in the primary, south facing gable and timber boarding.

The proposals aim to respect this approach but also to develop the house into with a clearly defined language of traditional and contemporary elements, with a legible composition.

The new garage extension is clearly defined as a contemporary additions through their form and detailing, albeit the use of vertical timber cladding will tie the new and the old together creating a homogenous property. The timber will soften and weather to reflect its surroundings and sit comfortably with the stone facade of the main house. Likewise the use of a standing seam metal roof will complement this material palette and pay homage to the small number of slate roofs found in the village.

3. Form and mass

The extension is set down by approximately 1m into the ground and is canted on an axis to allow for vehicles to drive in, but also to continue the appearance of a rural courtyard, of which similar scales can be found elsewhere in the village.

The existing house is formed from a series of stepped wings with gable roofs, appearing as though they have been extended over time in the manner of many rural buildings. This attractive articulation is successful and the proposed extension looks to build on this approach. The extension is clearly marked as a later addition but one that is sympathetic to the original building. Clean, crisp detailing and a deep recess for the garage doors ensure that whilst the extension is well designed and considered in its own right, the resultant dwelling is attractive and resolved.

Importantly the proposed extension continues the subservient nature of the garage wing, respecting the existing composition but creating a clear distinction between old and new. The existing garage and new garage are separated by a definitive gap. This articulates the two masses, especially important given the angled footprint but also serves to create visually distinct roofs. This is as opposed to continuing the ridge line at a higher level or other device which would not lead to the same successful conclusion.

The resultant building roof line rises and falls much like other buildings found in the Nocton

Conservation Area and therefore the building preserves and enhances this character, whilst refraining from being pastiche.

4. Materiality

The materials proposed are selected to reference existing house but also add a distinctiveness to ensure the extension is attractive and refined in it's own right.

Vertical timber cladding and a standing seam metal roof (zinc or similar) are crisp and contemporary, creating the appearance of a clad structure, and will weather over time helping the interventions blend into the landscape. The small amount of exposed masonry base would be stone to match the main house.

Materiality is chosen to complement the existing Lyme House and surrounding character of the Nocton conservation area, but is detailed to be clearly modern in its execution.



View towards garage extension, link block and converted garage.



Illustration of the completed massing, with various roof forms and articulated wings. Note the lower ridge height of the proposed garage.

5.0 Proposals.



Proposed east elevation



Proposed south elevation

5.9 Proposed Elevations

The proposed elevations illustrate the diminishing scale of the dwelling, with a stepped roof line which descends down to the lower garage extension. The roof pitches of the house are consistent, although the minor variations in the roof forms are attractive and reflective of rural buildings, barns and sheds.

The main house volume has both gables and hipped-gables which are an attractive part of the building composition. The proposed garage extension has a slightly asymmetrical ridge line, which helps to bring the ridge line lower and creates a front and rear to the garage, akin to a cart of farm vehicle shed.

The oblique angle of the proposed garage further adds to the loose alignment of the building and creates an visually attractive arrangement of masses, a particularly successful part of the original architect's design.

The existing garage door openings are transformed by the use of thick timber mullions and timber framed windows generally. This works well to disguise their previous use, towards larger glazed openings which address the landscaped courtyard.

A simple black metal flue is proposed to extend from the existing garage roof for a log burner or similar, whilst 2 No. roof lights will provide additional daylight to the space.

5.0 Proposals.



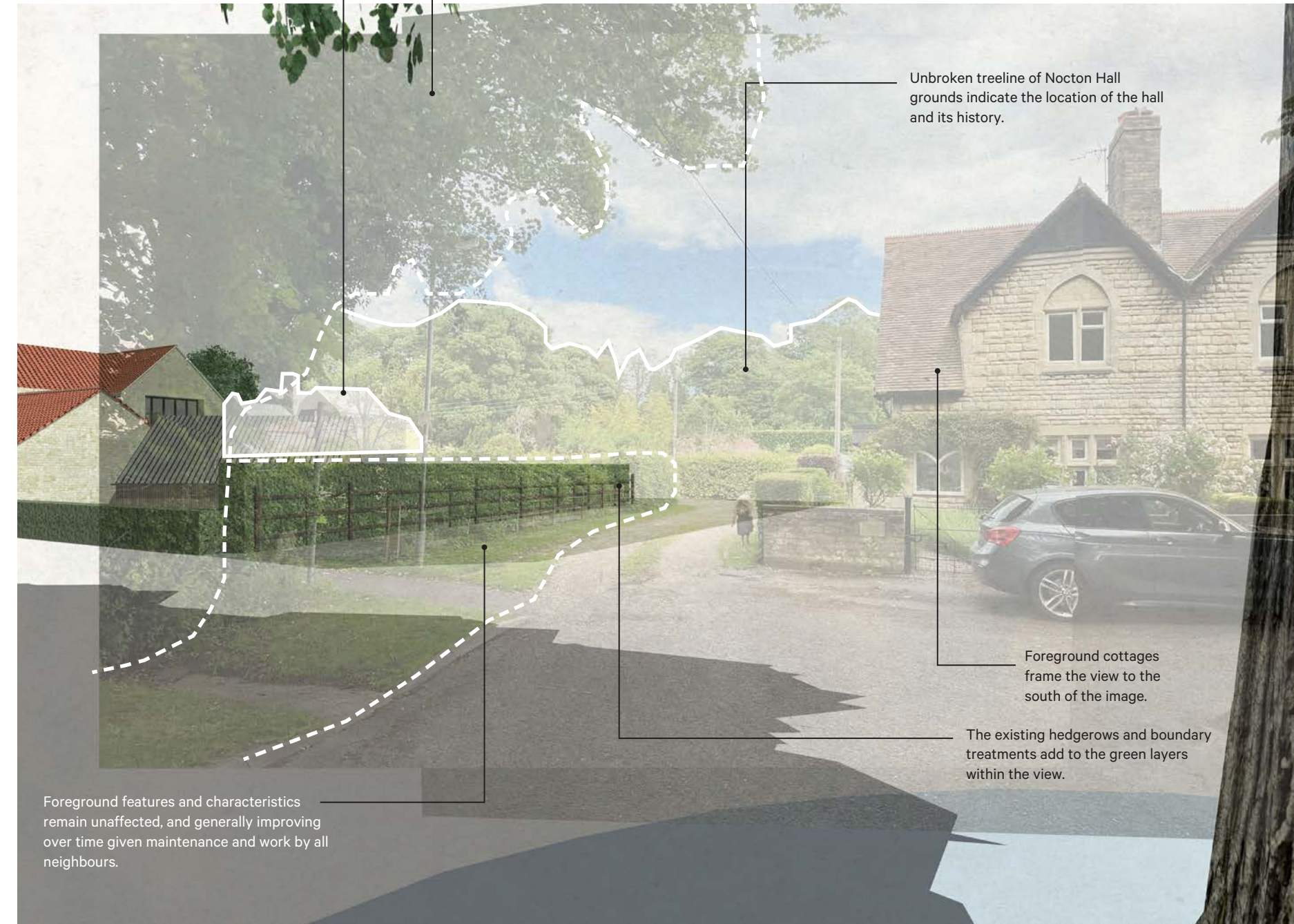
Proposed south-east elevation and section through garage

5.10 Proposed Section

6.0 Heritage Impact Assessment.

The view itself is largely formed of trees and foliage, buildings are significantly screened by foreground and mid-ground vegetation.

The Pheasantry is well shielded by layers of trees and is glimpsed only partially from the eastern side of the tree.



View montage of proposed house and impact of the new garage.

The main consideration of these proposals is to demonstrate that they do not have a negative or harmful impact on the surrounding heritage assets, views towards the Grade II* Listed Pheasantry, and the Conservation Area in general.

All these aspects are identified within the Nocton Consideration Area Appraisal. It is acknowledged by both the applicant and the local authority that the view should be

6.1 Proposed View 01 Impact Analysis

assessed from the public view point (both sides of the existing tree on The Green) and that any impact should be identified and assessed. These two views are illustrated in these pages and they illustrate how the careful positioning, massing and design language are respectful to the setting of The Pheasantry as well as the character of the conservation area in general. It should be noted that whilst the Conservation Officer did not raise objection to the proposal at pre-application stage, it was recommended that the required Heritage Statement assesses this matter in greater detail.



View 01

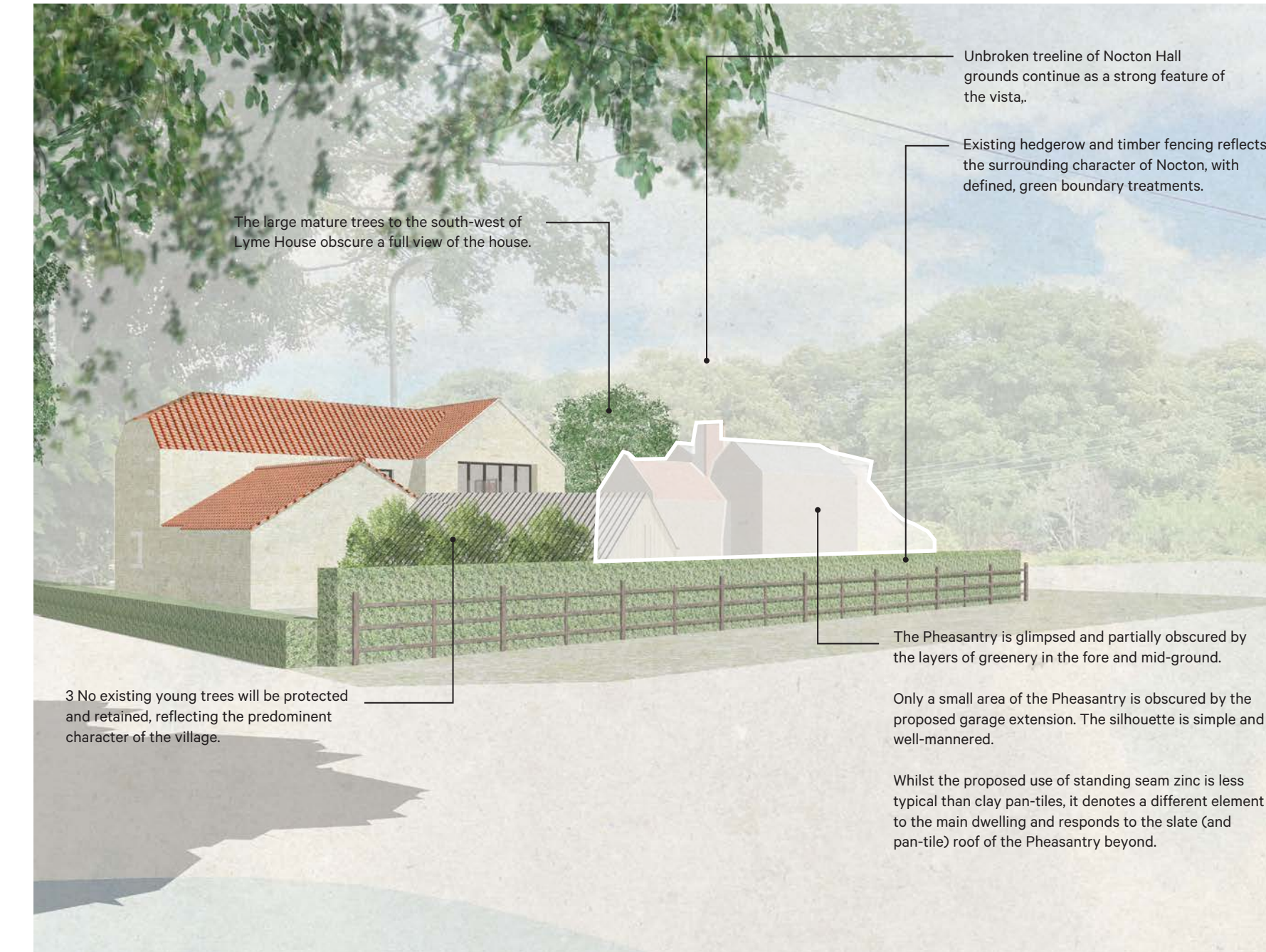
Existing view for comparison purposes.

6.0 Heritage Impact Assessment.

The deliberate composition of the proposals and resultant view from The Green have been key considerations of the proposals. Informed by careful study of the Conservation Area Appraisal, the design respects the character of steep roof pitches, varying roof lines and creates a layered vista, with trees, greenery and the mature backdrop Nocton Hall grounds being unaffected.

The proposals are respectful to the view towards the Pheasantry in the following ways;

- low slung pitched roof to keep below sight lines;
- partially submerged building to reduce overall height of new garage extension;
- subtle materials which complement and do not detract in the foreground;
- distinct separation between old and new assists in aesthetic of cluster of rural buildings which have evolved over time, much like the buildings within the setting;
- limited impact on the existing situation;
- mature greenery and boundaries are retained and enhanced through the protection and retention of 3 no. young trees.



View towards garage extension, link block and converted garage.

6.2 Proposed View 02 Impact Analysis

Overall the proposals respect and complement the surrounding context in materiality, massing and design. The design is clearly modern yet using subtle, natural materials, the extension will soften and weather to respect the surrounding stone, varying roof materials and mature trees.



Visual to compare the existing view to the proposed design and limited visual impact of the garage extension. This is one of two views which have been carefully assessed to ensure limited impact on the Grade II* Listed Pheasantry.

It is important to draw the distinction that this view is not particularly a 'designed view' which was specifically considered in the evolution of Nocton. Instead, this is a layered view from a particularly characterful position in the village, which allows a visual glimpse of this interesting and historic building.

The buildings massing, materiality and backdrop are all still visually obscured by the foreground, and the proposals have a minimal impact on affecting the appreciation of this. The building is at a 'middle distance' from this view point and the polite, well-mannered proposed extension does not distract from the vista. It remains a layered view with mature greenery obscuring pale stone walls and steeply pitched roofs. The scene remains very much in tune with the character of the Conservation Area.

6.0 Heritage Impact Assessment

6.3 Summary of Proposed Significance

This section of the report assess the heritage impact of these proposals in relation to designated heritage assets and in particular views of the Grade II* listed The Pheasantry from The Green, which is identified within the Nocton Consideration Area Appraisal.

1. Aesthetic value:

The Pheasantry remains as visible as is the case, with minor infringement from some angles due to the introduction of the low lying roof pitch of the proposals. However, the character of the view towards the Pheasantry such as trees, greenery, boundary treatments and presence of stone, pitched roofs and varied building masses, are retained.

The proposed resultant dwelling of Lyme House, builds on the character of the village and the design of the original house, with high quality materials and a quiet, respectful approach architecturally.

The proposals contributes to the character and appearance of the Nocton Conservation Area. There is a very limited impact on the view and context of the Pheasantry and **it's aesthetic values are therefore maintained by the development.**

The **aesthetic value in external presentation** of property, particularly in the scenic setting of the mature parkland, are also **maintained**.

2. Communal value:

The proposals are respectful to many of the characteristics found in Nocton, reflecting the nature of rural buildings which are extended over time, with a loose formality. All other aspects of boundaries, greenery, mature and younger trees are all retained.

The Pheasantry building remains only partially visible from The Green and limited change is affected by the proposals.

As such the **communal value is maintained** in the property as both an unusual architectural design and as a key reference point for the wider area.

3. Evidential and Historic value

There are no direct changes proposed to the dwelling itself which would affect it's use as a private dwelling or its listed status. As a result there is **no change to the evidential value** in the property.

4. Historical value:

There are no impacts or proposed alterations which affect the historic connotations of the heritage asset. The **historic value** in the Pheasantry property is maintained.

5. Scenic / Panoramic Value:

The view of the building is glimpsed through trees and the existing buildings which surround it, even though not at particularly close quarters. This design and access and heritage statement, have carefully considered and assessed the composition of the view towards to the Pheasantry from the Green.

There is acknowledgement of the proposals to preserve the view as best possible, by recessing the proposed garage into the ground, reducing the overall height of the roof and building in general.

The view towards the Pheasantry is already a 'glimpsed view' which is obscured and characterised by trees, varying ridge lines and building masses. It is not curated or particularly aligned with any features or historic road patterns. Today, the view presents a reminder of how Nocton has evolved over the past few hundred years. Nocton Hall and grounds have fallen into disrepair and this area of the village allows the historic remnants to be appreciated in the form of the mature trees and the Pheasantry as an idiosyncratic reminder.

This report assesses the limited impact of the proposed extension to Lyme House and concludes that whilst it makes a minor infringement to the view seen today, this is particularly limited. The view towards the house [Pheasantry] from the Green is composed of many factors including the trees, verges, boundary treatments and an oblique view of the rear south western corner of the Pheasantry. 3 No. gables and their roofs are visible, whilst the curving copings of the garden wall can be glimpsed to the rear of the house. This is better appreciated from the footpaths to the north and east of the Pheasantry, through the large mature trees.

The views expressed by the Conservation Officer at pre-app stage request that the impact of the existing view from the Green be carefully assessed, this report provides a detailed understanding of the views and how the proposals impact on the appreciation of the Pheasantry.

Whilst there is a minor impact on the visibility of the rear of the Pheasantry, it is not

of a primary elevation, nor is it at particularly close quarters. Many aspects of the vista relate to an acknowledgement of the building remaining in existence, in use and forming part of the collective character of the village; a visual marker to the past.

Whilst its importance is reflected by its Grade II* listed status, the respectful nature of these proposals and limited impact on the visual appreciation of the building, or the character of the view towards it, its **scenic / panoramic value** are therefore preserved.

6, 7. Landscape Scenic Setting and Aesthetic Value:

As with point 5, the value of the Pheasantry's landscape scenic setting are a collection of attributes, which are common with many of the characteristics of the Nocton Conservation Area.

Mature trees, green boundaries, layered views and consistent building materials add to the character and significance of the area. These aspects are all retained, preserved, and not proposed for alteration. This report and its assessments acknowledge many of these characteristics and seeks to explain the benefit good design can have in such settings.

This combined design, access and heritage statement makes numerous reference to the contribution greenery has on the overarching character of the village and specifically the setting of its many listed buildings. The Pheasantry is surrounded by mature trees and in particular the large and mature trees which are tall and dense in their arrangement.

The buildings [Pheasantry] **landscape setting and aesthetic value are retained** value in its contribution to the setting of the conservation area and character of the surrounding area.

6.0 Heritage Assessment

Summary

This report has suggested the value of the Pheasantry arises from its position in Nocton and its historic interest to the Nocton Hall grounds, the estate village and its architectural character.

The building's significance is mostly derived from its social significance, external facades and the manner in which it occupies a position in the estate which has fallen out of use. The Pheasantry therefore offers a glimpse, in more ways than one, of the past.

The view from The Green, towards the Pheasantry is not a designed view, instead is a glimpsed view with layers and numerous features which combine to form an attractive, typical 'village vista' which specifically captures Nocton's history and heritage. The proposals cause limited impact on the view towards the Pheasantry, but at the same time, maintain and preserve the character found in Nocton. In this sense, the proposed extension will be a positive contribution, albeit substantially screened by [existing] trees, hedgerows and other building, like many aspects of Nocton's character.

Whilst there is a minor impact on the view, it is felt that the proposed extension respects the character of Nocton, is itself a piece of considered design, respectful to the local vernacular and creates an attractive, resolved dwelling in Lyme House.

The aesthetic value of the Pheasantry is higher where the C17 facade can be appreciated from closer quarters and therefore the appreciation of this heritage asset is not affected unduly.

The works described in this application require no works to the grounds or The Pheasantry itself, and this assessment is therefore provided to assist in understanding the impact of the proposals of extending Lyme House.

		SIGNIFICANCE AS PROPOSED					
Asset Ref:	Description / significance	Exceptional significance	Considerable significance	Some significance	Limited significance	Unknown significance	No / negative significance
	The Pheasantry						
	Regional / National Historical Significance						
	Aesthetic Value						
	Scenic / Panoramic Significance						
	Evidential Value						
	Communal Value						
	Landscaped Setting						
	Scenic / Panoramic Significance						
	Aesthetic Value						

7.0 Summary



Attractive cluster of forms.

7.1 Rural Cluster

The proposals for Lyme House are designed to respect the existing dwelling design and extend in the manner of a series of relaxed additions to a rural barn or building. The resultant building reads as cluster of elements and simple additions to the host building.

The roof lines are respectful and the angle of the new garage building greets visitors as they arrive through the gates of the property.

The subservient nature of the garage ensures it does not detract from the main house, nor have a negative impact on the surrounding properties in terms of amenity, privacy or overbearing.

Materials, massing and architectural approach show a careful appreciation of the context, respectful and reflective of the character of Nocton.

7.2 Summary of Report

The scheme proposed in this report represents an the development of initial design proposal and careful, proactive engagement with the local authority for design engagement.

The scheme fully acknowledges its sensitive setting and seeks to preserve and enhance the setting of not only host property, but the various listed buildings within the wider setting, not least of which, The Pheasantry. This report analysis the setting, conservation area and the impact of the proposals.

By acknowledging the dwellings position within the Conservation Area of Nocton, the proposal mediates between the languages of the various dwelling typologies taking visual queues from its rural outlook to create an attractive architectural composition.

The reasons for wanting of the existing property are to enable the current owners to offer multi-generational living to elderly relatives, updating the property to modern standard of family living.

The overarching effect is to create a dwelling which feels balanced, composed and respectful to the villagescape. Materials, form and massing are all key factors in creating this and the adjacent visual gives an indication of how the proposed dwelling is viewed upon arrival into the garden, partially hidden by its location, obscured and framed by its hedge and tree lined backdrop.

The findings of the Heritage Impact Assessment conclude that the proposals do not detract from the vista towards The Pheasantry, as seen from The Green. The view, and how it illustrates the key constituent character of Nocton, are overwhelmingly retained, and therefore the impact on the heritage asset is deemed acceptable. The information, visuals and drawings contained in the application assist in demonstrating and supporting this conclusion.

The result, is a well composed dwelling of architectural merit, high quality materials and a legible dwelling which reflects the context of Nocton. The extension is sensitively designed to sit adjacent to the host dwelling, and respectful to the Nocton Conservation Area through maintaining the key characteristics of the village.

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