



ARBORICULTURAL IMPACT ASSESSMENT  
TREE PROTECTION PLAN &  
ARBORICULTURAL METHOD STATEMENT

Sorrento Road  
From Penhole Road To Trefrize Lane  
Coads Green  
Launceston  
PL15 7LY

Reference: EV-3867-E-TPP-AMS

Evolve Tree Consultancy  
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## 1 INSTRUCTION

1.1 We have previously provided the following reports to address Condition 6 as reproduced below.

1. Tree Survey.
2. Arboricultural Constraints Analysis and Tree Constraints Plan.
3. Arboricultural Impact Assessment and Tree Protection Plan.

1.2 Following the granting of consent for the proposals I have been instructed to complete a report to satisfy Condition 7 of PA/22/02709 stating:

7 Prior to the commencement of any works to the southern boundary or any works

to form the access arrangement, including provision of visibility splays as approved on the Proposed Site Plan drawing ref. 22-0209/SP1 received 17 March 2022 (including any facilitative vegetation clearance, tree works, demolition or construction in this area of the site), an arboricultural method statement including details of all tree protection monitoring and site supervision by a suitably qualified tree specialist e.g. arboricultural professional with the minimum of a level 4 qualification (as recognised by the Qualifications and Credit Framework) shall be submitted to and approved in writing by the Local Planning Authority. The development thereafter shall be implemented in strict accordance with the approved details.

Reason: In the interest of ensuring that the trees to be retained will not be damaged during demolition, construction and landscaping operations, and to protect and enhance the appearance and character of the site and locality, and to achieve a safe and suitable access and in accordance with the aims and intentions of Policies 2, 23 and 27 of the Cornwall Local Plan Strategic Policies: 2010 - 2030.

Informative:

The level of detail to be submitted shall be commensurate to the scale and impact of the approved development. The preparation and delivery of such detail should be informed by BS: 5837:2012 Trees in relation to design, demolition and construction - Recommendations. The detail submitted shall address (not exclusively):

- the contact details of all relevant parties
- the qualifications of the appointed tree specialist
- a pre-commencement site meeting (to be attended by the developers appointed arboricultural consultant, the main contractor's site manager/foreman)
- the specific issues and areas to be monitored, or that require supervision
- the methods of recording supervision and monitoring (to include photographic records)

- the timing of supervision (in relation to key stages of development) and the intervals between site monitoring visits
  - the provision of records to the planning authority
  - and a representative from the Local Planning Authority (LPA).
- The preparation and delivery of such detail should be informed by BS: 5837: 2012 Trees in relation to design, demolition and construction - Recommendations.

- 1.3 Clifton Contracting Ltd instructed Evolve Tree Consultancy to provide responses.
- 1.4 The property has now been sold and Mr Sean Parker who has instructed me to amend the report to reflect the new layout. This is shown at Evolve TC 3867-C-AIA-03-23.

## 2 SUPPORTING DOCUMENTATION

- 2.1 Relevant documents provided to me include:
- Topographical Survey prepared by ACE Surveys Ltd, drawing number AC2101/S01, dated 16 January 2021.
  - Proposed Site Plan prepared by Adams Planning & Project Services Ltd, drawing number 21-0929/SP1.
- 2.2 This report should be read alongside Evolve drawing:
- Tree Constraints Plan EV-3867-TCP.
  - Tree Protection Plan EV-3867-D-TPP.

## 3 STATUTORY PROTECTION & OTHER CONTROLS

- 3.1 I have used information supplied by Cornwall County Council Interactive map. If any tree is identified for removal, confirmation should be sought from the local planning authority (LPA) in writing about the protected status.
- 3.2 Tree Preservation Orders: None of the trees on or adjacent to the site are currently protected by a Tree Preservation Order (TPO) and the site is not within a Conservation Area.



- 5.5 The fencing to the west of the proposed construction will comprise the finished boundary, close board fence. The remainder will be installed in accordance with that shown at Appendix B.
- 5.6 The tree protection will be afforded by the construction of a new hedge bank, as conditioned, along the limit of the visibility splay where it extends along the site frontage past the oak trees T11, T12 and T13. The splay will require the removal of the existing hedge bank but none of the trees are on this bank.
- 5.7 The hedge removal will take place using machinery situated on the southern side of the hedge only. No machinery will enter the areas identified as the Construction Exclusion Zone (CEZ) at ANY time.
- 5.8 I have specified the use of ground protection to allow for the construction of the dwelling. This will be removed only once all construction activity for this plot has been completed.
- 5.9 **Condition 7.** We will organise site visits to ensure the above methodology is implemented in accordance with wording of Condition 7. We will submit a report providing the following information:
1. Responsible parties.
  2. Dates of site visits.
  3. Record of observations (Including photographs where appropriate).
  4. Issues requiring improvement.
  5. Recommendations for improvement.
  6. Confirmation of improvements.
  7. Statement on completion.
- 5.10 This report will be submitted to Clifton Contracting for submission to the local planning authority.



Tim Scott-Ellis BSc Hons (For), Dip Arb (RFS), F Arbor A, MICFor, MRICS  
Evolve Tree Consultancy

I am a Fellow of the Arboricultural Association, a Chartered Arboriculturist and a Chartered Surveyor. I hold an honours degree in Forestry and the Royal Forestry Society Professional Diploma in Arboriculture. I have been working as a full-time, professional arboriculturist since 1999.



The authority of this report ceases when any site conditions change or pruning or other works unspecified in the report are carried out to, or affecting, the subject tree(s). The statements made in this report do not consider the effects of extremes of climate, vandalism, or accident, whether physical, chemical or fire. Evolve Tree Consultancy cannot accept any liability about these factors, nowhere prescribed work is not carried out in a correct and professional manner in accordance with current good practice.

The recommendations within this report remain valid for the period stated for re-inspection or twelve months from the date of survey.

The limit of Evolve Tree Consultancy's indemnity over any matter arising out of this report extends only to the instructing client; Evolve Tree Consultancy cannot be held liable for any third-party claim that arises following or out of this report. This report remains the intellectual property of Evolve Tree Consultancy.

## APPENDIX A Tree Protection Barriers

No equipment, machinery or materials shall be brought onto the site for the purposes of the development until fencing has been erected in accordance with the plans and particulars which shall have been previously approved by the local planning authority in writing.

The areas forming the Construction Exclusion Zone are to be protected by Tree Protection Barriers as per the recommendations in BS 5837:2012 (Figure 2) or as specified below at Appendix H.

This fencing is to be erected before any work commences on site and is to remain in place undamaged for the duration of all work or each phase. It will only to be removed once all work is completed and if required by planning condition, with the formal consent of the local planning authority.

If the fencing be broken or removed during the course of carrying out the development, it shall be promptly repaired or replaced to the satisfaction of the local planning authority.

Within any area fenced in accordance with this condition, nothing shall be stored, placed, or disposed of on the above or below ground, the ground level shall not be altered, no excavations shall be made, nor shall any fires be lit, without the prior written consent of the local planning authority.

Other than works detailed within this method statement or approved in writing by the local planning authority, no works at all (including storage or dumping of materials) shall take place within the exclusion zones defined by the protective fencing.

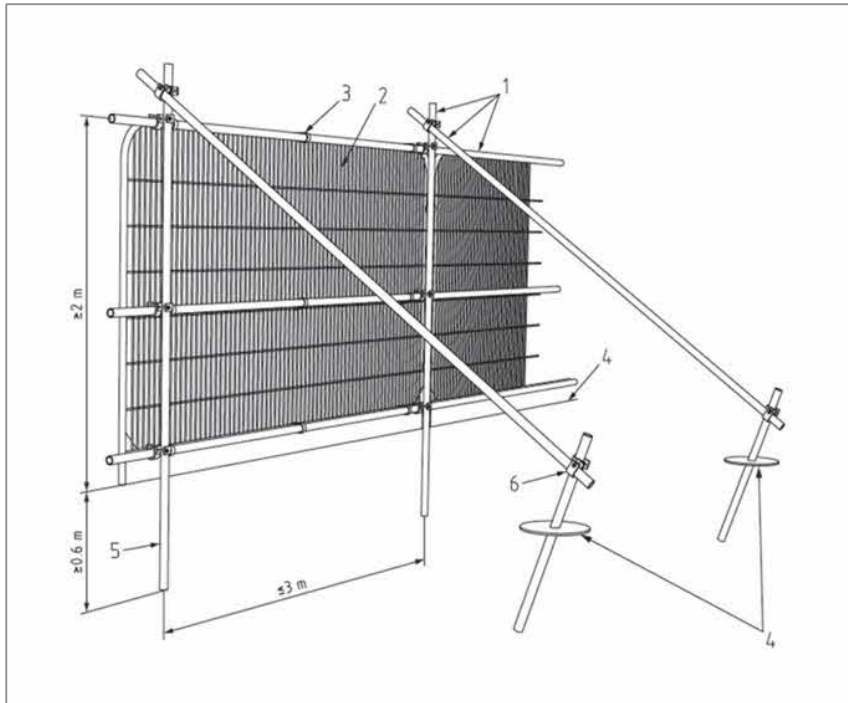
The fencing is to carry waterproof warning notices denying access within the RPA. The following signs or similar will be attached to the fence panels.



## APPENDIX B

### Specification for Tree Protection Barriers

Below is the fencing specification reproduced from BS 5837:2012 Trees in relation to design, demolition, and construction – Recommendations.



#### Key

- 1 Standard scaffold poles.
- 2 Heavy gauge 2 m tall, galvanized tube and welded mesh infill panels.
- 3 Panels secured to uprights and cross-members with wire ties.
- 4 Ground level.
- 5 Uprights driven into the ground until secure (minimum depth 0.6 m).
- 6 Standard scaffold clamps.






## APPENDIX C

### Tree Protection Site Notice

Arboricultural Site Considerations – To be displayed in a prominent place.

|                                                                                                                                                                                                                                                    |                                                                                                                                       |
|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|---------------------------------------------------------------------------------------------------------------------------------------|
| <p>Tree Protective Barriers must be regarded as sacrosanct and must not be removed or altered without prior consultation with either the Local Planning Authority (LPA) or the arboricultural consultant responsible for the site supervision.</p> |                                                                                                                                       |
| <p>Ground protection must not be lifted or removed without prior consultation with either the LPA or the arboricultural consultant responsible for the site supervision.</p>                                                                       |                                                                                                                                       |
| <p>Damage caused to protective fencing or ground protection must be reported to the site supervisor immediately to ensure efficient repair.</p>                                                                                                    |                                                                                                                                       |
| <p>No materials, chemicals, machinery, or vehicles must be stored within the Construction Exclusion Zone as defined on the Tree Protection Plan (TPP) and identified on site by fencing and above ground root protection.</p>                      |                                                                                                                                       |
| <p>No materials must be rested against a tree's trunk or machinery chained to it.</p>                                                                                                                                                              |                                                                                                                                       |
| <p>No pruning of trees may be undertaken by anyone other than an arborist, and all work must be approved by the supervising arboricultural consultant.</p>                                                                                         |                                                                                                                                       |
| <p>Any physical damage caused to a tree retained on site must be reported to the site manager so remedial work can be undertaken without delay.</p>                                                                                                |                                                                                                                                       |
| <p>Builder's sand, which contains salt, must not be used to back fill excavation within or in close proximity to tree roots, as this can have a toxic affect. Sharp sand can be used instead.</p>                                                  |                                                                                                                                       |
| <p>Material that will contaminate the soil, e.g. concrete mixings, diesel oil and vehicle washings, must not be discharged within 10 metres of a tree stem.</p>                                                                                    |                                                                                                                                       |
| <p>Fires must not be lit in a position where their flames can extend to within 5 m of foliage, branches, or trunk. This will depend on the size of the fire and wind direction.</p>                                                                |                                                                                                                                       |
| <p>Notice boards, telephone cables or other services must not be attached to any part of a tree.</p>                                                                                                                                               |                                                                                                                                       |
|                                                                                                                                                                 | <p>Evolve Tree Consultancy<br/>8 Duke Street<br/>Truro<br/>Cornwall<br/>TR1 2QE</p> <p>01872 276099<br/>office@evolvetreets.co.uk</p> |

## APPENDIX D- GROUND PROTECTION MEASURES