

Combined Design and Access & Heritage Statement

Erection of Oak Framed Orangery to rear of existing dwelling at Elm
Cottage, Ridge Lane, Hook, RG27 9AS

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Introduction

This Design and Access & Heritage Statement has been prepared by Montpelier Joinery to accompany a Planning Application for an Oak Framed Orangery at Elm Cottage, Ridge Lane, Hook.

This statement should be read in conjunction with the drawings enclosed with the accompanying applications, including:

- Completed Red Lined Location Plan at 1:1250 (drg. 87983/01);
- Completed Existing Block Plan at 1:500 (drg. 87983/02);
- Completed Proposed Block Plan at 1:500 (drg. 87983/03);
- Completed Existing Floor Plan and Elevations at 1:100 (drg. 87983/04);
- Completed Existing Roof Plan at 1:100 (drg. 87983/05);
- Completed Proposed Floor Plan and Elevations at 1:100 (drg. 87983/06);
- Completed Proposed Roof Plan at 1:100 (drg. 87983/07)

Montpelier Joinery will be designing and constructing the proposed Orangery on behalf of the applicant. Montpelier are one of the country's leading specialists in the design and construction of oak framed buildings for all kinds of uses, utilising traditional mortise and tenon pegged joint carpentry techniques.

Conservation Status



The proposal is located within the Newnham Conservation Area as set out by Basingstoke and Deane Council. The precise location of the proposal in the context of the area can be seen in the diagram provided, with Elm Cottage outlined in red.

Of particular note in the Conservation Appraisal is the building materials section that states; *“Most of the buildings in the Newnham Conservation Area are constructed in brickwork, and rendered white. On some of the older properties, dating from the 17th and 18th centuries, timber framing is visible, with brick nogged infill panels in places. Roofs are generally covered with clay tiles, and many are hipped or half hipped, although slate is used in a few cases. Windows are generally timber casements and, although few original windows remain, the replacement windows are mostly sympathetic to the character of the Conservation Area. The majority of the outbuildings and agricultural buildings are clad with weatherboarding.”*

As will be outlined further through this report, it is a reasonable statement to make that the proposal is certainly in-keeping with the broad design features that are identifiable within the conservation area.

Historic Status

Elm Cottage is a Grade II listed building that first received its listed status in October 1984. The full listing description as per Historic England; *“C17, and modern. One storey and attic. Tile roof, with outshots at each end, 2 front and one rear dormers with hipped roofing. Exposed timber frame at rear with painted brick infill; the upper front wall has an exposed frame with red brick infill and other walling. Casements. Plain door.”* The Conservation appraisal already referenced in this report also has a small section of information about Elm Cottage. It states; *“Elm Cottage is part of an important group of historic properties bordering the village green.*

Dating from the 18th century with modern alterations, this one storey and attic cottage is of red brick, with a tiled roof. Some earlier features of the listed building include the side and rear elevations which have exposed timber framing with painted brick infill panels."

Newnham

Newnham is a village and parish in Hampshire, England. It is centred 4 miles (6.4 km) east of Basingstoke, and 1 mile (1.6 km) west of Hook. At the 2011 census it had a population of 518. A large portion of its land is arable, cultivated fields and scattered woodland leading towards the Basingstoke Canal and part of the Eversley/Stratfield Saye/Tylney Park slightly scattered, ancient forest/woodland. These features skirt the north and south of the area, whereas more urban areas skirt the east and, after Old Basing, the west.

The Proposal

The proposal put forward seeks planning permission for the erection of an Oak Framed Orangery to the rear of Elm Cottage.

Use

The intended use of the proposal is wholly domestic. It will allow the residents of Elm Cottage to have a modest, but worthwhile extension to their living arrangements.

Amount

The proposal is for a 3.87 x 4.65 orangery to be erected to the rear of Elm Cottage along the South East facing elevation. Elm Cottage has a unique design in the sense it has two outshots from the main building. The effect of this is the creation of a Courtyard style design with two adjacent building extensions. The proposal is to be connected to the right-side extension when looking back to the main house. This can be seen in the image provided below. The Orangery has been designed to be no larger than necessary for its intended function of a suitable extension to the rear of Elm Cottage. The building would be single storey with no room for expansion.



Layout

As outlined in the 'amount' section of the report, the proposal is to be located along the South-East facing elevation of the existing property. Due to the existing dwellings layout the placement of the proposal will not be readily visible from outside of the property whatsoever.

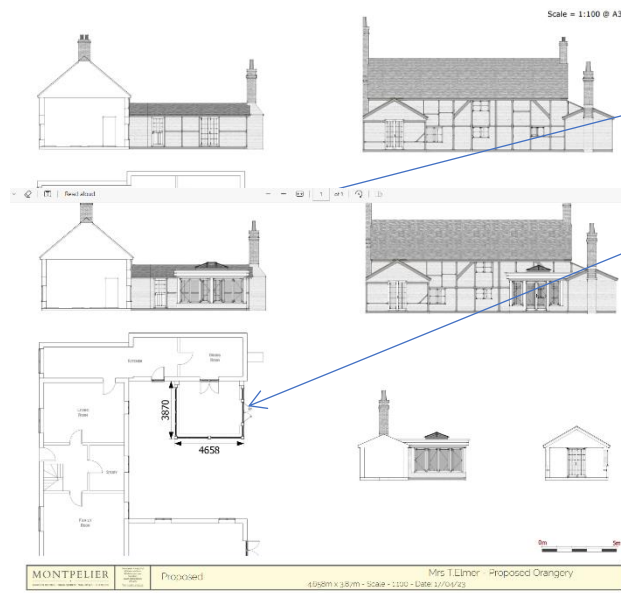
The location of the proposal can be identified in the image provided with the proposal highlighted in Blue.



Access

Access to the site will remain as it currently is. There are no material changes to be made that will have an impact on access to the existing dwelling. An existing door from the Dining Room which currently opens up to the garden, will now open up into the Orangery building. A

before and after can be seen in the two images provided, however larger copies are attached to the Planning Application.



Current access into the Garden area from the dining room along SE facing Elevation.

Proposed modification to access, now through Orangery.

Scale

As described in the 'amount' section of this statement, the proposed Orangery will be a single storey building, at a size where it is to be subservient to the existing dwelling. The materials that are to be used are also of a lightweight perception, and also matching of the listed building setting it finds itself attached too. As such, the proposal will not be seen as out of place and

there will be no negative impact on the visual mass of the dwelling.

Appearance

The proposed Orangery would feature a high-quality Oak Frame structure constructed from traditional but sustainable materials which offer a long lifespan. It would be erected by traditional construction methods including braced pegged joints and exposed rafter feet.

The Oak Frame is to be painted white, to match that of the existing dwelling. This will help it appear to be weathered-in to its surroundings. The design and use of materials would help the new Orangery assimilate with its location. In terms of appearance, therefore, the proposal would not unduly harm the wider character of the area and as such would be in line with the general aims of the NPPF.

Landscape

No trees, hedges or visually significant areas of landscaping would be removed as a result of the proposal. The character of the surrounding and wider area would not be unduly harmed as a result of the proposed development. As such, the proposal accords with the general aims of the NPPF.

Sustainable Development

The proposed Orangery would be a sustainable form of development constructed of oak sourced from well managed sustainable and renewable forests.

Furthermore, the traditional pegged joint carpentry methods to be employed in the building's construction rely less on the use of modern power tools and would allow the structure to be more easily dismantled and the materials reused elsewhere if required in comparison to more conventional modern types of construction. The proposed construction method in itself is therefore highly sustainable.

Surface water drainage would employ sustainable methods, including the installation of water butts for capturing and recycling rainwater where necessary.

Conclusion

This combined Design & Access and Heritage statement has set out to outline, and justify, a proposal for a modest orangery extension to the rear of Elm Cottage, a Grade II listed building in the Hampshire village of Newnham.

The proposal is for a 3.87 x 4.65 orangery, comprised of an Oak Frame with paint work to match the existing property. Any proposal that is to alter the physical fabric of a listed building has to be done so while showing great care to the existing building. The white paint finish will allow the orangery to be totally subservient to the existing dwelling and as such the impact on the listed building is minimal.

Due to its location in relation to the existing dwelling, there is to be no visual impact on the appearance of the property from on-looking pedestrian areas, moreover, there is to be no impact on any landscape features, nor access to the property. The courtyard style built up area will ensure that the proposal is totally secluded from outside of the dwelling.

The NPPF states that examples of sustainable development should be viewed favourably. Through the construction techniques applied, the materials to be used, and the impact on the longevity of the host dwelling, it is respectfully suggested that this proposal is a clear example of sustainable development and should be viewed accordingly.