

TELEPHONE: 01488 73131
FAX: 01488 73207
E-MAIL:
mwarchitects@btconnect.com
WEB:
www.mw-architects.co.uk

The Old Surgery, Crowle Road
Lambourn, Berkshire RG17 8NR

MATHEWSON WATERS ARCHITECTS



Proposed replacement dwelling at:

The Cottage, Stratton Manor, Browninghill, Baughurst, Tadley RG26 5JZ

Design & access statement:



View of the existing dwelling at Stratton Manor, looking West

1. Introduction:

1.1. This statement is prepared as supporting information for a full planning application to replace the existing cottage with a traditional design which would enhance the setting of Stratton Manor and the surrounding area. The proposal also seeks a change of a planning condition that was attached to the original consent to convert the building to staff accommodation under application reference BDB/16238. There is a current planning application, (ref: 22/02293/FUL) for extensions and alterations to the existing dwelling and for the variation of an historical planning condition relating to an occupancy

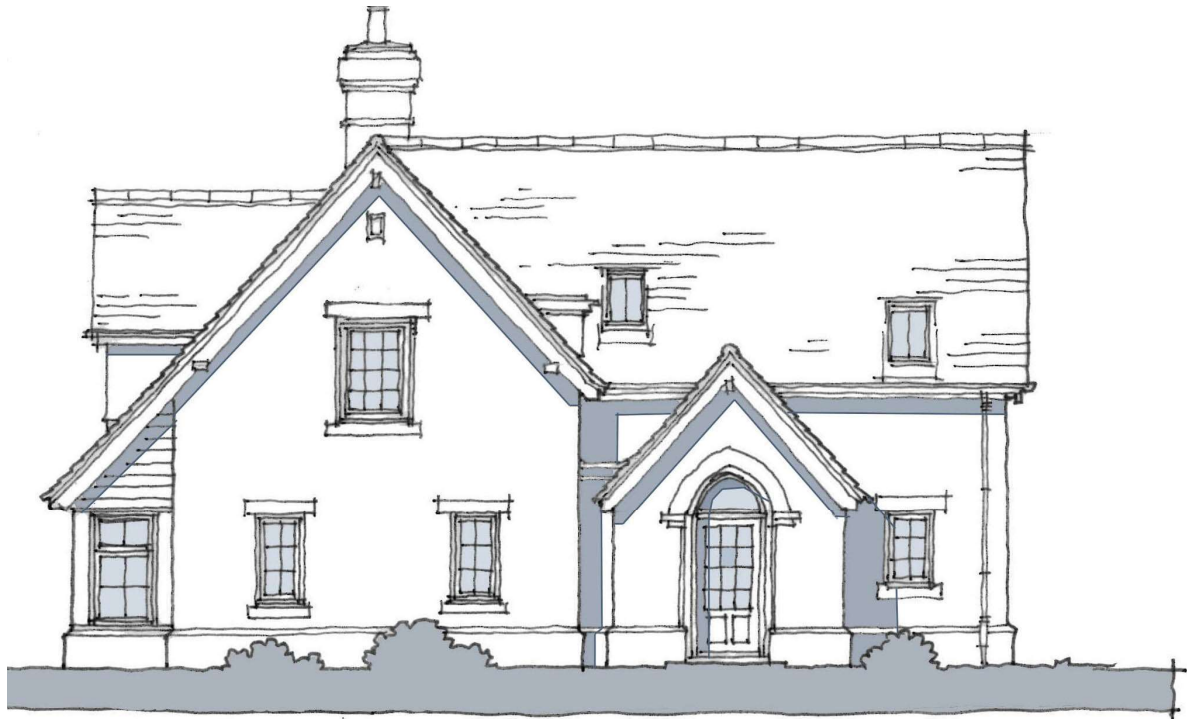
restricted to staff members. That application is awaiting the outcome of bat emergence and re-entry surveys which will be undertaken post-April 2023 before the application can be determined.

1.2. The application is submitted on behalf of the applicant, Mr & Mrs Champion.

2. The application proposal:

2.1. The application proposes the replacement of the existing dwelling with a design that is of significantly higher quality in terms of design, detailing and energy-efficiency.

The principal elevation of the proposed dwelling is included below.



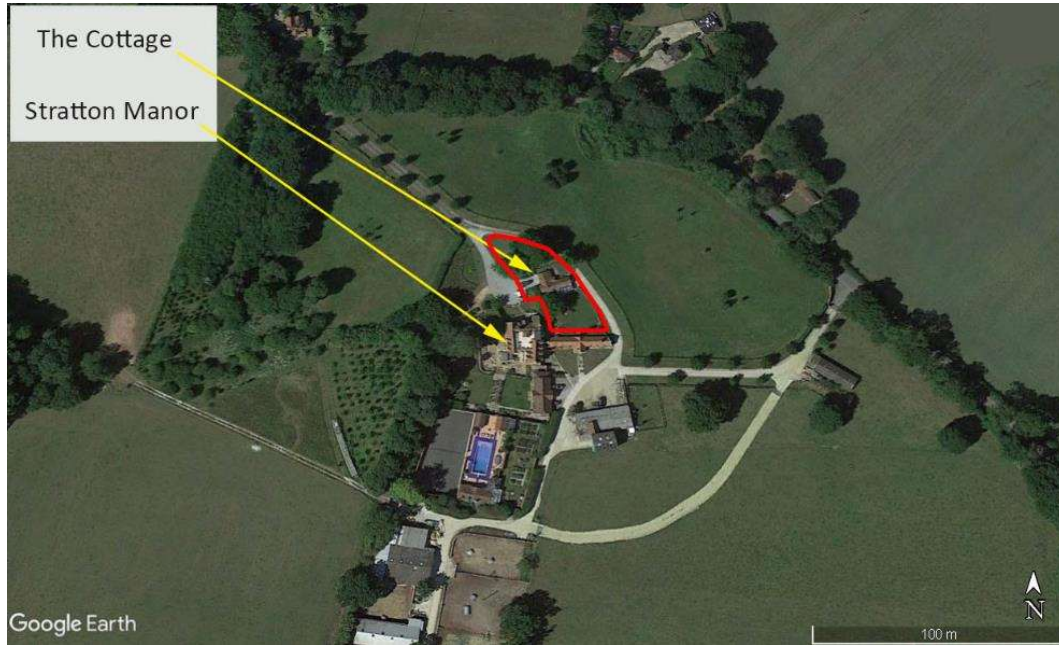
East elevation

2.2. The proposal also seeks to make redundant an historical planning condition that was attached to the original consent to convert the building to staff accommodation under application reference BDB/16238. The condition in question restricted the use of the accommodation to staff members associated with the main house and grounds. The applicant needs to use the dwelling for members of their family but accepts that the cottage would remain ancillary to the main house.

3. The application dwelling and its context:

3.1. The application site is an area of 0.14 Ha, within the curtilage of Stratton Manor. The actual application site is shown indicated by a red line in the aerial view included below.

Views of the existing dwelling which would be replaced are included following the aerial view.



Aerial view of The Cottage, (curtilage shown as a red line), showing its Relationship with Stratton Manor. Google Earth



View of the existing Cottage looking North



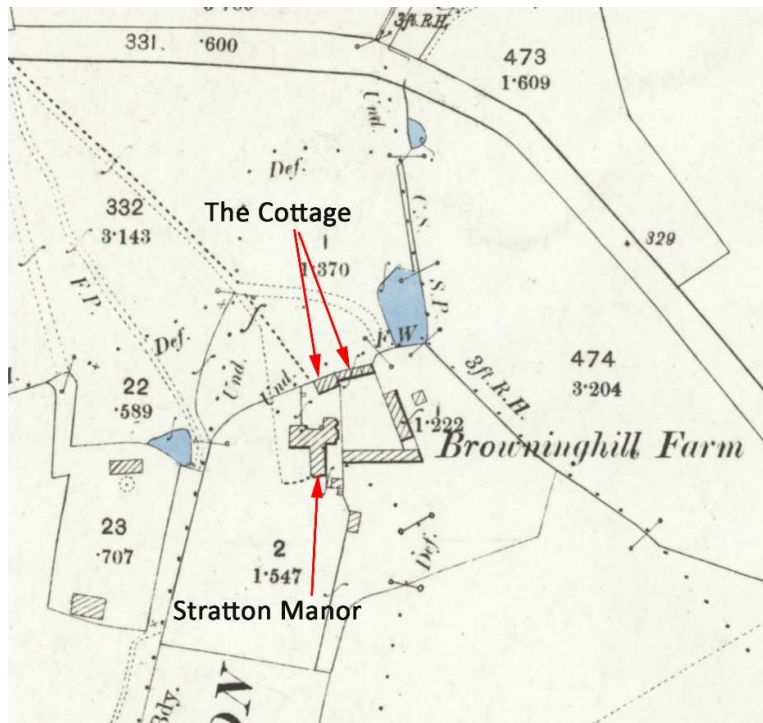
View of the existing Cottage at Stratton Manor, looking East



View of the main house at Stratton Manor, as seen from the south of the existing Cottage, illustrating the significant scale and massing of the main house in relation to the cottage. The design of the proposed replacement cottage ensures that it would remain subservient to the main house.

3.2 The historical context of the application site is illustrated in the following historical OS extract plan from 1892 and the accompanying photograph. These show that a tall, (one-and-a-half storey) brick and tile building occupied part of the application site, encroaching across part of the frontage of the manor. This formed part of the current cottage building but was altered at some point in the past 90 years. We estimate that its ridge height is approximately 7.0m.

3.3 The proposed replacement cottage would result in a ridge height of 7.7m. This is a little higher than the historical ridge height but does not impact on views towards the principal elevation of the Manor to the same extent that the historical part of the building did before it was altered.



Extract from the 1892-1914 OS 25-inch plan. This illustrates the application site and the fact that it had a large element at its western end, which encroached in front of Stratton Manor, which was then known as Browninghill Farm. This element formed part of the existing cottage building. We estimate that its ridge height was approximately 7.0m.



Photo of Stratton Manor, possibly taken about 90 years ago. This shows the half-hipped end of the building on the application site as it appeared at that time. The ridge height of this original part of the building is estimated to be approx. 7.0m.

4. Planning policy and Guidance

- 4.1 The most relevant guidance for this application proposal is contained within the Basingstoke & Deane Design & Sustainability; Supplementary Planning Document, (July 2018). This sets out certain criteria that are used when assessing the appropriateness of an application proposal.
- 4.2 The stated criteria have been understood and are reflected in the following key considerations: *(Note - I have added text in red after each point to explain the proposed design response to these criteria.)*

Design and impact on the character of the area - Building form:

- The design and style of the proposed building should generally respect the design and style of existing buildings within the setting of the application site. **This has been closely followed in the application design through the use of traditional local materials, (brick and clay tile) and traditional roof pitches and structural spans.**

- The basic shape of the proposed building should be subservient and generally respectful of key existing buildings on or adjacent to the application site...(i.e. Stratton Manor

In terms of appearance, massing, form and structural span, the application proposal is appropriate as it creates an attractive dwelling which is clearly subservient and respectful of Stratton Manor.

- Buildings which are overly large in terms of bulk, size and/or scale and are disproportionate in relation to the site's context are unlikely to constitute acceptable design.

As explained previously, the proportions, structural span and general traditional form have been respected in the application proposal. The resulting Cottage will be modest in height and massing and will exhibit an appropriately traditional appearance and character which is consistent with the local traditional domestic architecture.

We are therefore confident that the application proposal is in accordance with the criteria and aims of this particular guidance.

5. The National Design Guide 2019

5.1. The *National Design Guide* sets out Planning practice guidance for creating....” *beautiful, enduring and successful places*”. It states the following:

The National Planning Policy Framework makes clear that creating high quality buildings and places is fundamental to what the planning and development process should achieve. This design guide, the National Design Guide, illustrates how well-designed places that are beautiful, enduring and successful can be achieved in practice. It forms part of the Government’s collection of planning practice guidance and should be read alongside the separate planning practice guidance on design process and tools.

The National Design Guide sets out ten characteristics which are based on the objectives for design set out in Chapter 12 of the National Planning Policy Framework: *Achieving well-designed places*. The guide is more relevant to new development rather than to domestic extensions, however it is important to state that of the ten characteristics within the guide, the following do have relevance and are respected as part of the creation of the application proposal:

Context: The application proposal should enhance its surroundings; This is demonstrated by the careful, traditional form of the proposed design and its use of materials that are typical of the local context.

Identity: The application proposal should be attractive and distinctive; As described above, the design respect the local and traditional cottage styles of the immediate area.

Homes and Buildings: The application proposal should create functional, healthy and sustainable accommodation which will promote the well-being of the occupiers. This is particularly important for the applicant's family who have young children.

Resources: The application proposal should be efficient and resilient, in that the construction will meet the current building regulations. It will also be more energy-efficient than the existing dwelling and would therefore be more sustainable.

Lifespan: The application proposal should result in a building that is made to last. This can be ensured by using high-quality materials, traditional details and robust methods, which will promote a long lifespan for the building.

6. Design information:

6.1. *Amount of development*

The gross-internal floor area of the existing dwelling is 109m².

Under the current application,(ref: 22/02293/FUL) the gross internal floor area of the proposed extended dwelling would be 167m².

This application for a replacement cottage would result in a dwelling with a gross-internal floor area of 237m².

6.2. *Scale*

The heights to eaves and ridge of the existing dwelling are: 2.1m and 4.1m respectively.

The heights to eaves and ridge of the extended dwelling in the current application, (ref: 22/02293/FUL) are: (eaves) 2.1m to 3.0m and 3.7m; and (ridge) at 4.1m, 5.7m and 6.7m. This should be considered in the historical context of the original, (higher) building described earlier in this statement.

The heights to eaves and ridge of the proposed replacement cottage in this new application are: 2-3-4.0m and 7.7m respectively.

6.3. **Layout**

The layout of the proposed replacement dwelling is illustrated on the submitted floor plans.

6.4. **Facing materials**

Facing materials are traditional and relate to the application dwelling and other modest cottages within the area.

A warm orange-red multi stock brick would be used for the walls, along with some small areas of vertical plain clay tile-hanging as illustrated. Brown plain clay roof tiles would be used as the roof covering and there would be simple, understated but traditional brick details for the chimney.

Soffits and fascias would be painted wood, with black heritage-pattern half-round and round downpipes and gutters.

External window and door joinery would be traditional flush-casement types.

6.5. **Amenity**

The proposed replacement dwelling would retain the existing area of garden as amenity space for the family to enjoy.

6.6. **Landscaping**

Hard & soft landscaping would be generally as existing but with this being adapted to reflect the uses of the various spaces within the replacement dwelling and their relationship with the surrounding garden and parking.

6.7. **Access**

The existing vehicular access into the site will not be affected by the application proposal.

6.8. **Sustainable design**

The construction will exceed the current building regulations and will therefore be

resilient and efficient. It is intended to incorporate materials, construction methods and details that would minimise energy usage and to promote sustainability.

7. Conclusion:

- 7.1. The application proposal is a carefully and sensitively designed proposal to enable the applicant and their family to live as a multi-generational 'unit' and to adapt to the changing needs of a growing family. The replacing of the existing cottage with a new dwelling provides an opportunity to introduce a cottage which has full design integrity rather than as an adapted version of a much-altered earlier building.
- 7.2. The application design drawings demonstrate that the proposal would be a high quality design with traditional materials and architectural forms, and which would present an attractive, modest family home into the existing domestic context. The replacement dwelling would also have a significantly greater thermal efficiency, (and therefore sustainability) than either the existing cottage or its extended and altered version currently being considered.
- 7.3. The historical context has demonstrated that an earlier, taller built element existed on part of the cottage site, (joined to the original cottage) which provides a justification for a dwelling with bedrooms at first floor and partly within the roof volume.

Howard Waters RIBA

BA; B.Arch; MSc (Conservation of Historic Buildings)

12th April 2023