



Roberts Limbrick

Sixth Form Expansion, Burford School

Design & Access Statement



Client: Burford School

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01 Introduction

- 1.1 Purpose
- 1.2 Scheme Background
- 1.3 Description
- 1.4 The Project Brief
- 1.5 The Project Team
- 1.6 Site Location

1.1 Purpose

This Design and Access Statement has been prepared in support of the planning application to deliver the proposed works. The statement describes the proposed site, assesses the context and immediate setting and subsequently explains the design in response to these contextual issues. The design layout, massing and material approach has also been set out in this document.

All drawings in this report are for illustrative purposes only. The drawings which constitute the application have been submitted separately and should be referred to in all matters of record.

1.2 Scheme Background

Roberts Limbrick produced a Premises Development Plan (PDP) on the behalf of the School in 2020.

As a part of the PDP a gap analysis was carried out to look at shortfalls in the School's accommodation compared to BB103. A number of areas were identified to target for improving the School's provision including the Sixth Form Centre and the Library.

The Library (Phase 1) was completed at the end of 2022, and includes the conversion of the West Dining Room and Room 8 to the new library, along with SF6 in the sixth form area becoming the new IT room to replace room 8.

This planning application relates to the second phase of work.

1.3 Description

Phase 2 will look at how the existing library (soon to be vacant) and the existing sixth form spaces can be reconfigured to a sixth form centre providing high quality social and study spaces.

1.4 The Project Brief

We have identified the following aims and considerations for the project:

- Provide an exemplar sixth form centre which attracts students to the school and which lower school aspire to be in.
- Provide a cohesive sixth form centre where study and social spaces feel connected
- As part of the existing whole school dining provision has been utilised in phase 1 to increase the space available for the library, there should be consideration given to where some space can be reclaimed for dining in Phase 2, both for the whole school and sixth form.

Functional Requirements

The key functional requirements for this project, as agreed with the client, were as follows:

- Make use of school's existing building stock
- Provide an internal link between the existing buildings considering the level change to create a sixth form centre which feels connected
- Provide adequate study and social space for the sixth form with associated staff spaces
- Provide a sixth form cafe and dining space
- Look to alleviate pressures on the whole school dining

Amount

The accommodation to be achieved within the building were as follows:

- Cafe
- Servery
- Prep
- Storage
- Common room
- Reading room
- IT Room
- Group study space
- Toilets
- Staff offices

1.5 The Project Team

The key members of the Project Team were as follows:

- Client: Burford School
- Project Manager / QS: AFA
- Architect: Roberts Limbrick Ltd.
- Structural & Civil Engineers: Simpson Associates
- Mechanical & Electrical Engineers: Hewer FM

1.6 Site Location

The site address is:

Burford School
Cheltenham Road
Burford
Oxfordshire
OX18 4PL

The school can be found off the Cheltenham-Burford Road (A40).



Site Location Plan

02 Site Analysis

2.1 Site Context

2.2 Site Character

2.3 Site Photographs

2.4 Site Diagram

2.1 Site Context

The site is located within the main school site, to the south-east. It is not visible from the A40 or the A361.

To the east of the site is the school sports hall and sixth form garden; these sit adjacent to the school boundary, beside the Wysdom Touring park.

To the south of the site is the DT block. To the east of the site is the quad, and the existing dining block, and to the north of the site are the school playing fields. Residential properties back onto the playing field, so this is the most sensitive boundary.

The Built Environment

The buildings surrounding the site are all school buildings; they are all single storey with the majority having flat roofs, apart from the sports hall which is significantly higher and has a pitched roof.

Masterplanning

The school previously put together a premises development masterplan which identified improving the sixth form as a goal. The most recent work at the school has left the existing library block vacant, which is located adjacent to the existing sixth form block .

Access to the Site

The site is accessible via pedestrian paths. There is a vehicular access into the main school site to the south of the proposed site.

Listed Buildings & Conservation

There are no listed buildings nearby and the site is not in a conservation area.

Flood Map

The site is not in a flood zone.

Public Utilities

An services trace has been carried out to show the location of drains and underground services and no issues have arisen.

Key Views

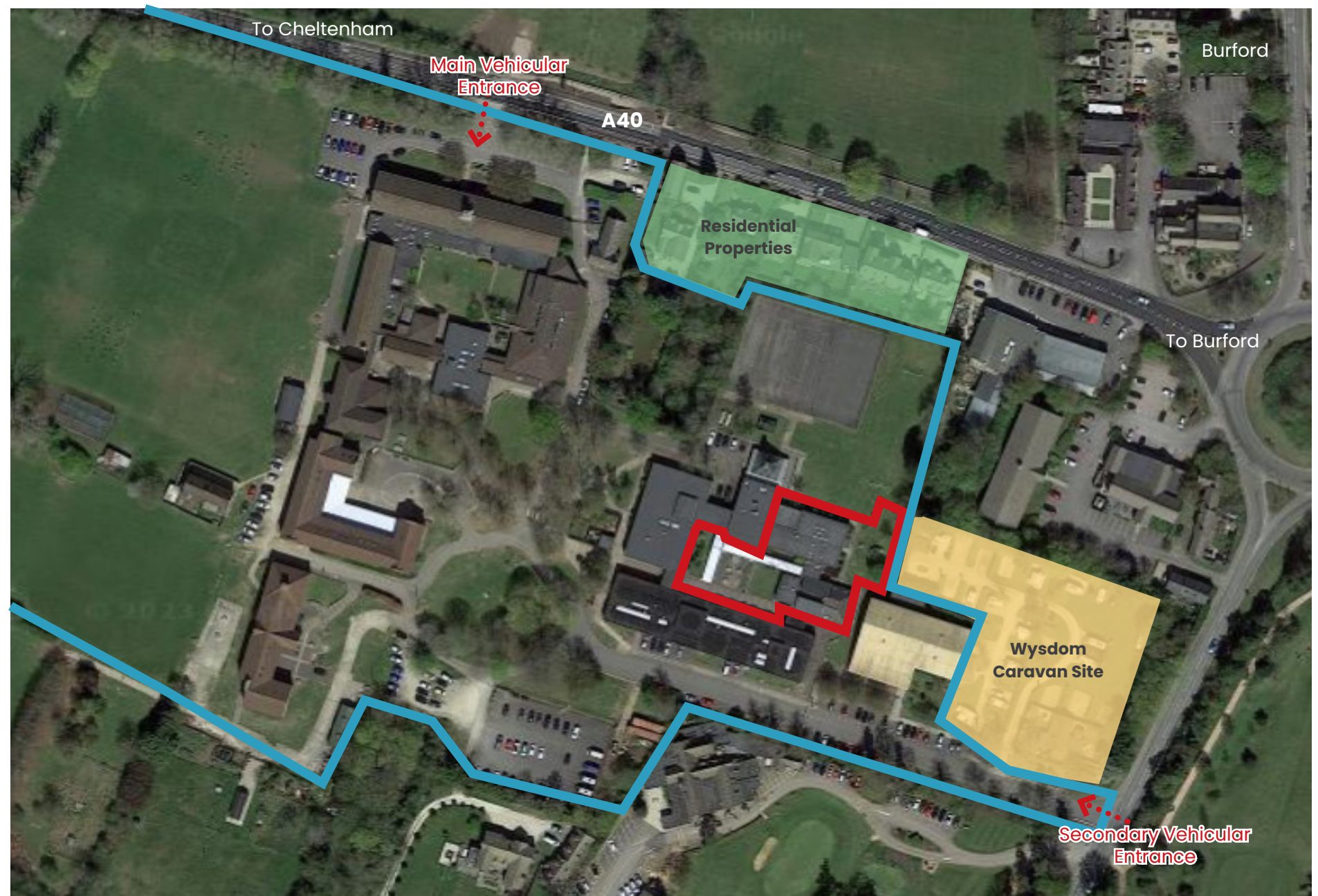
The main views of the site are from the quad and from the playing fields.



Photo 1



Photo 2



Aerial View of Site / Site Context Diagram

2.2 Site Character

Buildings on Site

There are two existing buildings on the site; they are currently used as the sixth form centre and a recently vacated library. There is a level change of approximately 1.5metres across the site, with one building sitting at the lower level.

The site is quite constrained by existing school buildings and the level change.

Drainage

An underground services trace has been carried out which picked up drainage locations.

Trees

There is a tree within the courtyard near to the existing library. This will not be removed as a part of these works.

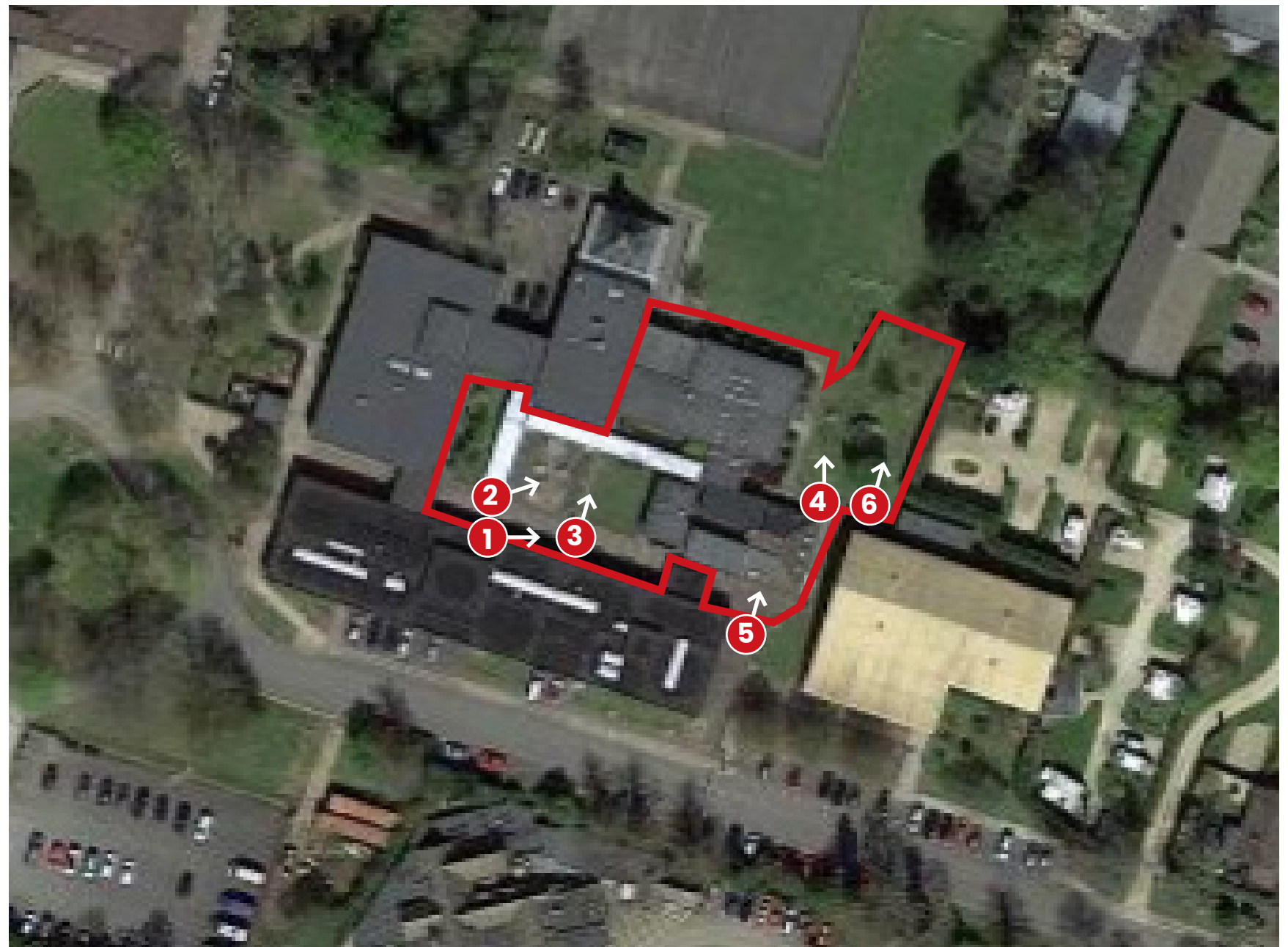
Ecology

The existing site is predominantly hard landscaping and existing buildings, with a small area of grass next to the existing library.

There is an existing garden opposite the sixth form building in close proximity to the site.

Rights of Way

There are no public rights of way across the site; however, circulation around the school is a consideration and there are a number of footpaths and routes that need to be retained, e.g. to the existing dining block queue currently forms up the ramp on the other side of the quad.



Aerial View of Site / Site Context Diagram

2.3 Site Photographs



1 - View across amphitheatre to existing library



2 - View across amphitheatre to dining & 6th form common room



3 - View across amphitheatre to dining



4 - View of existing sixth form block



5 - Entrance into library block



6 - Existing 6th form garden

2.4 Site Diagram 1

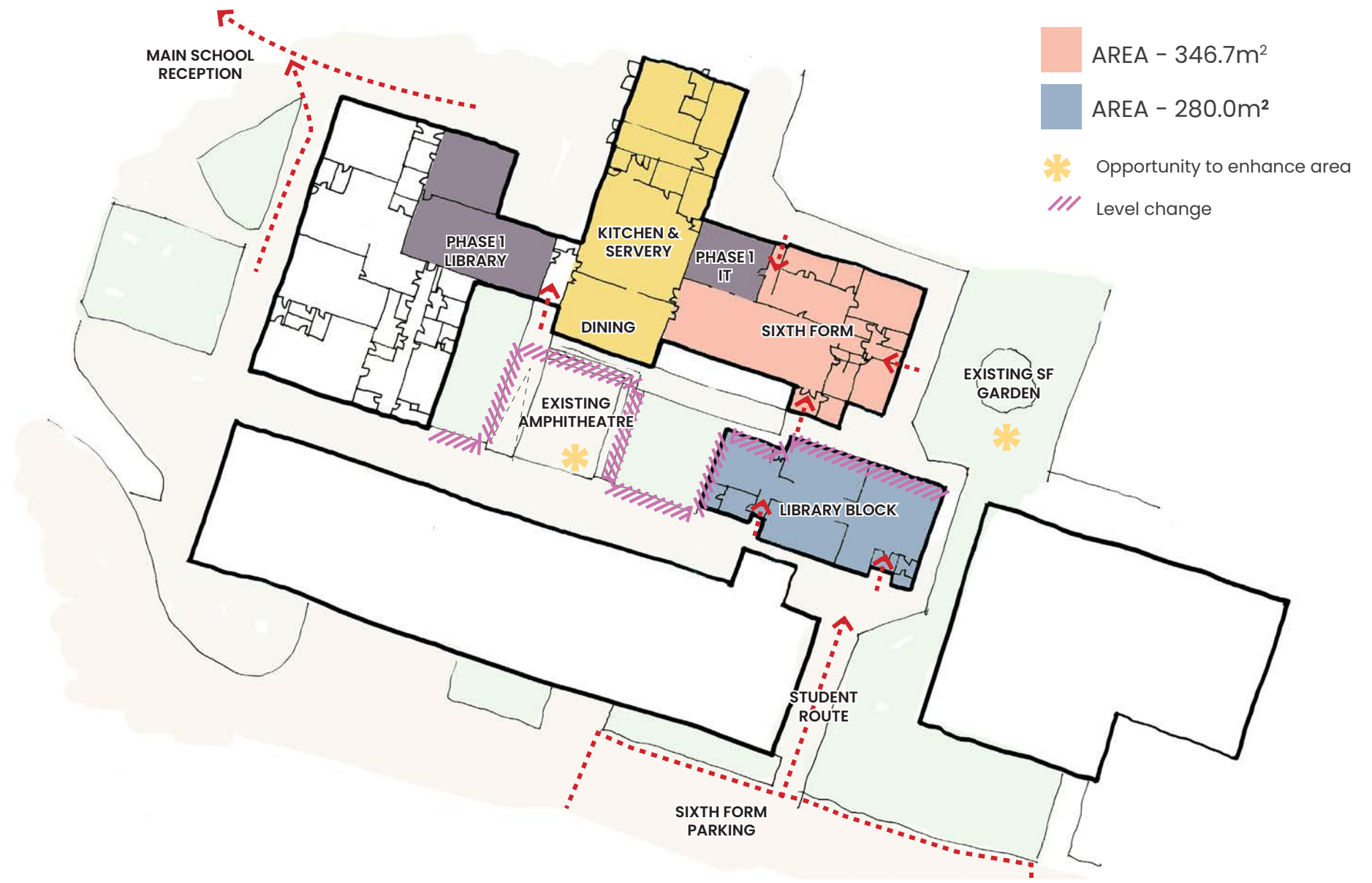
The area available for refurbishment is split across two blocks and includes the existing sixth form and library block.

There is an external level change of approximately 1.5m across the site. This is dealt with with a retaining wall around an amphitheatre, and a ramp. The finish floor levels of the two blocks are not the same.

Phase 1 (the library relocation) has been completed, leaving a reduced area for dining.

Sixth form students currently park to the south of the site.

An existing sixth form garden is located next to the sixth form block, with a mature tree and a handful of benches.



Example Diagram

03 The Design Process

3.1 Overview

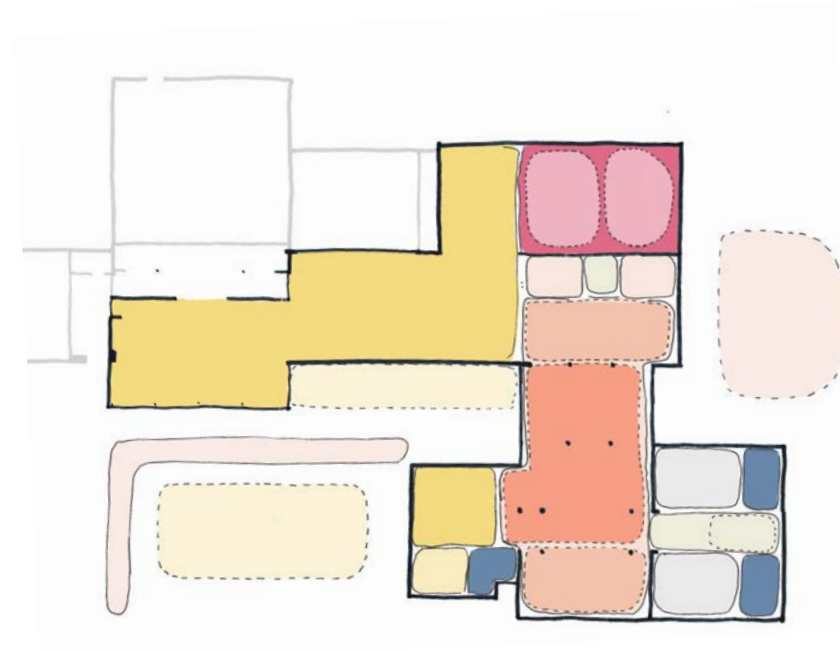
3.2 Feasibility Study

3.1 Overview

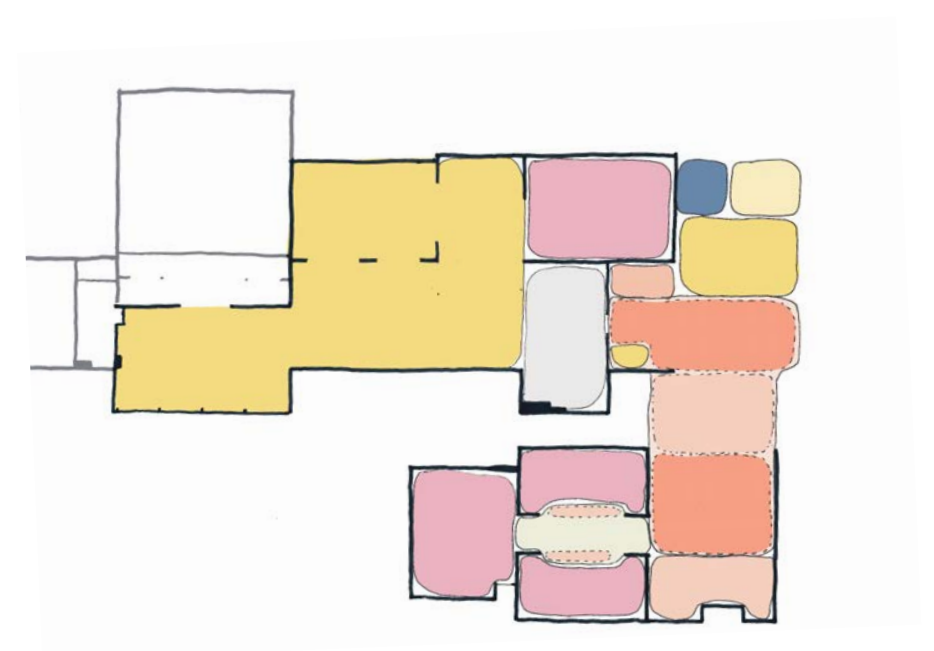
We created an initial schedule of accommodation based on BB103, which looked at all of the spaces that a school of this size would have associated with the sixth form.

From this, a number of sketch options were presented to the client looking at different ways to provide the accommodation, and to better understand the client's requirements, aims and aspirations for the project.

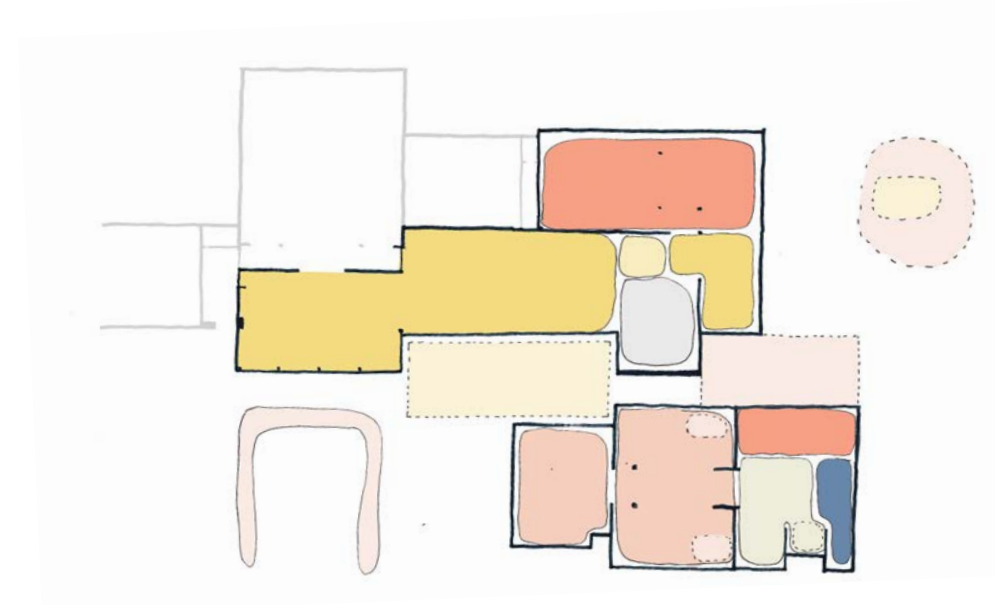
2 preferred options were then developed with sketch 3D images, input from consultants and a cost plan. A final preferred option was agreed with some minor tweaks that best responded to the schools' needs and budget.



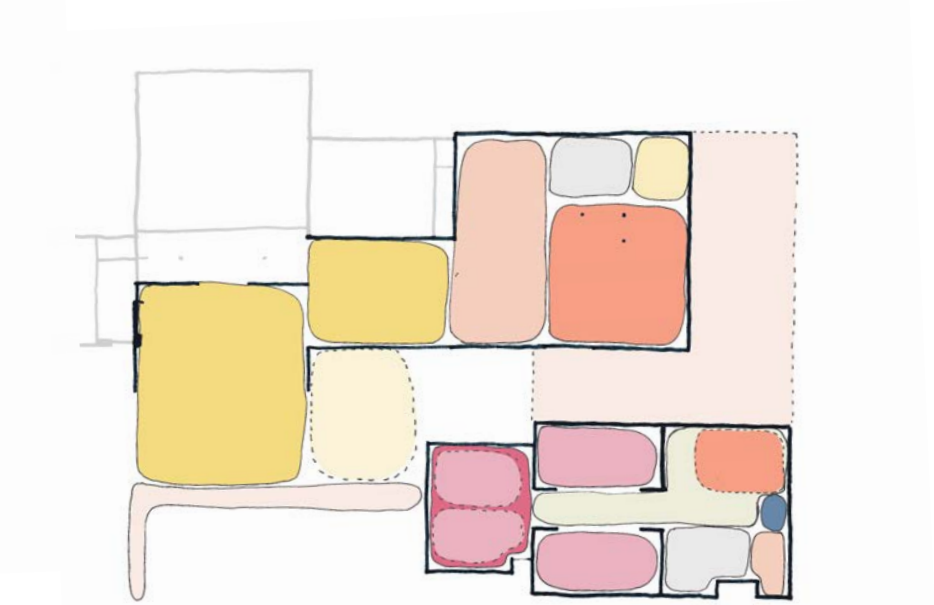
Sketch 1



Sketch 2



Sketch 3



Sketch 4

3.2 Feasibility Study

At the end of the feasibility study, a preferred design was chosen to be developed with an approach to the appearance agreed.



04 Final Design

- 4.1 Overview of Proposal
- 4.2 Use & Amount
- 4.3 Site Layout
- 4.4 Internal Layout
- 4.5 Appearance & Massing
- 4.6 Palette of Materials
- 4.7 Landscaping
- 4.8 Sustainability Strategy

4.1 Overview of Proposal

The proposal is to link two existing buildings with a small area of new build, and to reconfigure and refurbish the existing buildings to create a single cohesive sixth form centre.

External landscaping and new canopies provide whole school external dining and sixth form social space.



3D VISUAL OF EXTERNAL DINING AREA

4.2 Use & Amount

As mentioned, the scheme will provide a sixth form centre with study and social spaces, as well as addressing issues with whole school dining.

The area provided new build is 101m².

The area provided by new canopies is 162m².

The area to be demolished is 15.2m².

Schedule of Accommodation

Space	Area(m ²)
Whole School Dining	78
Common Room	109.7
Sixth Form Cafe / Dining	97.9
Servery	5.6
Prep	6.7
Store	4.8
Staff	10.5
Circulation	10.2
Acc WC	3.4
Female WC	22.3
Male WC	22.7
IT Hub	50.0
Circulation	10.4
Entrance / Reception	45.5
Staff Office	5.7
Lobby	6.4
Store	6.7
Circulation	15.0
Group Room	11.2
Lobby	5.9
Staff Office	5.6
Reading Room 1	82.4
Reading Room 2 - IT	41.9
Reading Room 3 - IT	42.1

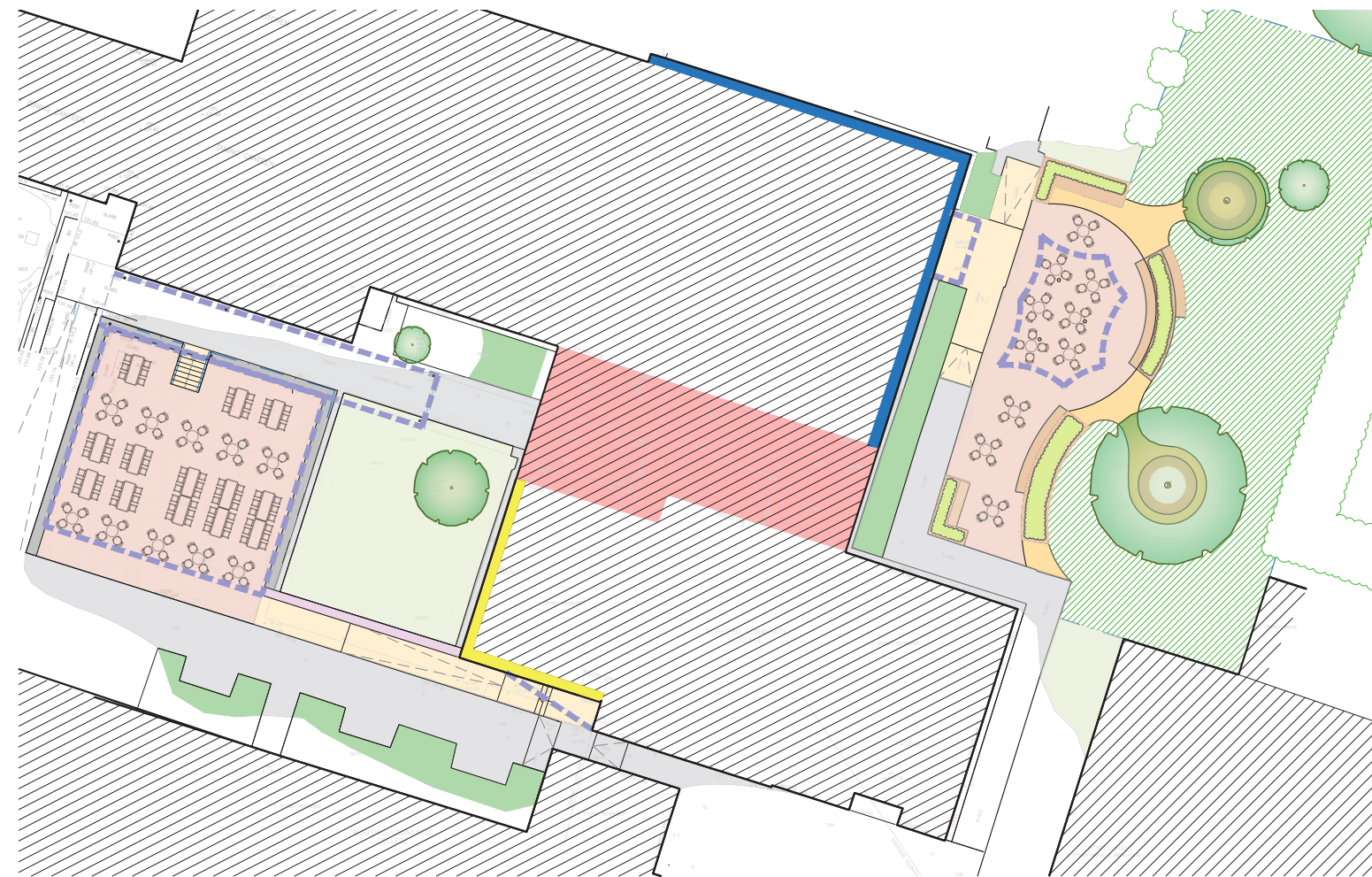
4.3 Site Layout

The site layout works with the existing site constraints including existing level changes and buildings.

Steps are being removed from the existing amphitheatre to provide an area of external whole school dining which will be covered by a canopy.

The existing sixth form garden is accessed from the proposed common room. The proposal enhances the sixth form garden providing an additional area of hard landscaping, part of which is covered, providing further sixth form social space. The remaining area of sixth form garden is proposed to be rewilded.

Existing footpaths have been retained to maintain routes around the site.



Proposed New Build	Existing Grass	Existing Stone Wall	Existing Tree	Elevation overclad with timber
Buff Block Paving	Existing Hard Landscaping - To be made good where required	New Retaining Wall	Area to be rewilded	Elevation re-rendered
Existing Planting	Proposed Tarmac	Proposed Canopy	Timber Planter Bench	Existing fence
Proposed Planting	Bark Mulch Footpath			

Proposed Site Plan

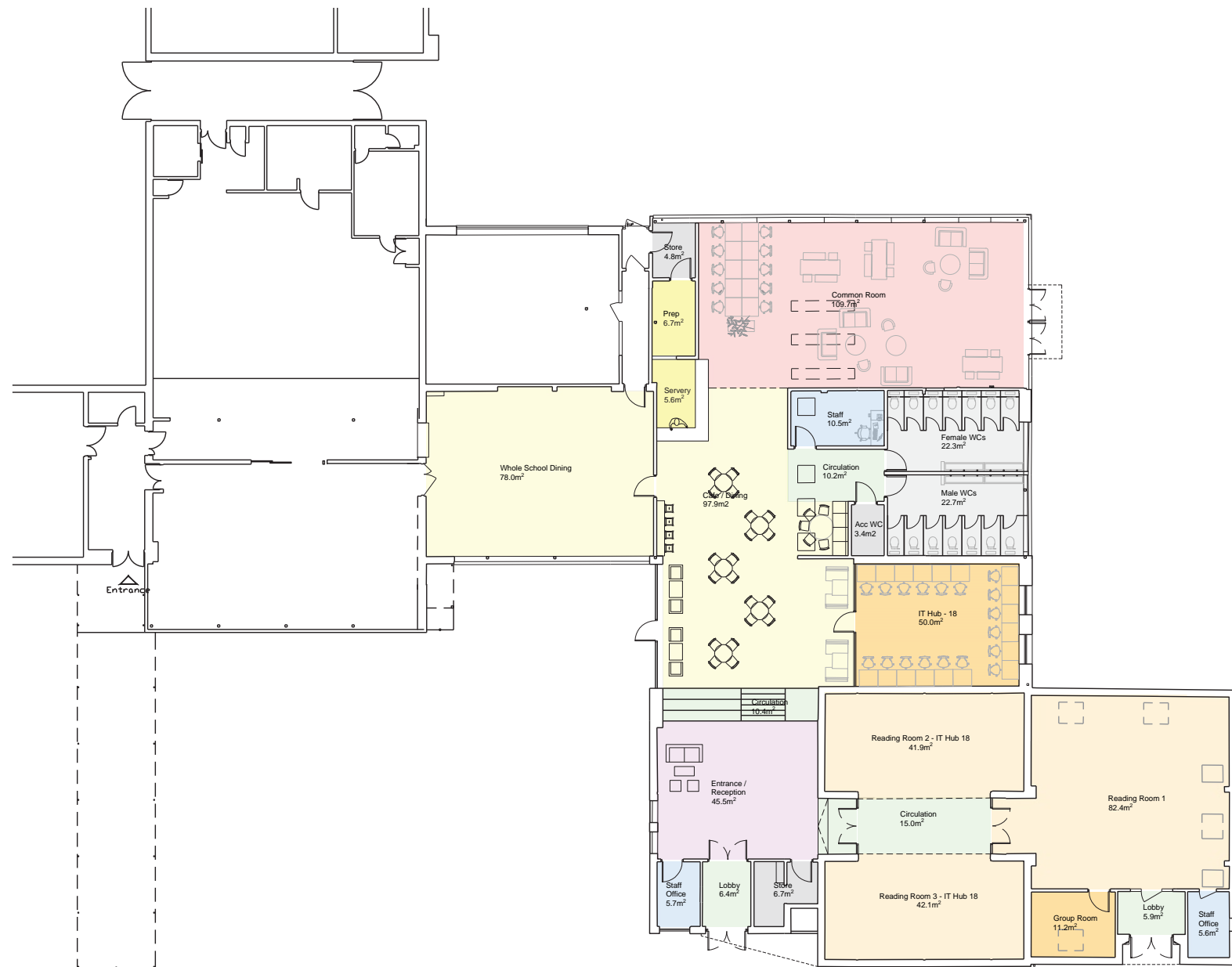
4.4 Internal Layout

The main entrance (primarily for visitors) is located off the quad. The entrance area is open to the cafe space and common room with stepped seating between the two levels, making the sixth form centre feel like one space. A staff space is located adjacent to this for passive surveillance.

Locating the reading rooms in the existing library minimises the work required by retaining the existing layout as much as possible. This provides 3 large study spaces and a small group room, a staff space and a lobby. Retaining an entrance into the reading rooms will help with phasing as well as provide multiple access points for students.

The location of the cafe and dining next to the whole school dining mean that the two can be connected and the school has some flexibility. The cafe prep, servery and store can be accessed from outside and are close to the existing school kitchen. The cafe is open to the common room meaning that the spaces bleed into one another. The common room is located so that there is access out to the sixth form garden.

Toilets are located in a central and easily accessible location, and provision is based on the number of sixth form students.



Proposed Floor Plan

4.5 Appearance & Massing

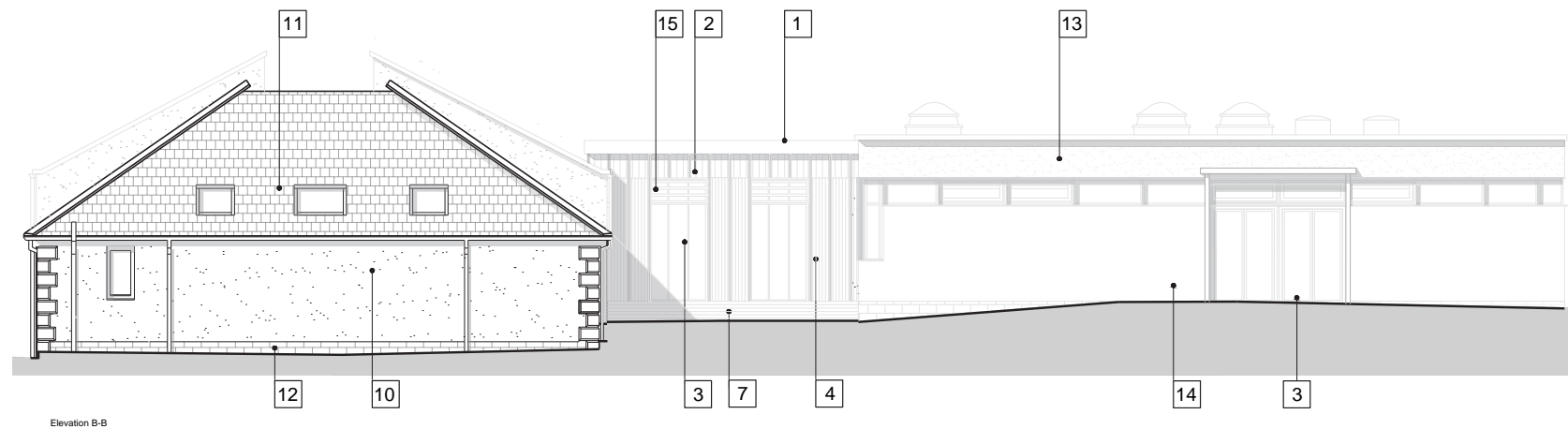
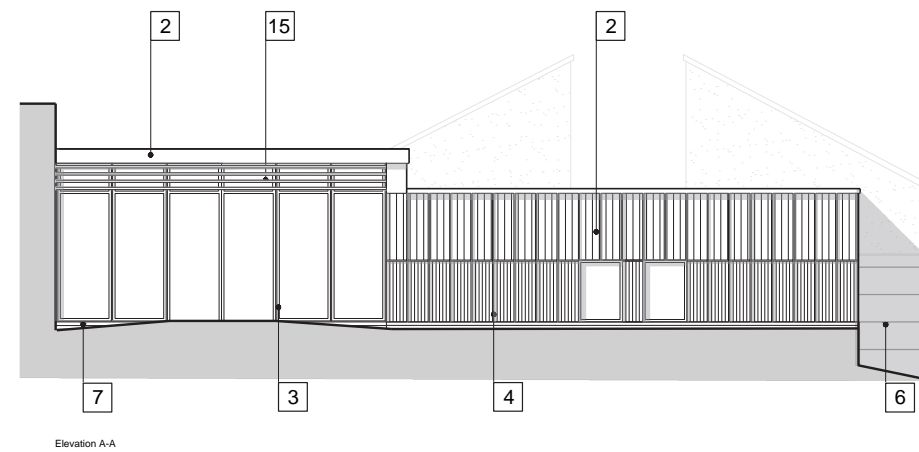
The appearance, scale and massing of the new build has been considered with the existing buildings in mind, and see as an opportunity to tie to the existing buildings together as well as reference other school buildings around the site where timber cladding and louvres have been used.

The new build is a flat roof element; the height of this is set to the same as the existing sixth form block. A sedum roof softens the appearance of the block.

Using a vertical timber cladding or timber effect cladding will soften the building and will compliment the existing material palette of the school buildings. Timber can be used on both the new build element and to over-clad part of the existing building, meaning that the flat roofed elements are read as one piece.

Two different widths of timber cladding and using timber fins provide a rhythm and relief to the elevation. The horizontal cladding split ties in with heights of the existing buildings.

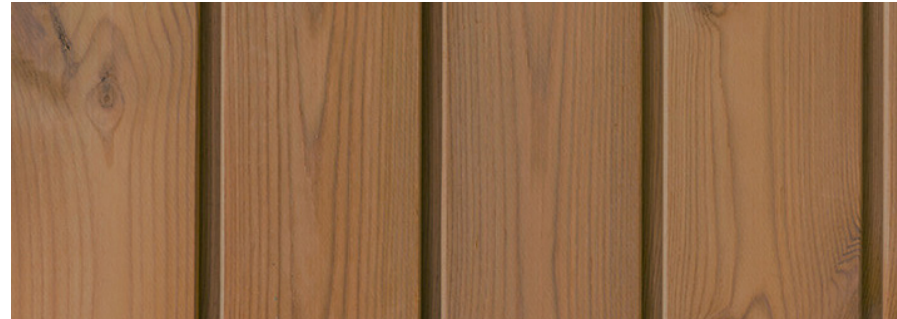
Dark grey aluminium windows add to the contemporary feel of the building, providing a contrast and sense of rhythm.



- | | | | |
|-------------------------------|--|--------------------------------|---------------------------|
| 1 Sedum Roof | 5 Stone Effect Cladding | 9 Existing Single Ply Membrane | 13 Re-render in Dark Grey |
| 2 Timber Cladding | 6 Dark Copper Coloured Metal Cladding | 10 Existing Render | 14 Re-render in Pale Grey |
| 3 Dark Grey Windows and Doors | 7 Brick Plinth | 11 Existing Roof Tiles | 15 Louvres |
| 4 Timber Fins | 8 Timber Hit and Miss Cladding on Oxford Barrel Vault Canopy | 12 Existing Brick Plinth | |

4.6 Palette of Materials

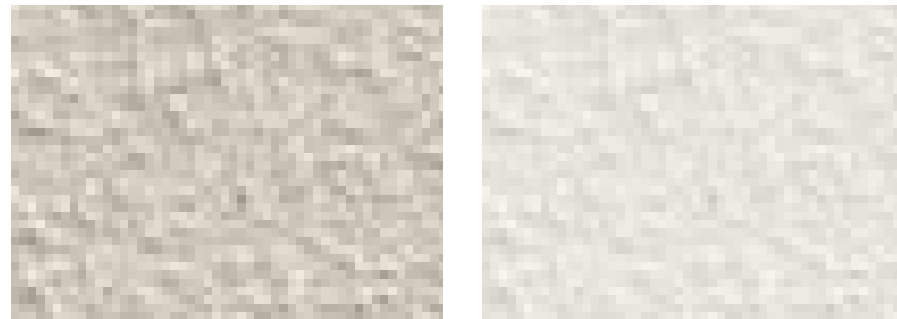
The proposal uses a natural and muted palette of materials in order to be sensitive to the existing buildings.



Material: Timber / Timber effect cladding
Colour: Natural timber
Location: External walls around building



Material: Aluminium
Colour: Dark Grey
Location: Windows and doors



Material: Render
Colour: Pale grey and dark grey
Location: External walls around building



Material: Metal Cladding
Colour: Dark Copper Coloured
Location: New Entrance Canopy

4.7 Landscaping

There are limited changes to the external landscaping, with the 2 key areas being the existing amphitheatre and the sixth form garden.

Removing the amphitheatre steps and seating, and providing a new canopy will create a much more useful space which will still feel contained.

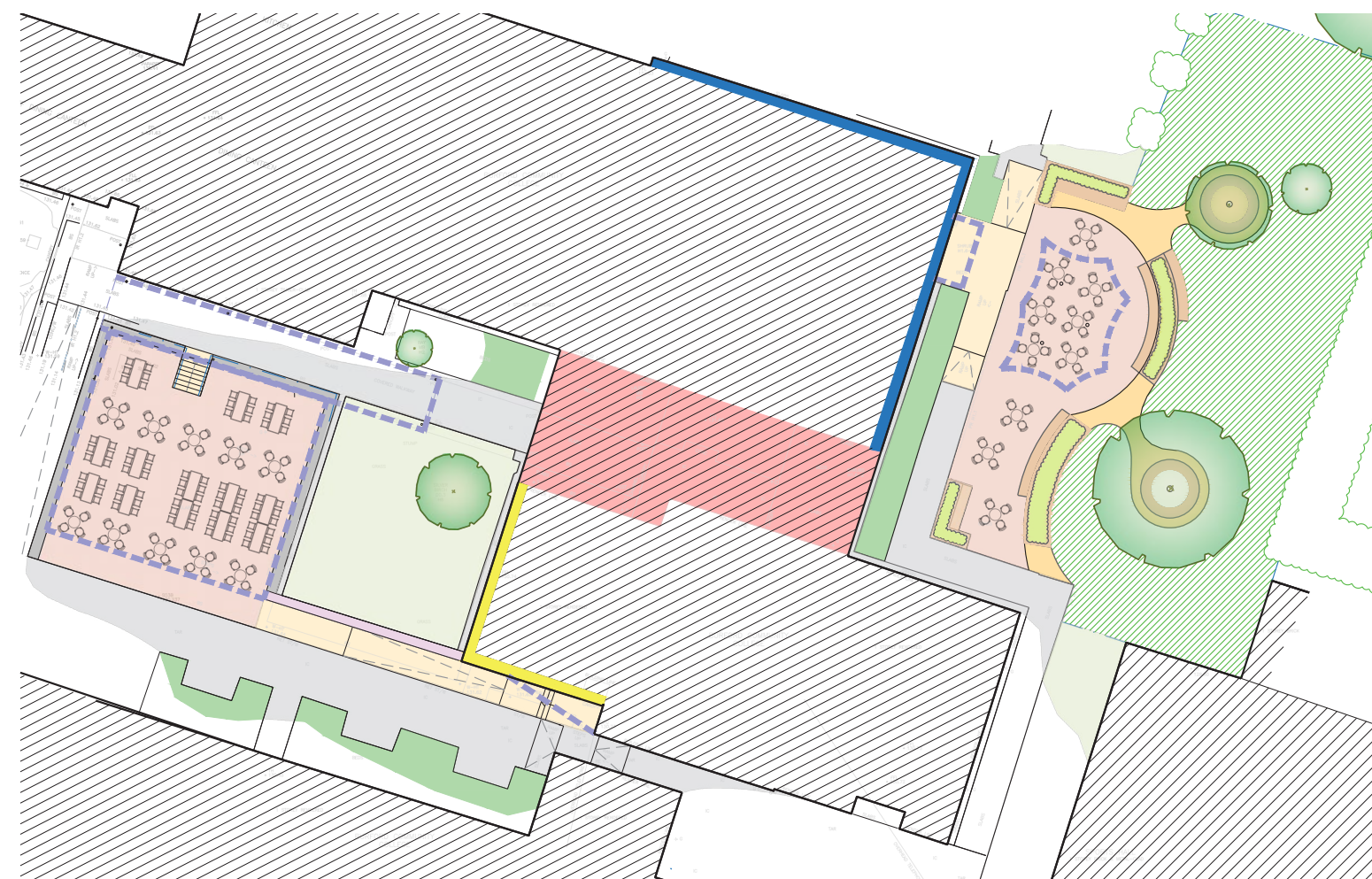
Creating an area of hard landscaping by the sixth form common room will create a really useful space, and can be softened with planting around the site.

Materials used around the site for hard landscaping include:

- Tarmac
- Buff block paving
- Bark mulch paving

The approach to soft landscaping within the scheme is:

- Retain existing trees wherever possible
- Low maintenance plants which tie in with the existing
- Area of grass to be rewilded by limiting mowing and sowing wildflowers



Proposed New Build	Existing Grass	Existing Stone Wall	Existing Tree	Elevation overclad with timber
Buff Block Paving	Existing Hard Landscaping - To be made good where required	New Retaining Wall	Area to be rewilded	Elevation re-rendered
Existing Planting	Proposed Planting	Proposed Tarmac	Proposed Canopy	Existing fence
		Bark Mulch Footpath	Timber Planter Bench	

Proposed Site Plan

4.8 Sustainability Strategy

The scheme looks to retrofit two of the school's existing buildings, supporting the path to net-zero carbon targets whilst meeting the school's needs.

Sustainable material choices have been made such as the use of locally sourced timber, and a sedum roof to encourage biodiversity.

The design of the building has been carefully considered to ensure that the scheme will meet all current building regulation standards with regard to U-Values, insulation and ventilation requirements.

Where possible, passive systems and strategies have been used, but in cases where mechanical systems are required these have been designed and specified to be as efficient as possible.

05 Access

5.1 Access to the Site

5.2 Access to the Development

5.1 Access to the Site

Access to the site is not effected by the development.

5.2 Access to the Development

The principle of inclusive design has been implemented by providing full access to all areas of the site / buildings affected by this project. The design will meet all current regulations - and good practice standards - to provide a safe, secure and fully accessible environment to serve those who interact with the scheme.

06 Conclusion

6.1 The Planning Package

6.2 Project Review

6.1 The Planning Package

Roberts Limbrick Drawings:

10637-P0001	Site Location Plan
10637-P0021	Existing Block Plan
10636-P0031	Existing Site Plan
10637-P0311	Existing Floor Plan
10637-P0391	Existing Roof Plan
10637-P0401	Existing Elevations Sheet 1
10637-P0402	Existing Elevations Sheet 2
10637-P2021	Proposed Block Plan
10637-P2031	Proposed Site Plan
10637-P2300	Proposed Floor Plan
10637-P2391	Proposed Roof Plan
10637-P2401	Proposed Elevation Sheet 1
10637-P2402	Proposed Elevation Sheet 2
10637-V6000	Proposed 3D Images Sheet 1
10637-V6001	Proposed 3D Images Sheet 2

Roberts Limbrick Reports:

10637-P6031	Design and Access Statement
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Other Reports & Documents:

None.

6.2 Project Review

The scheme aims to provide a high quality and cohesive sixth form for the school and alleviate existing issues with the whole school dining whilst making the most of the school's existing building stock.

We trust that the information provided in this report clarifies and confirms the acceptability of this scheme as an appropriate solution.

We are happy to discuss any other queries you may have during the course of the application.



3D Image of Sixth Form Garden



Roberts Limbrick