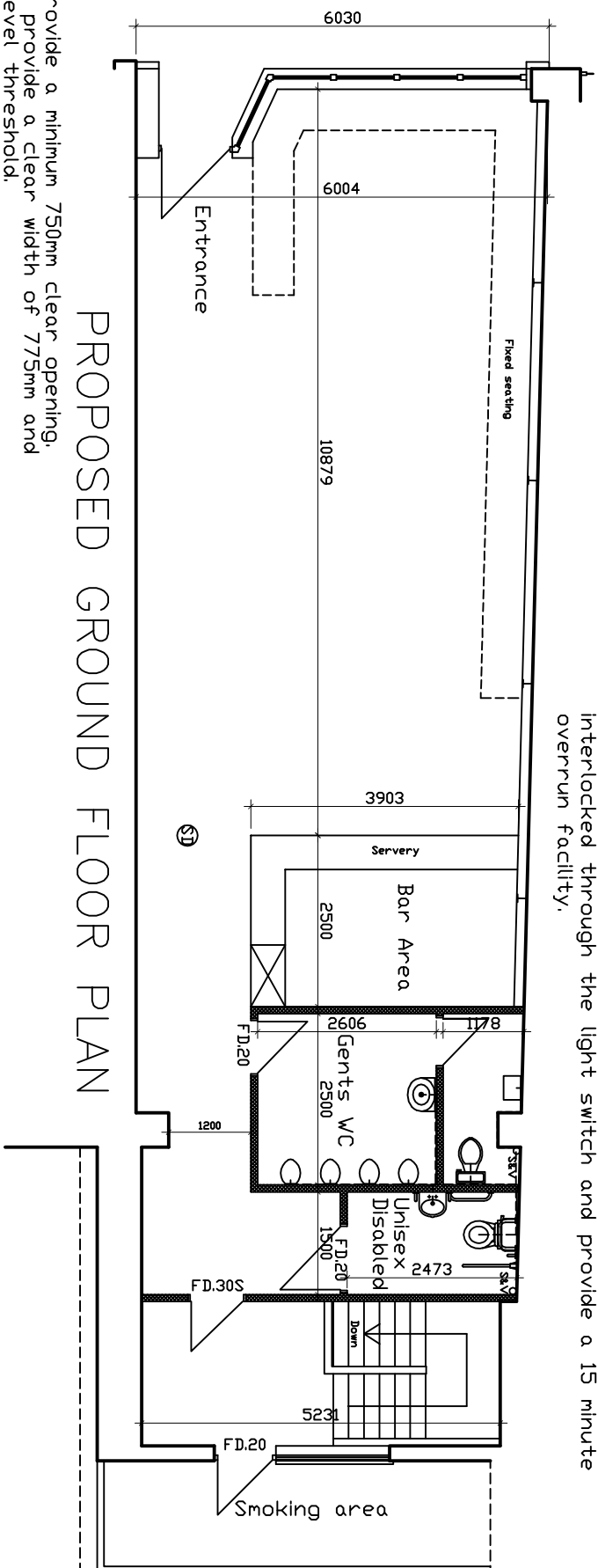


Detail in addition to already indicated must comply in all respects with the current Building Regulations and any allied legislation

Supply and fix wall mounted, low voltage, mains operated mechanical extract vent to all toilets, Xpelair GX6 or similar approved capable of providing a minimum of 15 litres/second extraction rate, which is to be directed and ducted to an external air supply. All facilities to be interlocked through the light switch and provide a 15 minute overrun facility.



PROPOSED GROUND FLOOR PLAN

All internal doors to provide a minimum 750mm clear opening. Principal entry door to provide a clear width of 775mm and to be provided with a level threshold.

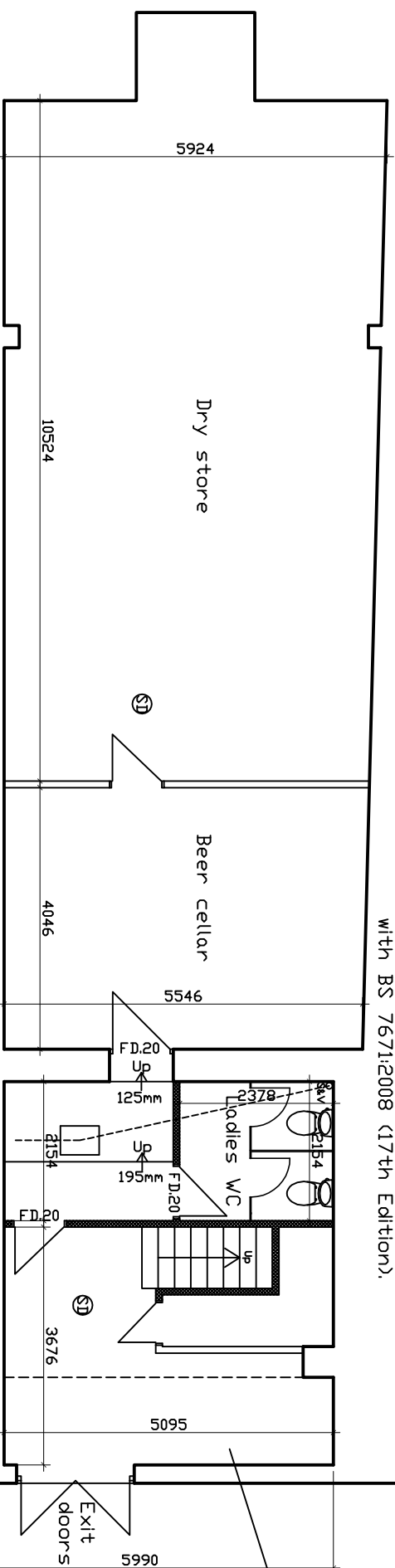
Supply and fix a sufficient number of mains operated interconnected smoke detector alarms, each with a battery back-up, to BS5839 Part 6 and should be installed at a max. distance of 7.5 metres from all habitable rooms within ground and lower ground floor circulation spaces to at least a Grade D Category LD3 Standard

Internal partition walls to comprise 89x38mm CLS studwork @ max. 600 centres with 12.5mm plasterboard & 5mm skim finish to provide min. 30 minutes fire resistance. 89x38mm noggins @ 600 centres vertically and lined internally with 90mm sound deadening quilt to satisfy E2 . Studs to be doubled up at corners and door openings.

Internal drainage to comprise 50mm stainless steel easy clean wastes to showers, 40mm wastes to sink unit, basins and bath. 75mm deep seal traps to showers, basins, sink unit and bath including rodding access at elbows. 100mm diameter pvc soil stack boxed in with ply and surrounded with insulation quilt. Pipe to terminate with cowl externally or internally to receive Durgoo valve. Provide long radius bend to base of soil pipe. Rodding points will be provided to give access to any length of waste pipe that cannot be reached from any other part of the drainage system. All lighting points are to be capable of running low energy lighting only.

All electrical work is to meet the requirements of Part P (Electrical Safety) and to be designed, installed, inspected and tested by a competent person to certify compliance with BS 7671:2008 (17th Edition).

Storage area for waste and recyclable material to be collected by authorised personnel for transfer to brewery at Blaenavon from where it will be disposed under the waste transfer licence held by the company



PROPOSED LOWER GROUND FLOOR PLAN

Compliance with B1: Means of warning and escape  
The building should be designed and constructed so that there are appropriate provisions for the early warning of fire and appropriate means of escape in case of fire from the building to a place of safety outside the building capable of being safely and effectively used at all material times

Commissioning certificates for smoke detection, fire alarm system and emergency lighting to be provided for approval when available in order to receive a Completion Certificate.

Final exit door is to open in the direction of escape i.e. outward and to be fitted with panic release mechanism for quick and easy exit rather than a key lock facility.

Illuminated exit signage to be provided above final exit door.

Escape lighting to BS 5266 Part 1 whilst signage is to BS 5499 Part 1

15 point colour contrast is to be provided around all doors and architraves in order to aid visual impairment.

NOTE: All walls to stairwells to achieve a minimum of 30 minutes fire resistance. FD20 fire doors are required to all locations on the escape route to rear, doors to be fitted with automatic self closing device. Certification to be provided to demonstrate that all fire doors have been performance tested on both sides. FD30S fire door with glazed visibility panel to be provided to access fire escape stairway. All fire doors to be fitted with an automatic closing device. Any fastenings fitted to exit doors & doors leading thereto should be of a type which can be opened easily and immediately from within in an emergency

Remove window and cut down wall below as indicated to form new opening in brickwork wall to access the smoking area. The opening will be to existing dimensions but head and reveals are to be made good. Smoking area to receive a timber wall surround, 1100mm high comprising 100x50mm timbers at maximum 400 centres with a double sole and head plate for rigidity. Wall to be finished externally with white upvc cladding boards

Existing felt roof covering to be replaced with a proprietary roof waterproofing system with falls to existing outlet. Roof to receive a non-slip finish

Access to beer cellar is restricted to staff only

PROJECT

PROPOSED IMPROVEMENTS/ALTERATIONS AT,  
THE WESTGATE, (THE FORMER SHOEZONE),  
161, HIGH STREET,  
BLACKWOOD.

DRAWING PROPOSED FLOOR PLANS

SCALE 1:100 DATE MAY 2023  
DRAWN RE DRG.NO. 2