

Contractor to check and verify all dimensions on site prior to commencing any work.

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Rev / Date / Information:
****Important Notice****
Site boundary and site perimeter not surveyed at time of survey.
Garden, trees and hedges should be considered indicative and illustrated to a fair representation at the time of survey



Location Plan

Scale 1:1250 @ A2



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area of proposed development for replacement dwelling application

Block Plan

Scale 1:500 @ A2



Rev / Date / Information:



FEATHER & THISTLE
ARCHITECTURE - INTERIOR - DESIGN
Steven Graham 07511558041

Client: **HKB**
Address: **31 Oxford Road
Woodstock
Oxfordshire
OX20 1UN**

Drawing Title:
**Location Plan &
Block Plan**

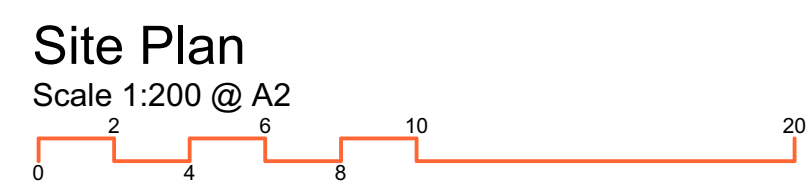
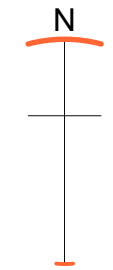
Date: **23/04/22** Scale: **1:1250 & 1:500**

Project / Drawing No: **116 / 20** Revision: **-**

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Steven Graham 07511558041

Client: **HKB**
Address: **31 Oxford Road
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Oxfordshire
OX20 1UN**

Drawing Title: **Existing Site Plan**

Date: **23/04/22** Scale: **1:100**

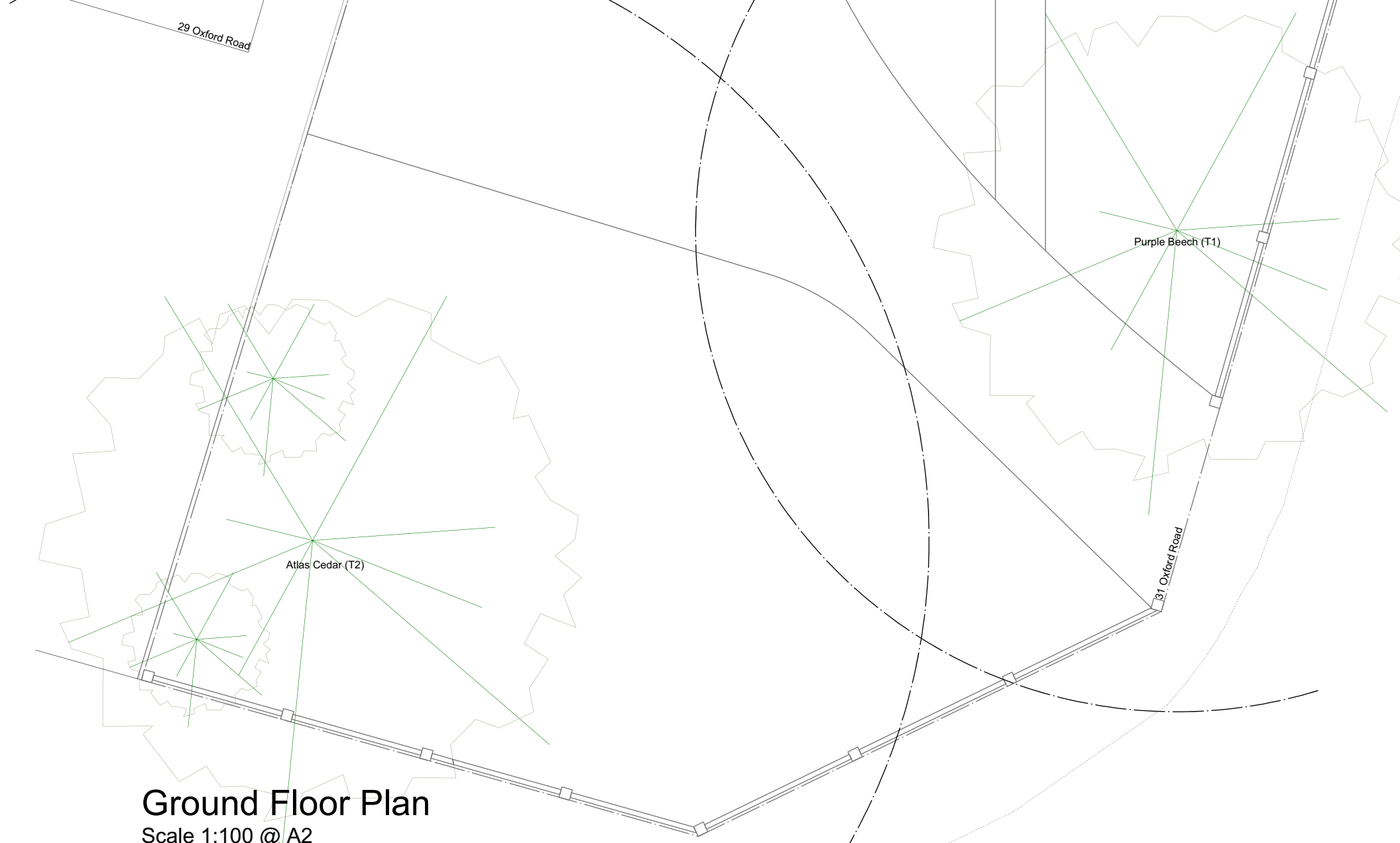
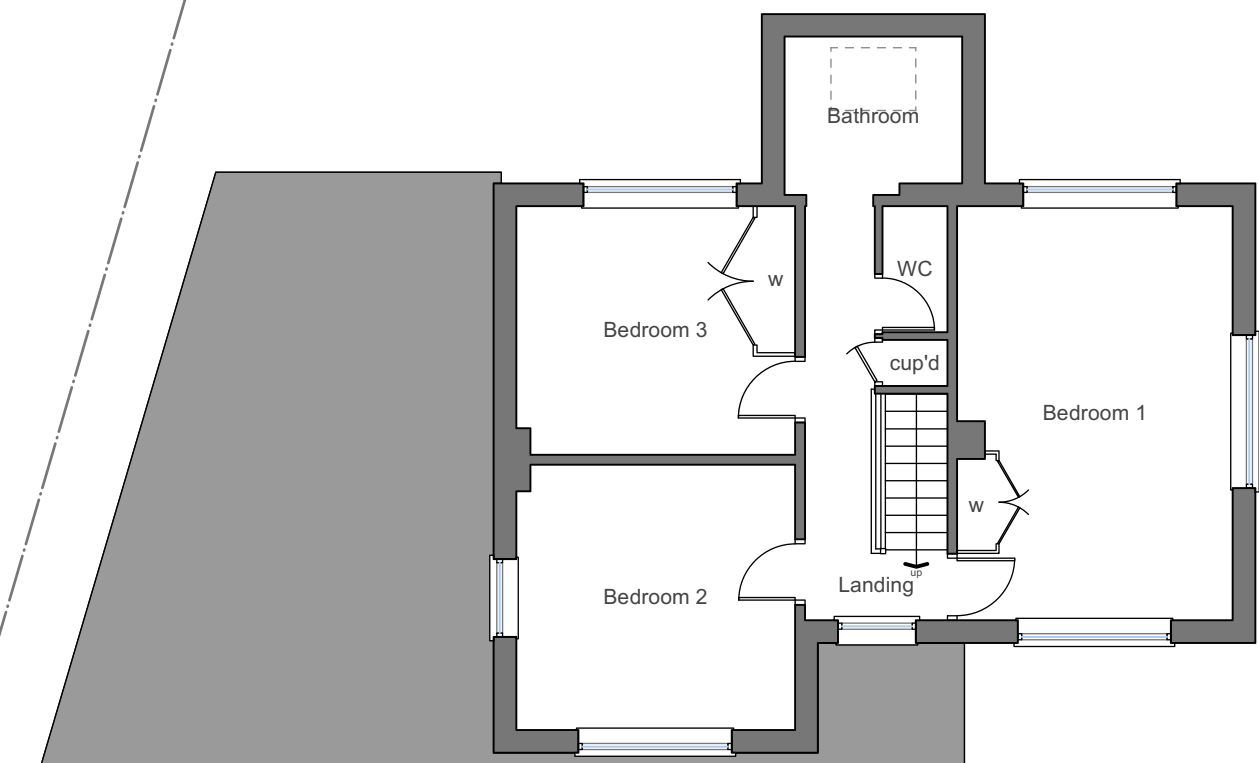
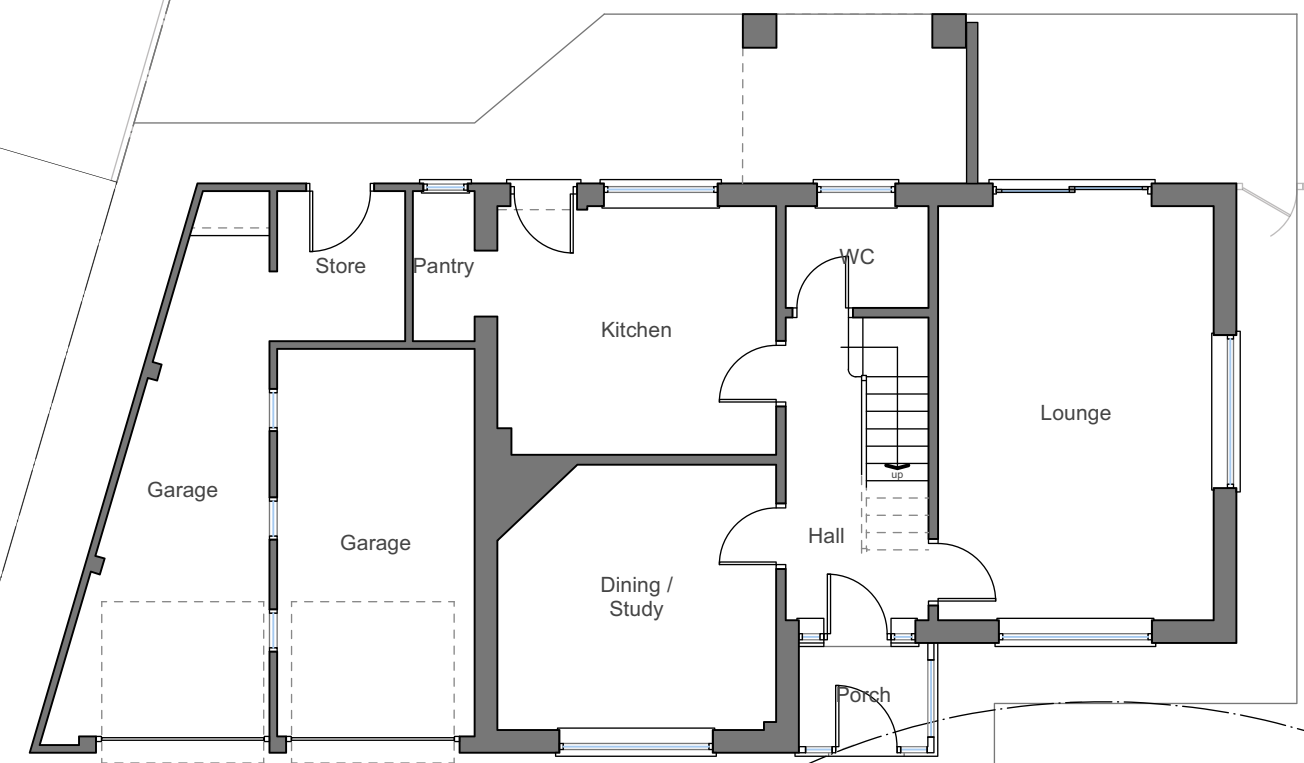
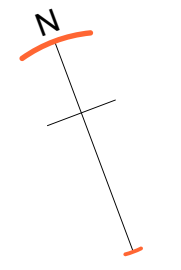
Project / Drawing No: **116 / 21** Revision: **-**

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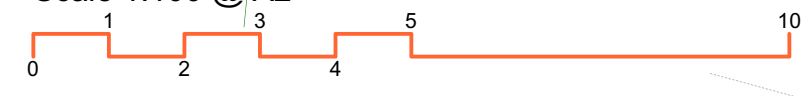
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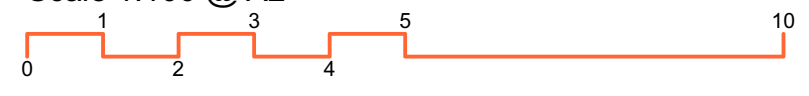
Ground Floor Plan

Scale 1:100 @ A2



First Floor Plan

Scale 1:100 @ A2



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ARCHITECTURE - INTERIOR - DESIGN
Steven Graham 07511558041

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Address: 31 Oxford Road
Woodstock
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OX20 1UN

Drawing Title:
Existing Ground &
First Floor Plans

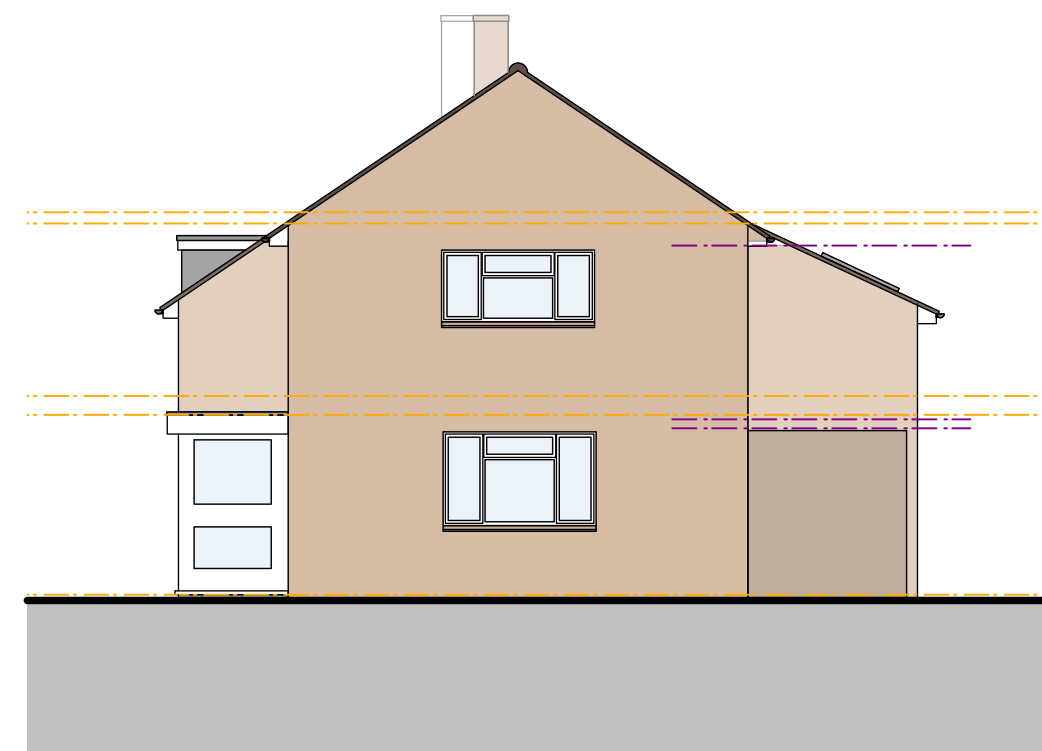
Date: 23/04/22 Scale: 1:100

Project / Drawing No: 116 / 22 Revision: -



South West Elevation (Front)

Scale 1:100 @ A2



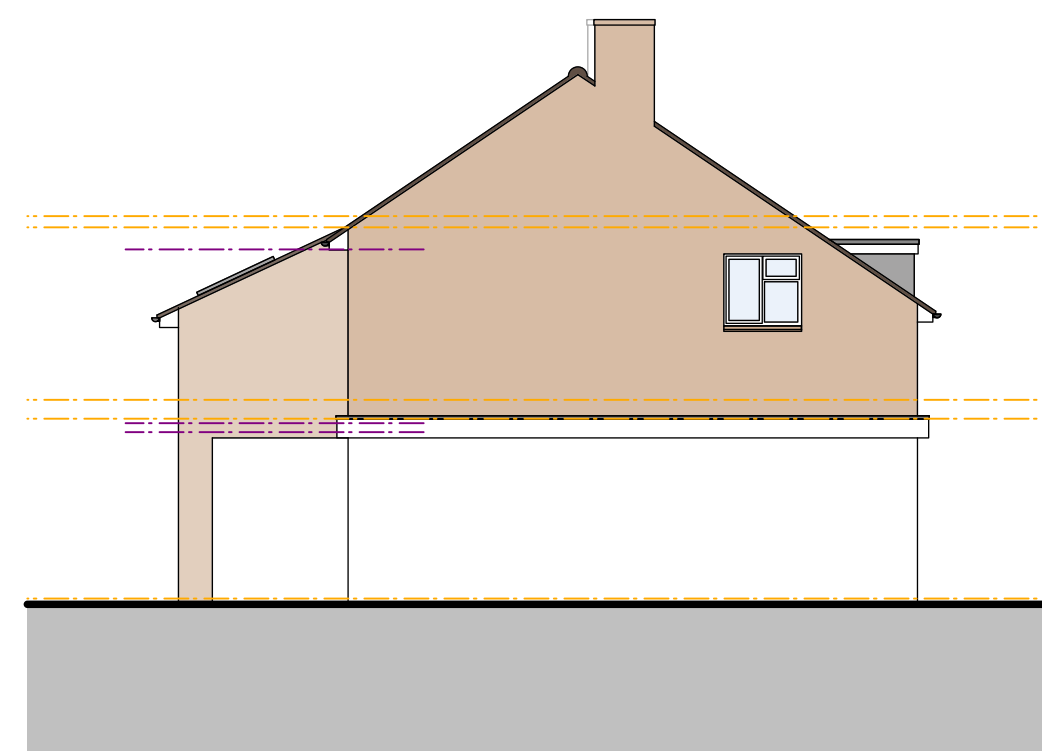
South East Elevation (Side)

Scale 1:100 @ A2



North East Elevation (Rear)

Scale 1:100 @ A2



North West Elevation (Side)

Scale 1:100 @ A2



Rev / Date / Information:



FEATHER & THISTLE
ARCHITECTURE - INTERIOR - DESIGN
Steven Graham 07511558041

Client: HKB

Address: 31 Oxford Road
Woodstock
Oxfordshire
OX20 1UN

Drawing Title:
Existing Elevations

Date: 23/04/22 Scale: 1:100

Project / Drawing No: 116 / 23 Revision: -

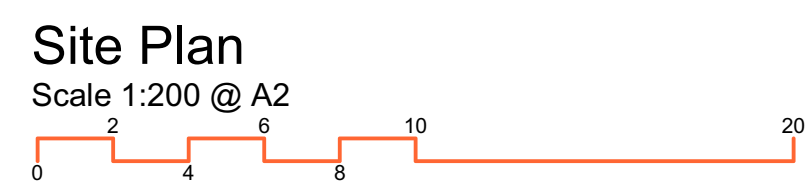


Tree Root Protection Area T1 = 289.5m²
Development in SPPA = 1m²
% of development in Root Protection Area = 0.3%

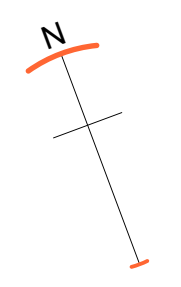
Tree Root Protection Area T2 = 475.3m²
Development in SPPA = 18.4m²
% of development in Root Protection Area = 3.8%

Total % development in Root Protection Area (T1 & T2) = 4.1%

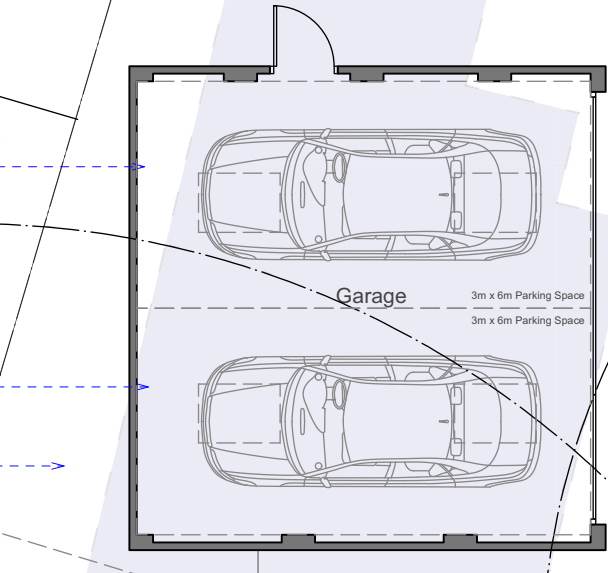
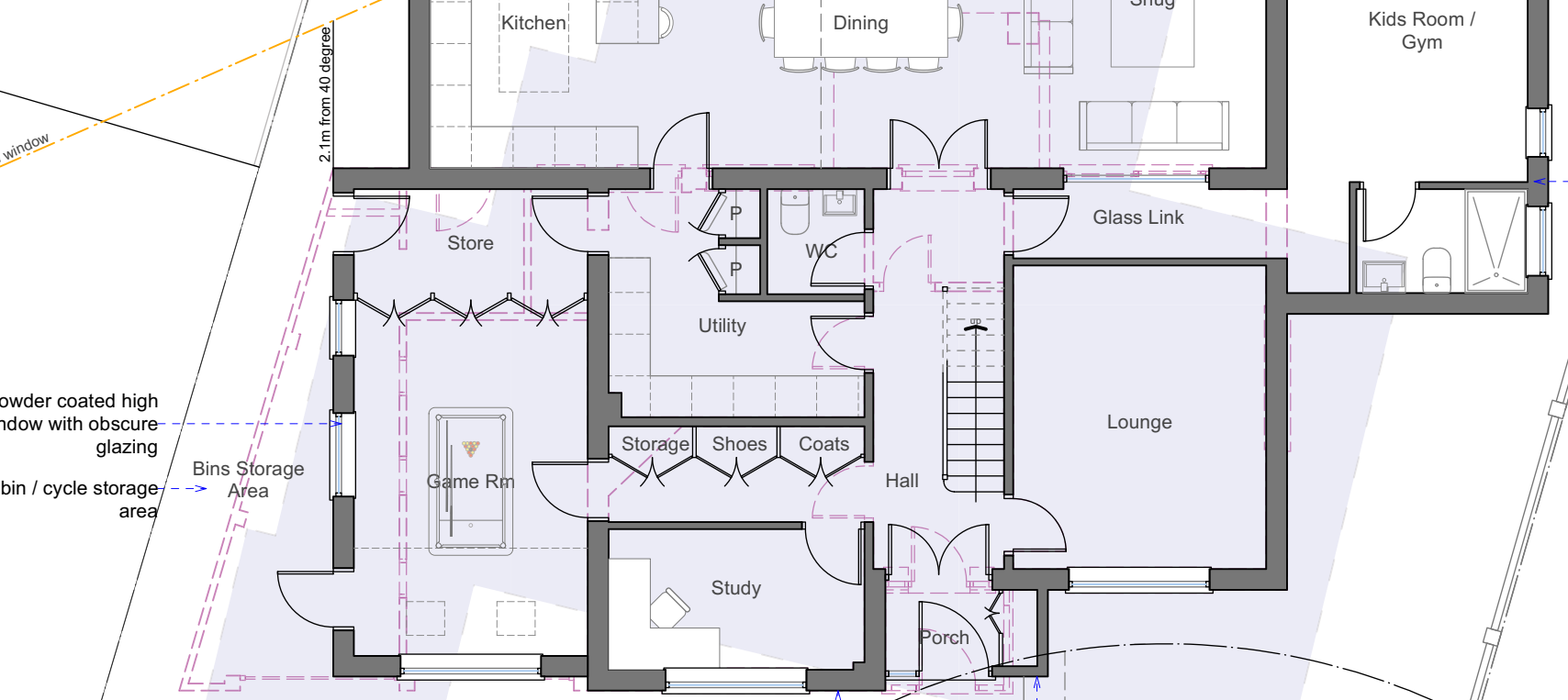
Replace Existing Driveway from Impermeable to Permeable
Existing Impermeable Tarmac Drive = 133.2 m²
Proposed New permeable Drive = 131.6 m²



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- rear garden (laid to grass) remains unchanged
- all boundary fencing remains unchanged
- new localised landscaping to extend existing patio
- all new rear doors (bi-folding and double doors) to be powder coated aluminium with colour frames
- single storey rear extension with cavity wall construction and white through render finish



parking for 4 cars;
 2no. 6m x 3m garage spaces
 2no. 5m x 2.7m parking spaces

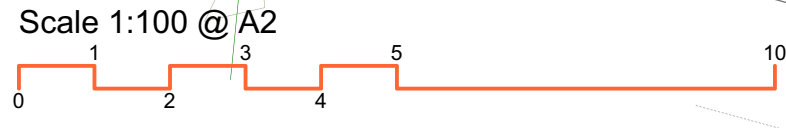
2.7m x 5m Parking Space
 2.7m x 5m Parking Space

Tree Root Protection Area T1 = 289.5m²
 Development in RPA = 1m²
 % of development in Root Protection Area = 0.3%

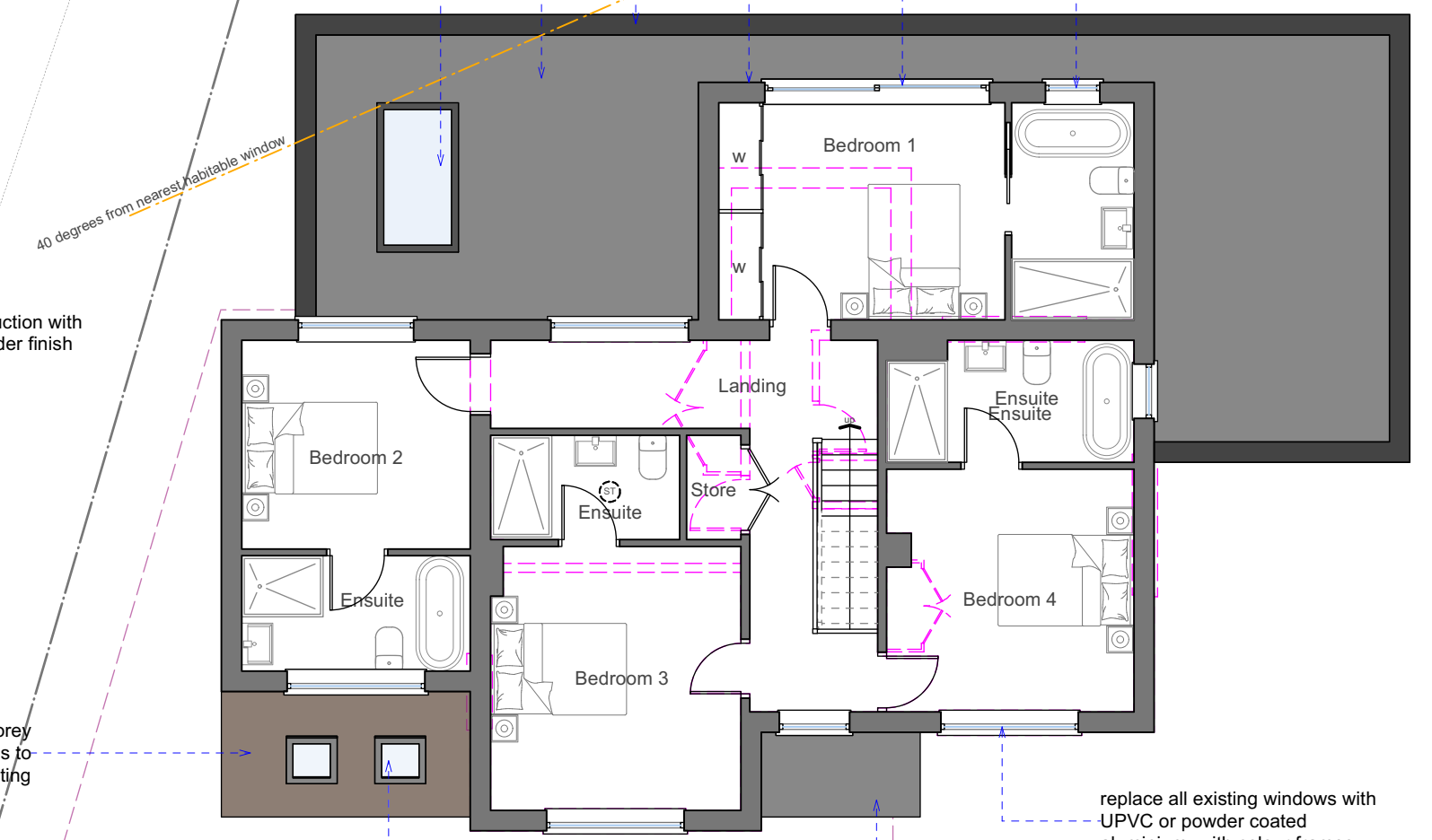
Tree Root Protection Area T2 = 475.3m²
 Development in RPA = 18.4m²
 % of development in Root Protection Area = 3.8%

Total % development in Root Protection Area (T1 & T2) = 4.1%

Ground Floor Plan

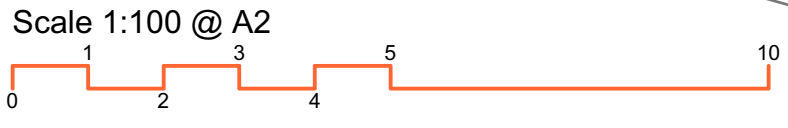


- aluminium coping detail over parapet wall upstand
- GRP fibre roof finish, warm roof construction
- 2200mm x 1000mm contemporary slimline flat rooflight
- insulated timber frame first floor extension with Siberian Larch polyurethane cladding from Millboard or similar approved
- full height sliding doors with Juliet balcony screen
- full height picture window with obscure glazing



replace existing impermeable drive with new permeable driveway to provide more moisture to tree roots:
 Existing Impermeable Tarmac Drive = 133.2 m²
 Proposed New permeable Drive = 131.6 m²

First Floor Plan



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Client: HKB
 Address: 31 Oxford Road
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Drawing Title:
 Proposed Ground & First Floor Plans

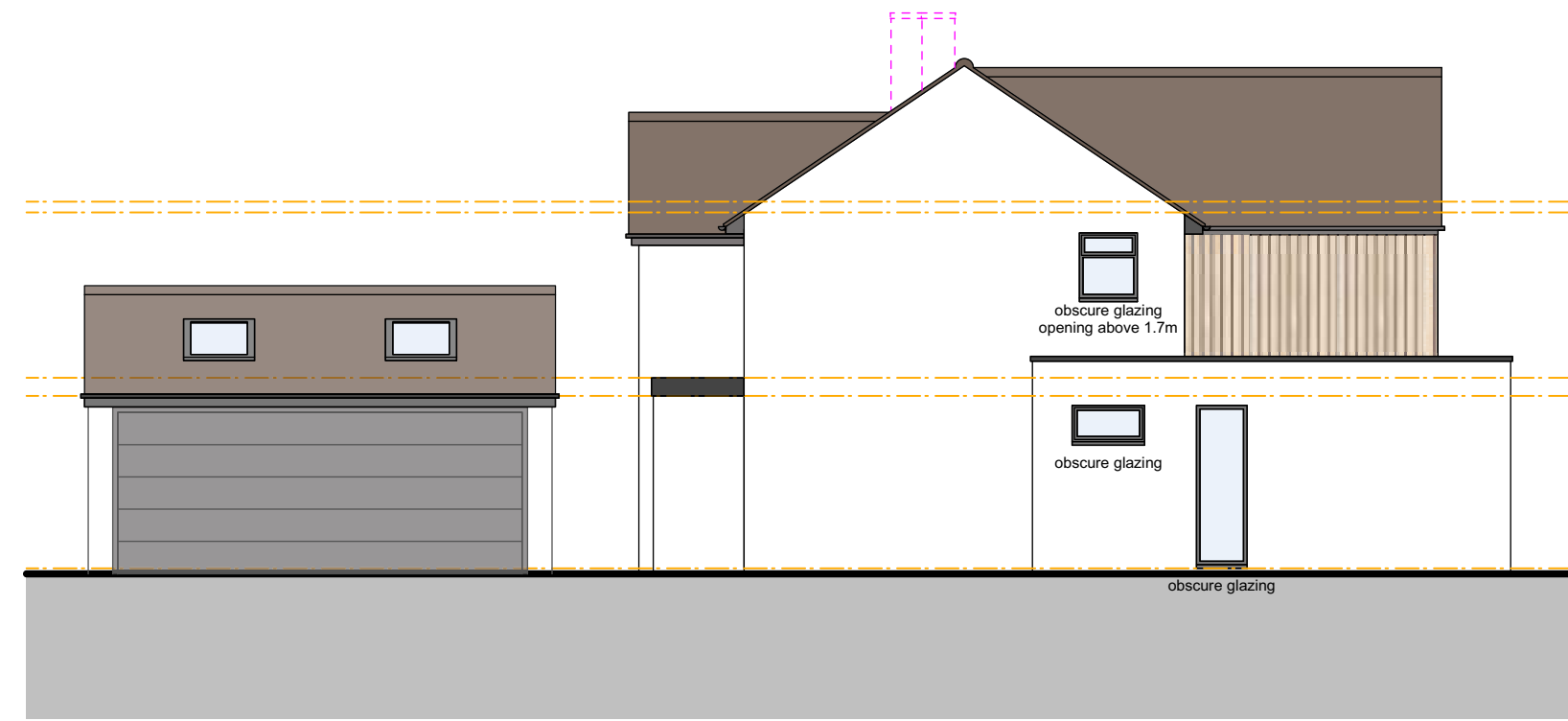
Date: 15/06/22 Scale: 1:100

Project / Drawing No: 116 / 25 Revision: -



South West Elevation (Front - Garage Removed)

Scale 1:100 @ A2



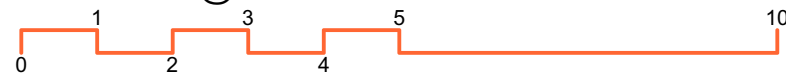
South East Elevation (Side)

Scale 1:100 @ A2



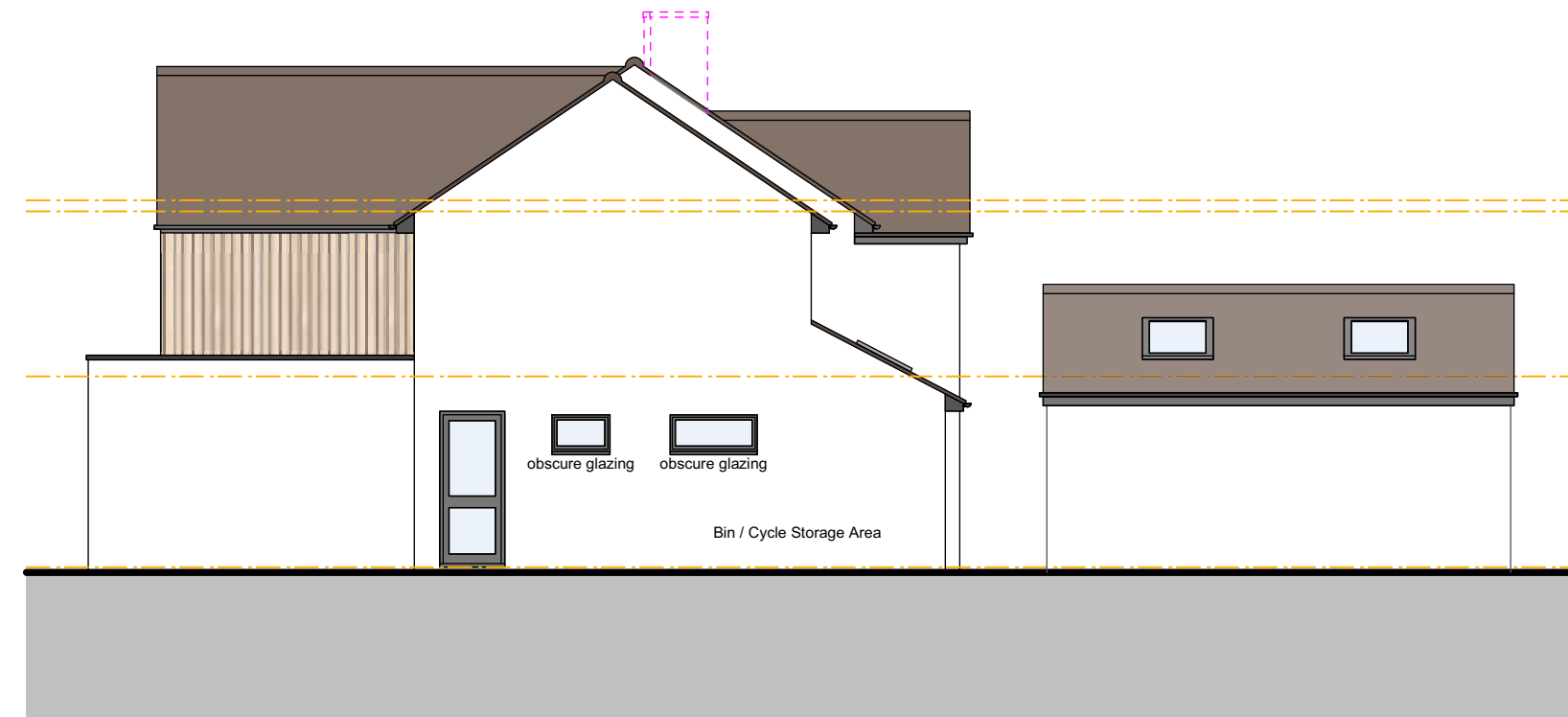
South West Elevation (Front - Garage Removed)

Scale 1:100 @ A2



North East Elevation (Rear)

Scale 1:100 @ A2



North West Elevation (Side)

Scale 1:100 @ A2



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Materials Schedule (Main House):

Walls:

All new cavity wall construction, block inner and outer leaf with full fill cavity.

White through render external finish to match existing (Garage).

All new internal walls to be timber stud or lightweight concrete block where required for load bearing

First floor rear extension to be insulated structural timber frame with Siberian Larch polyurethane cladding from Millboard or similar approved

Roof:

All new roof pitch and profile's to match existing.

New lean-to roof construction over front ground floor construction with roofing tiles to match existing.

GRP fibre roof to single storey rear projection with parapet upstand and aluminium coping.

GRP flat roof over porch.

Chimney:

Remove all existing chimney stacks.

Windows:

All windows & doors with colour frames, all to comply with current building regulations U-Value with A-Grade rating

All new side facing windows to be obscure glazing with either fixed light or top opening light over 1.7m

Bi-folding / Sliding doors to be powder coated aluminium to client final design

Pitch Rooflights:

2 No. 780mm x 550mm Velux Integra pitched rooflight over GF game room

4No. 780mm x 1180

Driveway:

Remove existing impermeable tarmac drive and replace with new permeable driveway

Patio:

Rear Patio to be permeable paving slabs

Garden:

Garden remains unchanged (laid to lawn)

Surface Water:

Surface water to discharge into existing soakaways. If new soakaways are required, soakaway should be positioned min 5m off rear wall of extension

Rev / Date / Information:



Client: HKB

Address: 31 Oxford Road
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Oxfordshire
OX20 1UN

Drawing Title: Proposed Elevations

Date: 15/06/22 Scale: 1:100

Project / Drawing No: 116 / 26 Revision: -