

DESIGN, ACCESS & HERITAGE STATEMENT

TO ACCOMPANY PLANNING APPLICATION FOR REVISION OF THE PLANNING PERMISSION REF No: 22/05434/HFUL INCLUDING REVISION OF THE APPEARANCE OF SINGLE STOREY NORTH (SIDE) AND REAR EXTENSIONS AND OMITTING PROPOSED GARARE AT ELIZABETH HOUSE, HIGH STREET, HORNINGSEA, CAMBRIDGE, CB25 9JG.



Fig 1. OS Map of Elizabeth House, High Street, Horningsea, CB25 9JG (Highlighted in red).

1.0 INTRODUCTION

On 2 March 2023 the client received planning permission Ref No: 22/05434/HFUL for proposed single storey rear extension, single storey south (side) extension, proposed link to garage (north (side) extension), alterations to approved garage (22/01676/HFUL) and demolition of existing timber shed.

The current Householder Planning Application is seeking planning permission to:

- Omit the Proposed Garage (Ref No: 22/05434/HFUL).
- Revise the appearance of Single Storey North (Side) Extension (Ref No: 22/05434/HFUL).
- Revise the appearance of Single Storey Rear Extension (Ref No: 22/05434/HFUL) to match the Proposed Single Storey North (Side) Extension.

In addition, the current proposal is seeking to reduce the impact of the design on local and residential amenity of High Street at southern part of the Horningsea Conservation Area and propose a sensitive enhancement of the property in line with National and Local Plan Policies.

2.0 PLANNING HISTORY

- Ref No: 22/05434/HFUL; Proposed single storey rear extension, single storey side extension, proposed link to garage, alterations to approved garage building (22/01676/HFUL) and demolition of existing timber shed. Approved Thu 02 Mar 2023.
- Ref No: 22/50483/PREAPP; 16 November 2022. Pre-Application Advise Request for Rear Extension and Side Conservatory at Elizabeth House, High Street, Horningsea, CB25 9JG.
- Ref No: 22/01676/HFUL; Approved 4 May 2022. Single storey side extension including detached garage.
- Ref No: S/1505/07/F; Approved 03 Oct 2007. Dwelling & Detached Garage (Fig 2&3).



Fig 2. Front (East) & Side (North) Elevations Elizabeth House, High Street, Horningsea, CB25 9JG



Fig 3. Rear (West) Elevation. Elizabeth House, High Street, Horningsea, CB25 9JG

3.0 PRECEDENTS

- Thatchcote, High Street, Horningsea, CB25 9JG. Ref No: S/2184/11 & S/0209/13/LB.
Erection of garage and garden room following demolition of existing garage/workshop.

Thatchcote



Fig 3. Thatchcote, High Street, Horningsea, CB25 9JG

- Old School, High Street, Horningsea, CB25 9JG. Ref No: S/1722/08/F; Extension.



Fig 4. Old School, High Street, Horningsea, CB25 9JG.

4.0 RELEVANT NATIONAL & LOCAL POLICIES

4.1 Planning (Listed Buildings and Conservation Areas) Act 1990

- Section 66. General duty as respects listed buildings in exercise of planning functions.
- Section 72. General duty as respects conservation areas in exercise of planning functions and desirability of preserving or enhancing the character or appearance of a Conservation Area.

4.2 National Planning Policy Framework (NPPF), February 2019¹

- The balancing of harm against benefit is a defining characteristic of the Framework's overall approach embodied in the presumption in favour of sustainable development.
- Section 2, Para. 7 sets out a presumption in favour of sustainable development.
- Section 12, Para. 17 secure high-quality design.
- Section 16 Conserving and enhancing the historic environment
- Para. 199 set out that 'When considering the impact of a proposed development on the significance of a designated heritage asset, great weight should be given to the asset's

¹https://assets.publishing.service.gov.uk/government/uploads/system/uploads/attachment_data/file/1005759/NPPF_July_2021.pdf

conservation (and the more important the asset, the greater the weight should be). This is irrespective of whether any potential harm amounts to substantial harm, total loss or less than substantial harm to its significance’.

4.3 South Cambridgeshire Local Plan (adopted Sept 2018) ²

- S/3-Presumption in favour of Sustainable Development
- S/7- Development Frameworks
- HQ/1: Design Principles to ensure development is appropriate to its context in terms of scale, mass, form, design, siting, landscaping and materials.
- Policy HQ/1 (n), sets out that proposals must protect the health and amenity of occupiers and surrounding uses from development that is overlooking, overbearing or results in a loss of daylight or development which would create unacceptable impacts such as noise, vibration, odour, emissions and dust.
- NH/14 Heritage Assets
- TI/3- Parking Provision

4.4 District design guide. Adopted March 2010

4.5 Development Affecting Conservation Areas. Adopted January 2009

5.0 LOCAL CONTEXT OF HORNINGSEA CONSERVATIONAL AREA

Elizabeth House is located on the High Street at the southern part of Horningsea Conservation Area (*Fig.5*).

² <https://www.scambs.gov.uk/media/17793/south-cambridgeshire-adopted-local-plan-2018.pdf>

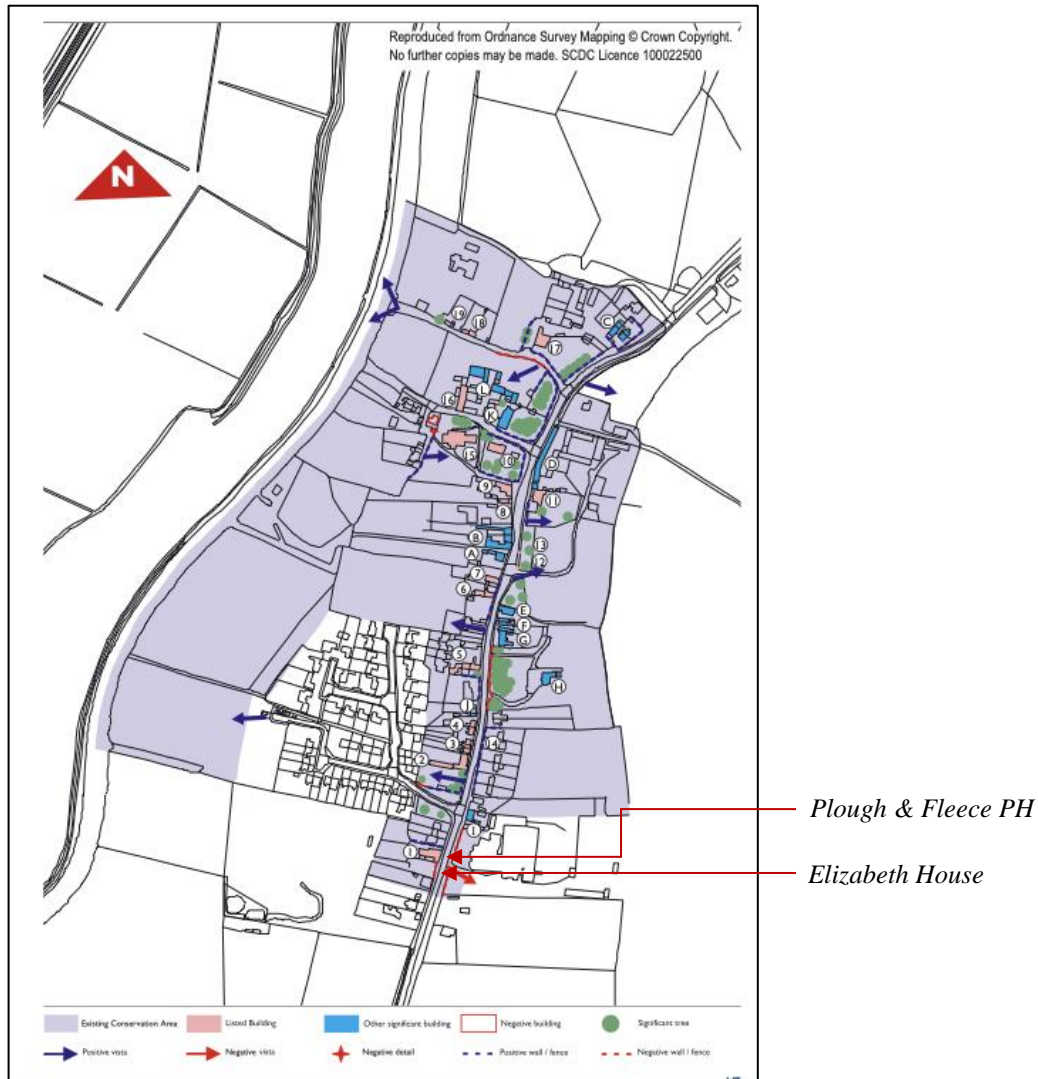


Fig 5. Horningsea Conservation Area. Draft council policy (Ref: DCV 0030)³

Elizabeth house is sharing its south boundary with the Holly Tree Cottage, now single dwelling with rendered walls and a concrete pantile roof with solar panels, made of two 19 century cottages (Fig 6). It has a rear extension and several sheds located along the boundary fence with Elizabeth House.



Fig 6. Street view: Holly Tree Cottage and Elisabeth House

³ https://www.scambs.gov.uk/media/9008/horningsea_0.pdf

Elizabeth House shared its north boundary with Plough & Fleece Public House. This is a Grade II Listed Building with painted brick walls and a plain tile mansard roof. It has a single storey rear extension running along the north boundary of Elizabeth House. The south side of the Public House is opened to the views from the High Street (*Fig 7*).



Fig 7. Street view. Plough and Fleece Public House.

Further up the road to the north of the Plough & Fleece there are a group of 1950s red brick former local authority houses with hipped tiled roofs (Nos. 51-55). A green area with mature trees located at the entrance to Priory Road and adjacent to it is Priory, a Grade II listed building. The gap through allows views of the single storey rear wing.

Key characteristics of the Horningsea Conservational Area were listed in the draft of the Council Policy⁴ and summarised in Table 1.

Table 1. Key characteristics of the Horningsea conservational area.

	Key characteristics of the Horningsea Conservational Area
Scale	1.5 storeys.
Materials	Gault brick and painted render is the pre-eminent building material. Weatherboarding used for agricultural buildings, outbuildings and occasionally on the gable ends of some houses.
Roof forms & types	Variety of roof forms. Thatched roofs, slates, clay peg tiles, buff and brown tiles and pentiles.
Location on the plot	Gable-end onto the street with side or rear service wings. Properties sit parallel with the street either directly on the back of the footway or more often behind small front gardens.
Windows	Sash windows

⁴ https://www.scambs.gov.uk/media/9008/horningsea_0.pdf

Character	The agricultural character of the village with views to the countryside and groups of farm buildings. Open fields surrounding Horningsea can be seen from many parts of the village. Boundary walls.
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In this framework, the street line of three properties (Holly Tree Cottage, Elizabeth House and Plough & Fleece Pub), built in the different times and styles, show a consistency of scale, responding to the settlement pattern of the village (*Fig 8*).

Elizabeth House



Fig 8. Street view to Elizabeth House and neighbouring properties.

Open parking of Scottsdale Garden Centre is located at the front of Elizabeth house. It created a buffer zone between the modern building of the Garden Centre (not included in the conservational area) and the traditional settlement pattern of Horningsea (*Figs 8&9*).

Scottsdale Garden Centre



Fig 9. View from Elizabeth House to Scottsdale Garden Centre

6.0 THE PROPOSAL.

A sensitive proposal (*Figs 10, 11 & 12*) has been designed respecting the character and settings of Horningsea Conservation Area.

As per Ref No: 22/05434/HFUL The Single Storey North (Side) Extension was designed as a glass link between the house and proposed garage (*Fig 13*). The current proposal omits the proposed garage and revises the appearance of Single Storey North (Side) Extension (*Fig 13*).

The Proposed Single Storey North (Side) Extension is 1.324 x 3.855 m and the same size as the approved glass link between the house and the garage (as per Ref No: 22/05434/HFUL). It has conservatory type glass walls and single ply flat roof with designer cornice and integrated gutters. The height of the Proposed Single Storey North (Side) Extension is 3.225m, which is lower than the height of the Rear Extension (Ref No: 22/05434/HFUL).

The appearance of the Rear Extension was also revised and designer cornice matching the cornice of the Proposed Single Storey North (Side) Extension was introduced (*Fig 12*).

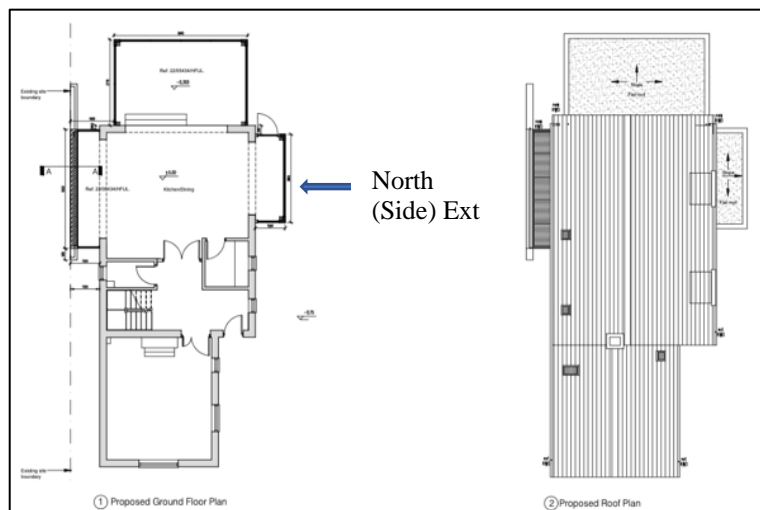


Fig 10. Proposed plans.

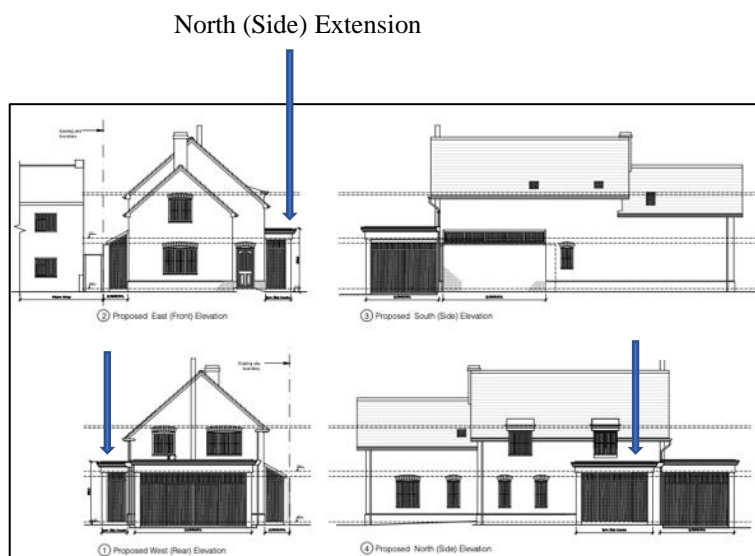


Fig 11. Proposed Elevations

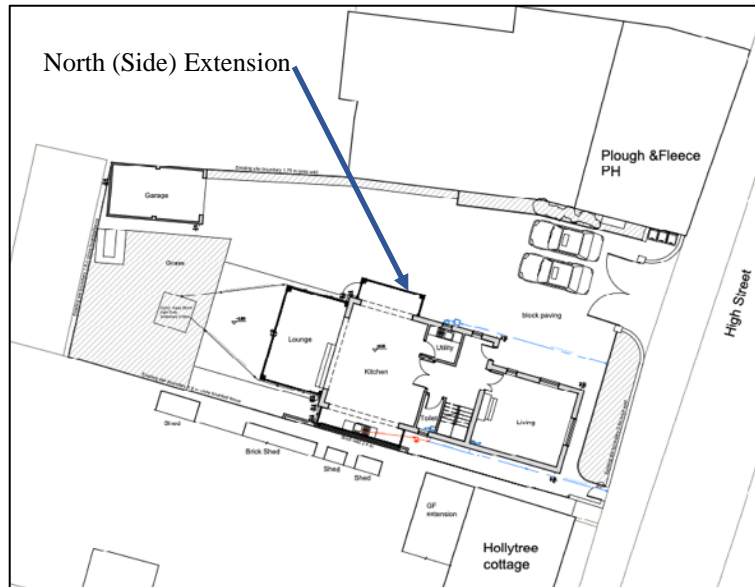


Fig 12. Proposed Site Plan

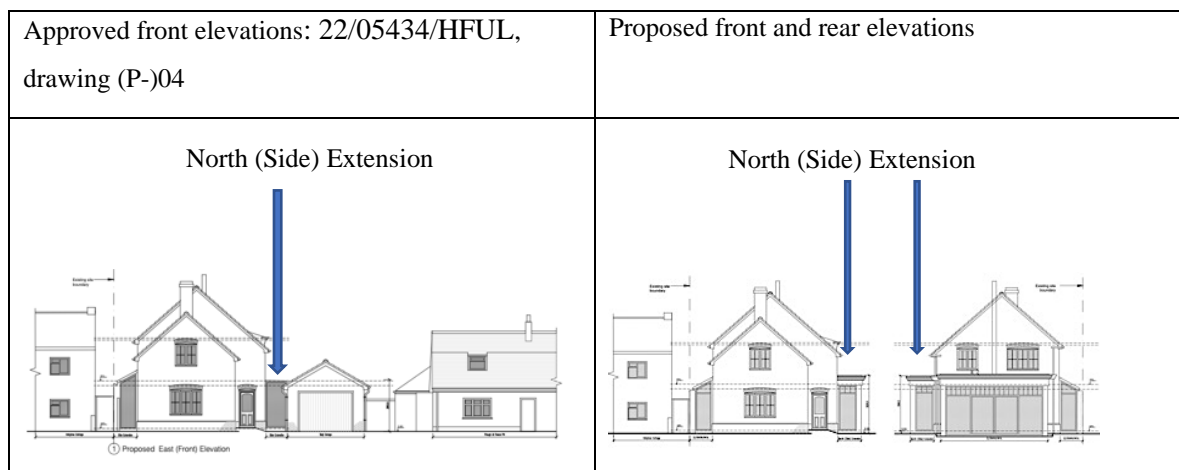


Fig 13. Comparison of the approved elevations as per Ref No:22/05434/HFUL and Proposed Elevations at Elizabeth House, High Street, Horningsea, CB25 9JG

7.0 POLICY ANALYSIS

7.1 SUSTAINABILITY (Housing and Planning Act 2016, NPPF & SCDC Local Plan Policy S/3).

The Paragraph 7 of NPPF sets out a presumption in favour of sustainable development. Where proposals will deliver sustainable development, permission should be granted without delay unless ‘any adverse impacts of doing so would significantly and demonstrably outweigh the benefits, when assessed against the policies in this Framework taken as a whole’.

The Proposal addresses three dimensions of the sustainable development (economic, social & environmental). In terms of the economic role the project will generate employment for constructional

workers and will increase the spending power of the local economy. In relation to the social and environmental impact, the proposal demonstrates a sensitive enhancement of the property, responding to the local character of High Street at Horningsea Conservation Area.

The client wishes to create a modern family home, with sustainability being paramount in the design process. All new external walls will feature a high level of insulation aiming to greatly improve on current Building Regulation performance requirements and maximise energy efficiency through design. It will reduce the carbon footprint of the house through lowering users' dependency on its heating system. The proposed windows and doors will have a higher level of thermal efficiency. It will create a comfortable family home with less fluctuations on the internal temperature. Where larger glazed elements have been introduced this is to increase and better utilise natural daylight into the primary living areas.

The embodied carbon of the extension will be also reduced by using local materials with recycled content and reusing materials during construction. Buying from local sources are also reduces the emissions produced during transportation and provides a support for the local economy.

The design intends also to improve domestic water efficiency by improved plumbing and using appliances with low water consumption at no more than 110 litres per person per day, rather than the standard 125 l/p/d. A water butt will be installed to one of the downpipes in the garden which can collect around 5,000 litres a year. This water will be used to water plants, clean car and wash windows.

Separation of waste and composting the organic waste are an effective ways of waste management.

7.2 PRINCIPAL OF THE DEVELOPEMNT (Policy S/7)

The application site is located within the development framework boundary and Conservation Area of Horningsea. The site is not located within any designated Conservation Area or the Green Belt. The site is located within Flood Zone 1 (Low Risk). The site is also not located within the Green Belt. To the North of the site is a Grade II Listed Pub known as the Plough and Fleece.

The principle of development is acceptable.

7.3 CONTEXT OF THE SITE, DESIGN & IMPACT ON HERITAGE ASSETS (Policies HQ/1(n), NH/14)

The Proposal sustains and enhances the special character and distinctiveness of the district's historic environment. It is compatible with the location and appropriate in terms of scale, density, mass, form, siting, design, proportion, materials, texture and colour in relation to the surrounding area as follows:

- The Proposed Single Storey North (Side) and Rear Extensions subservient to the main house by sympathetic design, small scale and matching materials. The frames of the new glazing will match the window frames of the existing house.
- The Proposed Single Storey North (Side) and Rear Extensions are the same size as per Ref No 22/05434/HFUL.
- The Proposed Single Storey North (Side)Extension is connected to the main house and would not create a separate dwelling or be capable of separation from the existing dwelling.
- Setting the Proposed North Side Extension away from the front face of the Elizabeth House acknowledges its original structure. Conservatory type glass walls of the Rear and North Side Extensions provides a “non-established” look.
- The Proposed Single Storey North (Side) Extension is not obscuring the views to Grade II Listed Pub known as the Plough and Fleece from High Street and will not have a detrimental impact on the streetscape of High Street and the character of the Horningsea Conservation Area.

7.4 RESIDENCIAL AMENITY (Policy HQ/1(n))

The principal dwellings to be impacted are the adjacent Grade II Listed Pub (The Plough and Fleece to the north of the site) and Hollytree Cottage to the South.

- The Proposed Single Storey North (Side) and Rear Extensions do not result in loss of light, privacy, outlook or appear overbearing to this adjacent neighbour (Hollytree Cottage).
- The brick outbuilding of Holly Tree Cottage located along the south boundary of the property screening the garden of Holly Tree Cottage from overlooking. The additional measures to reduce overlooking impact of the proposed Rear Extension to the garden of Holly Tree Cottage were taken including the 2.4m south wall of the South Extension running for 1.95m to rear beyond the extension to provide the additional screening. There is 1.9m from the glass wall of the Proposed Rear Extension the south boundary fence of 1.8m high and 2.8 m to the brick shed of the Holly Tree Cottage. These measures and distances reduce overlooking impact of the Rear Extension into the garden of Holly Tree Cottage.
- External appearance of the Proposed Single Storey North (Side) and Rear Extensions do not detract from the character and appearance of the area and sit comfortably within its context.

7.5 PARKING, ACCESS & ROAD SAFETY & HARD LANDSCAPING (POLICIES HQ/1& TI/3)

The existing garage at the rear of the property is kept and used for parking. The proposal does not seek to make any alterations to the existing access and would be able to provide the required 2 off-

street parking spaces (Fig.12). No changes to materials for the vehicle access and parking in the current proposal. Emergency vehicles are able to access the property from the High Street.

7.6 BOUNDARIES

There are no changes to the boundary treatments in the current proposal.

7.7. SERVICES

The Proposed Single Storey North (Side) Extension is connected to the main services of the existing house. Rainwater from rear downpipes is directed to Aqua Storm Light Duty Soakaway Crates at the back garden 5 m from the house (*Fig 12*). The rainwater from the downpipes at the front is directed to the exiting water collecting system.

8. HERITAGE ASSETS AND SETTINGS

8.1 STATEMENT OF SIGNIFICANCE

The significance of the existing building is singularly through its location on the south boundary of the Horningsea Conservational Area. The building itself and the wider street scape is of limited architectural value.

8.2 HERITAGE IMPACT

The design of Single Storey North (Side) and Rear Extensions respond to the settlement pattern of low scale houses and groups of agricultural buildings. The existing view to the green zone with mature trees in the depth of the property is preserved.

The nearest listed building is Grade II Plough & Fleece Public House. Given the distance and lack of intervisibility between this listed building and the application site, it is not considered that the setting of this listed building (and any other heritage assets) is to be affected by the proposal thus its significance is preserved.

Therefore it is considered that the Proposal will have no impact on the appearance of the Horningsea Conservation Area. It enhances the appearance of the property whilst not having any impact on any of the neighbouring properties or harm the character or appearance of the nearby buildings.

9.0 SUMMARY

This Design, Access and Heritage Statement demonstrates that the proposal is:

- Well-designed and consistent with National and Planning Local Policies.
- Described local heritage assets (NPPF paragraph 189).

- Makes a positive contribution to local character and distinctiveness of the area (NPPF paras 127, 185c 192c, LP HQ/1).
- Sustain and enhance the special character and distinctiveness of the heritage assets, including their setting (HQ/1, LP NH/14 & LP S/2).
- Has a minimum impact on the residential and local amenity of Horningsea Conservation Area (1990 Act, Sections 66 and 72) .