

rappor



Land off Church Road, Old Newton

Keepmoat Homes Ltd

Reserved Matters Transport Statement
June 2023





Document Control

| | | |
|----------------|--------------------------------------|-----------|
| Job No. | 22-0136 | |
| Project Name | Land off Church Road, Old Newton | |
| Document Title | Reserved Matters Transport Statement | |
| Status | Final V2 | |
| Client | Keepmoat Homes Ltd | |
| | Name | Date |
| Prepared By | Chris Elliott | June 2023 |
| Checked By | Jon Ashcroft | June 2023 |
| Approved By | Chris Elliott | June 2023 |

Record of Revisions

| Revision | Date | Details | Made By |
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| V1 | February 2022 | Draft Issue | CE |
| V2 | June 2023 | Final Issue | CE |
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- Appendix B – Appendix A – Site Access Arrangement
- Appendix C – Appendix B – Estate Road General Arrangement Drawings
- Appendix D – Swept Path Analysis



1 Introduction

General

- 1.1 Rappor Consultants Ltd (Rappor) has been instructed by Keepmoat Homes Ltd to provide transport and highways advice in support of a reserved matters planning application for the development of 64 dwellings on land off Church Road, Old Newton.
- 1.2 The site is located to the south of Church Road and benefits from outline planning permission from Mid Suffolk District Council for up to 64 dwellings (planning application ref: DC/19/02878).
- 1.3 This Transport Statement (TS) is submitted as a supporting document to a reserved matters planning application pursuant to this outline permission and should be read alongside other application documents and detailed drawings.
- 1.4 This TS will set out details of the site layout including the highway layout, car and cycle parking and vehicle swept path analysis. This TS will demonstrate that the proposed site layout site can be considered safe and suitable to provide access to all proposed dwellings for all users. As such, there are no transport reasons why the proposed reserved matters planning application should not be granted planning permission.

Report Structure

- 1.5 The remainder of this report is structured as follows:
 - Section Two- Outline Planning Permission;
 - Section Three- Reserved Matters Proposals;
 - Section Four- Proposed Highway Layout; and
 - Section Five- Summary and Conclusions.

2 Outline Planning Permission

Site Location and Composition

- 2.1 The site is located to the south of Church Road and is currently to the north of the existing built-up area of Old Newton. The application site is currently part of agricultural land to the east and south of the housing estates known as Greenacres and Mutton Meadow in Old Newton. The site location is identified in **Figure 2.1**.

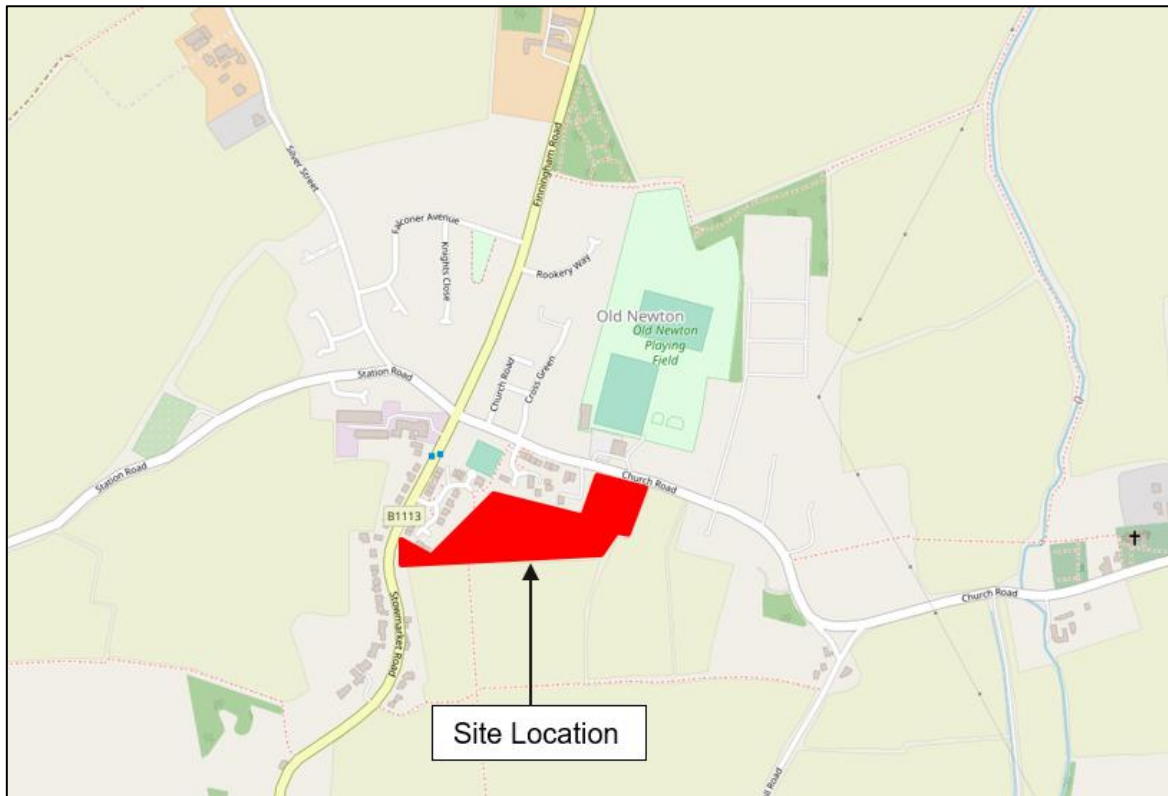


Figure 2.1: Site Location Plan (source: openstreetmap.org)

- 2.2 The site benefits from Outline planning permission from Mid Suffolk District Council for up to 64 dwellings (planning application ref: DC/19/02878). As part of this outline planning permission, matters relating to access and landscaping were considered in detail. All other matters were reserved for future consideration.

Consented Access Arrangements

- 2.3 Access to the site is to be provided via a new priority junction with Church Road, which would serve all 64 dwellings. As part of this access junction, visibility splays of 2.4m x 44m and 2.4m x 70m are to be provided to the east and west of the site access on Church Road, respectively.
- 2.4 From this access junction, the main spine road would provide access to the dwellings via a combination of direct access, connecting roads and a parking court. Within the site, turning heads are provided to allow larger vehicles to turn within the site.



- 2.5 Pedestrian access to the site is proposed via a number of locations. Footways of 2m in width are proposed on both sides of the site access with Church Road along the length of the site frontage, whilst pedestrian links are also proposed to Stowmarket Road at the western end of the site and Greenacres to the north of the site.
- 2.6 The pedestrian link to Greenacres will follow the route of footpath that runs north-south from Greenacres through the site and continues through the adjacent land. A dedicated footpath link will be provided to the south of the site to ensure this route is maintained.

Outline Planning Permission

- 2.7 The outline planning permission includes a number of highways related conditions. These cover matters including access, visibility splays, provision of electric vehicle charging points, provision of parking spaces and submission of a Travel Plan.



3 Reserved Matters Proposal

3.1 Keepmoat Homes now propose to submit a reserved matters planning application, pursuant to the outline permission. It is proposed to provide 64 dwellings, with the following accommodation mix:

- 1- bed flat- 2;
- 2-bed flats- 2;
- 2-bed bungalows- 11;
- 2-bed houses- 7
- 3-bed bungalows- 11;
- 3-bed houses- 12
- 4-bed houses- 19
- Total- 64 dwellings.

3.2 The architects site layout plan is provided at **Appendix A**.

Car Parking

3.3 Car parking standards in Mid Suffolk are set out in the Suffolk County Council technical guidance '*Suffolk Guidance for Parking- Third Edition May 2019*'. These set out the following advisory parking standards for residential developments:

- a) 1 bed- 1 space per unit;
- b) 2/ 3 beds- 2 spaces per unit; and
- c) 4+ beds- 3 spaces per unit.

3.4 In addition, visitor parking is required at a ratio of 0.25 spaces per dwelling.

3.5 The site layout plan shows provision of car parking in accordance with this parking guidance. All 2/3 bed dwellings will have two allocated spaces, whilst 4 bed dwellings will have three allocated spaces.

3.6 All dwellings with on plot parking will be provided with an active electric vehicle charging point.

Cycle Parking

3.7 Suffolk Parking Guidance also sets out cycle parking requirements for new developments. This states that two secure, covered cycle parking spaces should be provided per dwelling.

3.8 Cycle parking is to be provided in the form of sheds within the rear gardens of all dwellings, with a dedicated cycle storage area provided for the flats.



4 Proposed Highway Layout

Site Access Proposals

- 4.1 The proposed site access junction with Church Road is shown in the Avocet Civils drawing provided at **Appendix B**. The proposed junction accords with the outline planning permission and is formed by an access road of 5.5m in width with 11m kerb radii at the junction.
- 4.2 Again, in accordance with the junction arrangement approved as part of the outline planning permission, visibility splays of 2.4m x 44m and 2.4m x 70m are provided to the east and west respectively.

Pedestrian Access

- 4.3 In accordance with the outline planning permission, the proposed site layout contains four pedestrian access points. One of these is via the site access with Church Road, where 2m footways are provided along the site frontage. These are shown in the Avocet Civils drawing provided at **Appendix B**, and also the Estate Road General Arrangement drawings provided at **Appendix C**.
- 4.4 In addition, a footpath connection to Stowmarket Road at the western end of the site is proposed, whilst the route of the existing footpath that runs from land to the south through the site to Greenacres will also be maintained through the site. These are shown in the Avocet Civils drawings provided at **Appendix C**.

Internal Road Layout

- 4.5 The Estate Road General Arrangement drawings provided at **Appendix C** detail the proposed layout of roads within the site. The main spine road has a carriageway width of 5.5m. Along this main road, a raised section of carriageway is proposed to assist in maintaining low vehicle speeds. In addition, at the western end of the primary road, the turning head will be raised to link with the shared surface to the north.
- 4.6 On-plot parking is accessed via driveways, whilst a number of shared private drives are also proposed. Within the north-west of the site, a shared surface is proposed that provides access to a number of dwellings and a shared parking area.
- 4.7 A network of footways is also provided within the site. These footways will be a minimum of 2m in width.

Refuse Collection

- 4.8 To confirm that refuse vehicles can satisfactorily enter and exit the site in forward gear and turn within the site, vehicle swept path analysis has been undertaken. This is shown in the Avocet Civils drawings provided at **Appendix D**.
- 4.9 This swept path analysis demonstrates that an 11.2m refuse vehicle is able to satisfactorily enter and exit the site from Church Road, and also turn within the turning heads provided within the site.



- 4.10 The refuse vehicle can satisfactorily get to within 10m of all dwellings such that refuse can be collected from the edge of each property.

Emergency Vehicle Access

- 4.11 On the basis that the refuse vehicle can satisfactorily enter, exit and turn within the site, emergency vehicles will also be able to satisfactorily access the site, since these will be smaller than the refuse vehicle. Emergency vehicle access will be provided within 45m of all parts of all dwellings.

Road Safety Audit

- 4.12 The Church Road site access arrangement (produced by Avocet Civils) has been subject to Stage 1 and Stage 2 Road Safety Audits as part of the S278 detailed design process.



5 Summary and Conclusions

- 5.1 Cotswold Transport Planning Ltd (CTP) has been instructed by Keepmoat Homes Ltd to provide transport and highways advice in support of a reserved matters planning application for the development of 64 dwellings on land off Church Road, Old Newton.
- 5.2 The site is located to the south of Church Road and benefits from outline planning permission from Mid Suffolk District Council for up to 64 dwellings (planning application ref: DC/19/02878).
- 5.3 This Transport Statement has demonstrated the following:
- a) Vehicle access to the site is to be provided via a priority junction with Church Road in accordance with the outline planning permission.
 - b) Pedestrian access to the site is to be provided via Church Road, Stowmarket Road and Greenacres in accordance with the outline planning permission.
 - c) Car and cycle parking is provided in accordance with Suffolk County Council parking standards guidance.
 - d) The internal road and footpath layout is suitable to serve the proposed dwellings and accords with Manual for Streets and Suffolk County Council design guidance.
 - e) Suitable refuse collection and emergency vehicle access arrangements are proposed for all dwellings.
 - f) A Stage 1 Road Safety Audit has been undertaken and the findings incorporated into the submitted drawings (where appropriate).
- 5.4 Based on the above, it can be concluded that the proposed site layout accords with the outline planning permission and has been designed in accordance with relevant design guidance. As such, there are no transport or highways reasons why the reserved matters planning permission cannot be granted.

Appendix A – Site Layout Plan

| Revision: | Date: | Drawn: | Check: |
|-----------|------------|--------|---------|
| B | 01/10/2021 | SNP | RTS |
| C | 18/10/2021 | LKB | RTS |
| D | 19/10/2021 | RTS | LKB/AYA |
| E | 21/10/2021 | SNP | RTS/AYA |
| F | 02/11/2021 | LKB | RTS/AYA |
| G | 03/11/2021 | KTB | LBU |
| H | 04/11/2021 | RTS | LBU/AYA |
| J | 08/11/2021 | KTB | RTS/SJD |
| K | 09/11/2021 | KTB | RTS/AYA |
| L | 30/11/2021 | LKB | RTS/AYA |
| M | 30/11/2021 | LKB | AYA/SJD |
| N | 01/12/2021 | LKB | AYA/SJD |
| P | 03/12/2021 | LKB | KTB/RTS |
| Q | 15/12/2021 | LKB | AYA/RTS |
| R | 16/12/2021 | LKB | AYA/RTS |
| S | 20/12/2021 | LKB | KMW/RTS |



| Church Road, Old Newton | | | | |
|---------------------------|-----------|------|------|------------------------|
| OMS | No. | Type | sqft | Name |
| 2B Bungalow | 7 | 2B3P | 850 | D |
| 3B Bungalow | 11 | 3B4P | 1172 | F |
| 3B House | 2 | 3B4P | 850 | Caddington |
| 3B House | 3 | 3B4P | 869 | Windsor |
| 4B House | 10 | 4B7P | 1297 | Burton |
| 4B House | 9 | 4B7P | 1422 | N |
| Affordable Rent * | | | | |
| 1B Flat | 2 | 1B2P | 538 | Bespoke Maisonette (A) |
| 2B Flat | 2 | 2B4P | 753 | Bespoke Maisonette (B) |
| 2B Bungalow | 4 | 2B4P | 753 | C |
| 2B House | 5 | 2B4P | 865 | Carlton |
| 3B House | 4 | 3B5P | 1026 | Henbury |
| Shared Ownership # | | | | |
| 2B House | 2 | 2B4P | 865 | Carlton |
| 3B House | 3 | 3B5P | 1026 | Henbury |
| Total | 64 | | | |

| | | |
|-----------------------|---------|------------------------------|
| Total Site Area | 36969.2 | Metres squared |
| Total Site Area | 3.69692 | Hectares |
| Site Density | 17.31 | Dwellings per Hectare |
| Site Developable Area | 22579.1 | Metres squared |
| Site Developable Area | 2.25791 | Hectares |

Project: Church Road, Old Newton

Status: Planning

Client: Keepmoat Homes

Sheet title: Plan with landscape line

Scale: 1:500@A1

Date: 05/07/2021

Drawn: RTS

Checked: SNP/LRA

Ref: 101-427/(P)016S

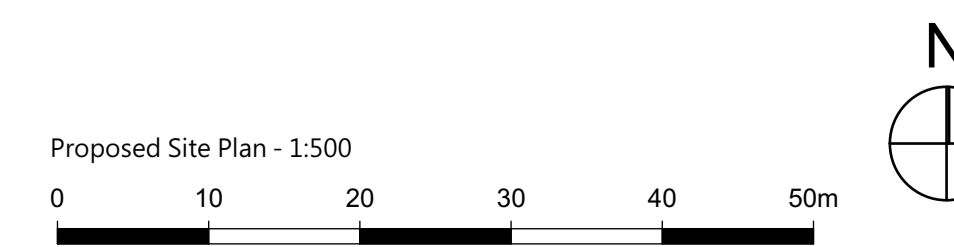
London | Birmingham | Leicester
 0203 27 0381 | 0123 309 0071 | 0116 204 5800
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Information here produced using topographical survey and Title Plan SK390808

For Discussion Purposes: Subject to Local Authority and Highways comments. Red Line boundary based on topographical survey and to be agreed and confirmed with Land Registry.

Layout based on information present at time of production.



Appendix B – Site Access Arrangements

TS1 & TS4

NEW ROAD LAYOUT AHEAD

DIAG 714
75mm X-HEIGHT
CLASS RA2 (12899-1:2007)

NOTE:
2.1m MOUNTING HEIGHT.
TRAFFIC SIGN MAY BE RETAINED NOT LATER THAN THE END OF THE PERIOD OF 3 MONTHS BEGINNING WITH COMPLETION OF THE WORKS.

TS3

Playground

DIAG 545
600mm
CLASS RA2 (12899-1:2007)

DIAG 547.2
75mm X-HEIGHT
CLASS RA2 (12899-1:2007)

NOTE:
2.1m MOUNTING HEIGHT.
SIGNS TO BE ERECTED BACK TO BACK.

COPPERFIELD WAY
PRIVATE ROAD

ALUMINUM STREET NAME PLATE

SIGN SPECIFICATION AS PER ABERGHEATH AND MID SUFFOLK DISTRICT COUNCIL'S SPECIFICATION FOR STREET NAME SIGNS DOCUMENT.

KEY

MARK + GAP x WIDTH

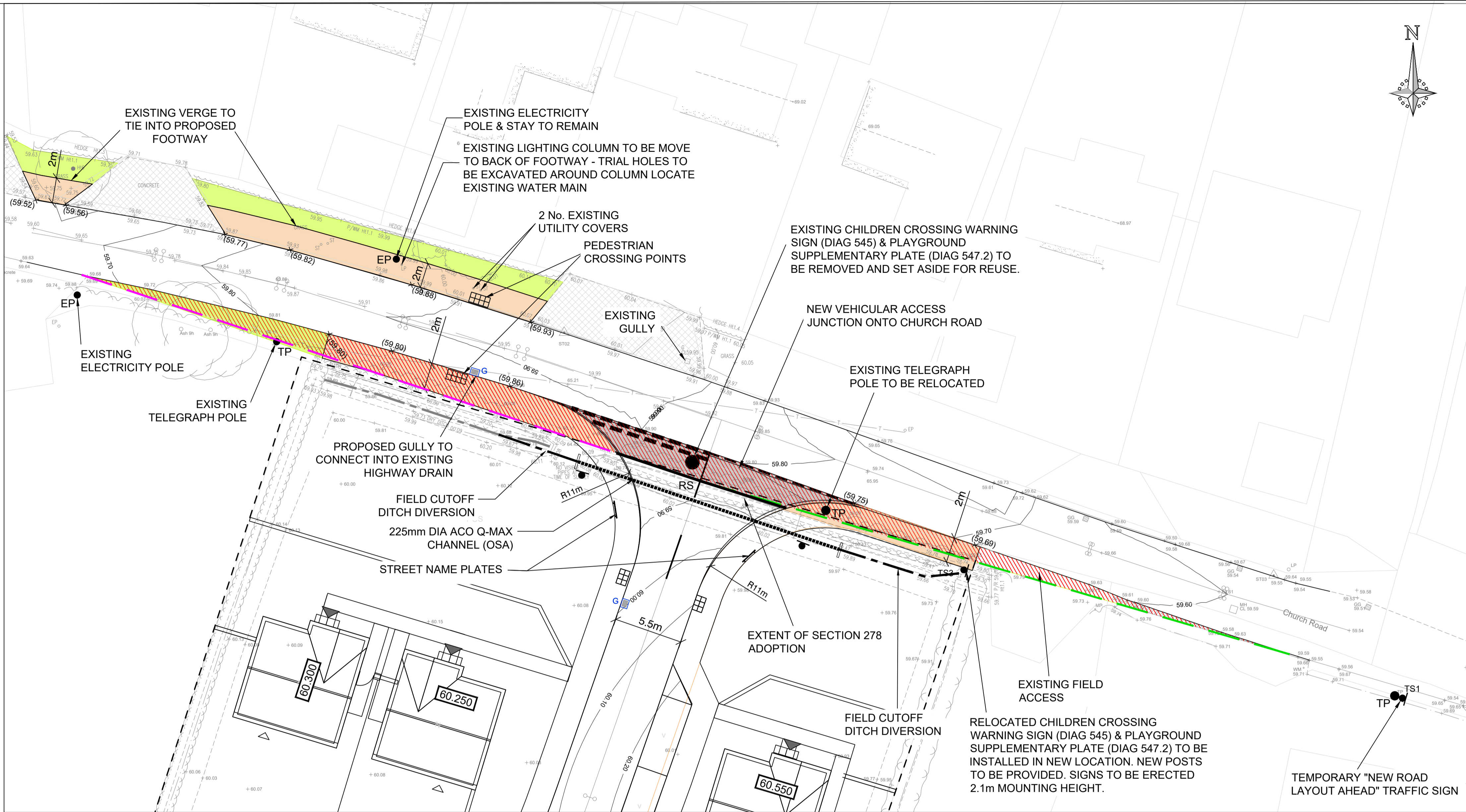
M1 4m + 2m x 100mm, DIA 1004, WARNING

M2 600 + 300 x 200mm, DIA 1003, GIVE WAY

M3 600 + 300 x 100mm, DIA 1009, EDGE OF CARRIAGEWAY

NOTE: CONTRACTOR TO ENSURE COMPLIANCE WITH SUFFOLK COUNTY COUNCIL'S SPECIFICATION.

TYPICAL JUNCTION GIVE WAY ROAD MARKING DETAIL (NOT TO SCALE)



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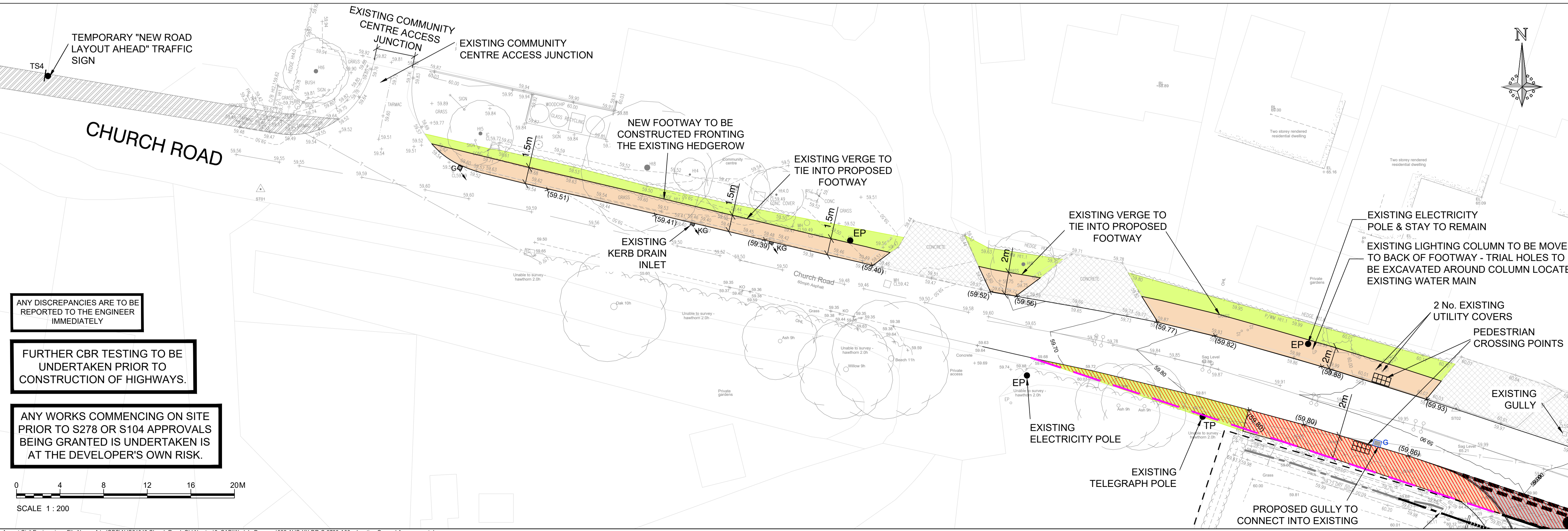
SAFETY, HEALTH AND ENVIRONMENTAL INFORMATION
Refer to the relevant Construction (Design and Management) documentation where applicable.
It is assumed that all works on this drawing will be carried out by a competent contractor, working where appropriate to an approved method statement.

KEY

- PROPOSED CARRIAGEWAY
- PROPOSED FOOTWAY
- EXISTING GRASS VERGE
- EXISTING VEHICLE CROSSOVERS
- EXISTING VEGETATION REMOVED/TRIMMED WITHIN VISIBILITY SPLAY
- EXISTING FOOTWAY
- EXISTING ELECTRICITY/TELEGRAPH POLE
- EXISTING LIGHTING COLUMN
- EXISTING TRAFFIC SIGN
- EXISTING SIGN
- EXISTING GULLY
- EXISTING KERB DRAIN INLET
- EXISTING LEVEL
- PROPOSED LEVEL
- 2.4 x 52m VISIBILITY SPLAY
- 2.4 x 49m VISIBILITY SPLAY
- EXISTING STREET LIGHTING COLUMN

NOTES:

- THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL ENGINEERS, ARCHITECTS' OR OTHER RELEVANT DRAWINGS AND SPECIFICATIONS.
- ALL DIMENSIONS AND LEVELS ARE TO BE CHECKED ON SITE BY THE CONTRACTOR PRIOR TO PREPARING ANY WORKING DRAWINGS OR COMMENCING ON SITE.
- THE CONTRACTOR MUST ENSURE AND WILL BE HELD RESPONSIBLE FOR THE OVERALL STABILITY OF THE BUILDING/STRUCTURE/EXCAVATION AT ALL STAGES OF THE WORK.
- ALL WORK BY THE CONTRACTOR MUST BE CARRIED OUT IN SUCH A WAY THAT ALL REQUIREMENTS UNDER THE HEALTH AND SAFETY AT WORK ACT ARE SATISFIED.
- ALL WORK IS TO BE CARRIED OUT IN COMPLIANCE WITH THE REQUIREMENTS OF THE RELEVANT STATUTORY AUTHORITIES AND REGULATIONS.
- FOR DETAILS REGARDING EXISTING STATUTORY UNDERTAKER APPARATUS PLEASE REFER TO RELEVANT UNDERTAKERS MAPPING.



OFFSITE HIGHWAY DESIGN SUBJECT TO SUFFOLK COUNCIL APPROVAL

| Rev | Date | Description | By |
|-----|----------|--|----|
| A06 | 21.04.23 | SITE LAYOUT UPDATED. AMENDED AS PER SCC COMMENTS | HT |
| A05 | 24.10.22 | AMENDED AS PER STAGE 2 RSA COMMENTS | HT |
| A04 | 04.10.22 | SITE LAYOUT UPDATED. AMENDED AS PER SCC COMMENTS | HT |
| A03 | 06.06.22 | STREET LIGHTING ADDED | HT |
| A02 | 24.05.22 | ADDITIONAL SURVEY ADDED & DRAWING UPDATES | HT |
| A01 | 11.04.22 | TENDER ISSUE | HT |

Client

Keepmoat Homes

Project
LAND OFF CHURCH ROAD, OLD NEWTON

Title
CHURCH ROAD ACCESS JUNCTION GENERAL ARRANGEMENT

Drawing Status
TENDER

| Drawn | Checked | Approved | Date | Scale @ A1 |
|-------|---------|----------|----------|------------|
| HT | VW | JM | APR 2022 | 1:200 |

Project No.
AVO-21049

Drawing No.
CIV-2780

Revision
A06

982-AVO-XX-DR-C-2780

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Appendix C – Estate Road General Arrangement Drawings

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 5. WHERE TREES ADJACENT TO HIGHWAYS OR DRAINAGE ARE PROPOSED ROOT BARRIERS (TYPE TO BE APPROVED) ARE REQUIRED TO PREVENT STRUCTURAL DAMAGE.
 6. ANY ANOMALY OR CONTRADICTIONS BETWEEN ANY OF THE ABOVE IS TO BE REPORTED IMMEDIATELY.
 7. THE CONTRACTOR IS TO COMPLY IN ALL ASPECTS WITH THE CURRENT BRITISH STANDARDS, BUILDING REGULATIONS AND BUILDING LEGISLATION ETC.
 8. ALL PIPE SIZES, CHAMBER DEPTHS, SIZE & QUANTITY SUBJECT TO REVIEW AND DETAILED DESIGN. ALL ADOPTED PIPE WORK ROUTING AND ANY EASEMENTS SUBJECT TO FULL DESIGN REVIEW AND APPROVAL BY THE STATUTORY UNDERTAKER (A PART OF THE SECTION 104 ADOPTION AGREEMENT).
 9. ALL ATTENUATION SIZES BASED UPON CURRENT SITE LAYOUT AND IS SUBJECT TO CHANGE FOLLOWING RECEIPT OF REVISED ARCHITECTURAL SITE PLANS AND APPROVAL BY LFA / EA & STATUTORY UNDERTAKER.

STREET NAME PLATE NOTES

SIGN SPECIFICATION AS PER BARBERGH AND MD SUFFOLK DISTRICT COUNCIL'S SPECIFICATION FOR STREET NAME SIGNS DOCUMENT.
 BLACK TEXT AND BORDER ON WHITE BACKGROUND.
 EMBOSSED ALUMINIUM STREET NAME PLATE.
 TO INCORPORATE 'NO THROUGH ROAD' SIGNAGE DECAL WHERE APPROPRIATE. 'NO THROUGH ROAD' SYMBOL TO DAD: 816.1 IF REQUIRED (SEE 12088).
 FIXED IN TO PROPRIETARY BLACK RE-CYCLED PLASTIC NAMEPLATE SUPPORTS (POSTS 80 x 80mm) AND BACKSBOARD.
 ALL TO BE SECURED WITH ANTI-TAMPER FRANGES.
 POSTS FIXED IN TO ST2 FOUNDATION, NOMINALLY 450x450x450mm. SURFACE FINISHING COURSE TO EXTEND OVER FOUNDATION TO BE AGREED WITH HIGHWAY AUTHORITY.

LEGEND

- Proposed Street Lighting - Refer to EDS Ltd. calculations & drawings
- Safety Sign & Lifebuoy (As Keepmoat Homes standard for basins)

ANY DISCREPANCIES ARE TO BE REPORTED TO THE ENGINEER IMMEDIATELY

FURTHER CBR TESTING TO BE UNDERTAKEN PRIOR TO CONSTRUCTION OF HIGHWAYS.

ANY WORKS COMMENCING ON SITE PRIOR TO S278 OR S104 APPROVALS BEING GRANTED IS UNDERTAKEN AT THE DEVELOPER'S OWN RISK.

| Rev | Date | Description | By |
|-----|----------|--|----|
| A04 | 04.05.23 | STREET LIGHTING DESIGN UPDATED | HT |
| A03 | 21.04.23 | TENDER ISSUE, SITE LAYOUT UPDATED, STREET NAME PLATE LOCATIONS ADDED | HT |
| A02 | 23.02.22 | PLOTS 1-9 LAYOUT UPDATED | HT |
| A01 | 11.04.22 | TENDER ISSUE | AR |



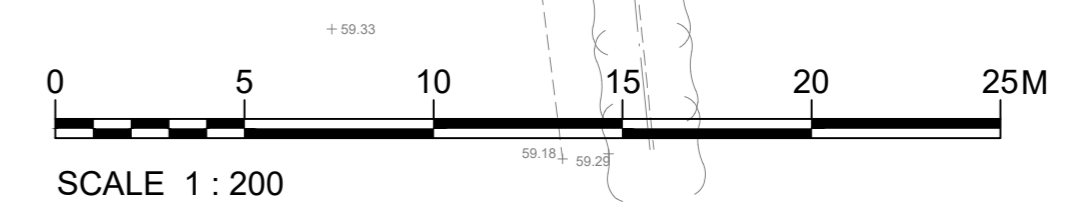
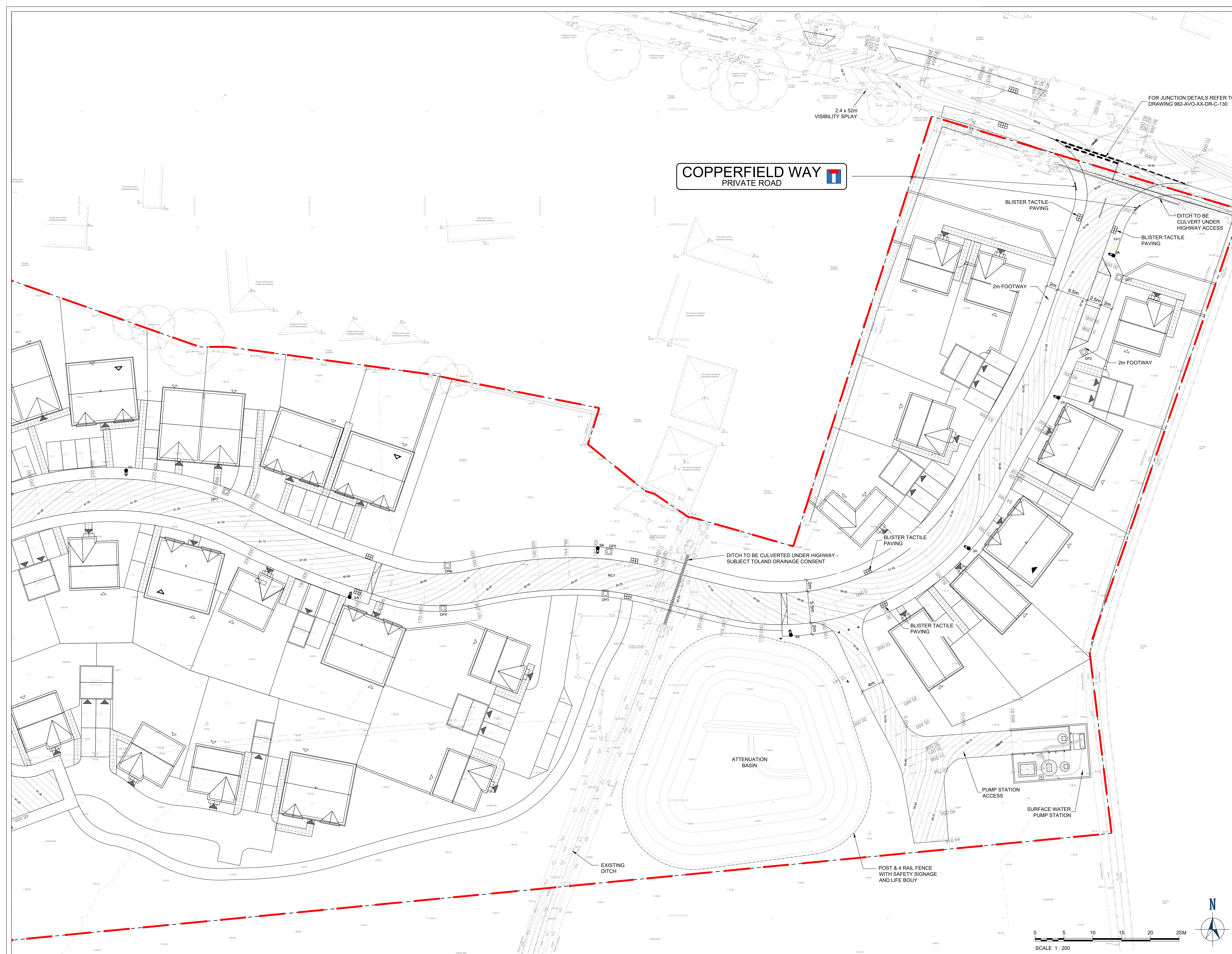
Project
LAND OFF CHURCH ROAD, OLD NEWTON

Title
ESTATE ROAD GENERAL ARRANGEMENT SHEET 1

Drawing Status

| Drawn | Checked | Approved | Date | Scale @ AD |
|-------|---------|----------|----------|------------|
| AR | VW | JM | APR 2022 | 1:200 |

Project No. AVO-21049
 Drawing No. CIV-1020
 Revision 982-AVO-XX-DR-C-1020 A04



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 BLACK TEXT AND BORDER ON WHITE BACKGROUND.
 TO INCORPORATE 'NO THROUGH SIGNAGE DECAL WHERE APPROPRIATE. NO THROUGH ROAD' SYMBOL TO DAG. 816.1 IF REQUIRED (100% 120mm).
 FIXED IN TO PROPRIETARY BLACK RECYCLED PLASTIC NAMEPLATE SUPPORTS (POSTS 50 x 50mm) AND BACKBOARD.
 ALL TO BE SECURED WITH ANTI-TAMPER FRANGES.
 POSTS FIXED IN TO ST2 FOUNDATION, NOMINALLY 450x450x450mm. SURFACE FINISHING COURSE TO EXTEND OVER FOUNDATION TO BE AGREED WITH HIGHWAY AUTHORITY.

- LEGEND**
- Proposed Street Lighting - Refer to EDS Ltd. calculations & drawings
 - Safety Sign & Lifebuoy (As Keepermoat Homes standard for basins)

ANY DISCREPANCIES ARE TO BE REPORTED TO THE ENGINEER IMMEDIATELY.

FURTHER CBR TESTING TO BE UNDERTAKEN PRIOR TO CONSTRUCTION OF HIGHWAYS.

ANY WORKS COMMENCING ON SITE PRIOR TO S278 OR S104 APPROVALS BEING GRANTED IS UNDERTAKEN IS AT THE DEVELOPER'S OWN RISK.

| | | | |
|---------|----------|--|----|
| AO3 | 04.05.23 | [STREET LIGHTING DESIGN UPDATED] | HT |
| AO2 | 21.04.22 | TENDER ISSUE. SITE LAYOUT UPDATED. STREET NAME PLATE LOCATIONS ADDED | HT |
| AO1 | 11.04.22 | TENDER ISSUE | AR |
| Rev | Date | Description | By |
| Client: | | | |

Keepmoat Homes

Project: LAND OFF CHURCH ROAD, OLD NEWTON

Title: ESTATE ROAD GENERAL ARRANGEMENT SHEET 2

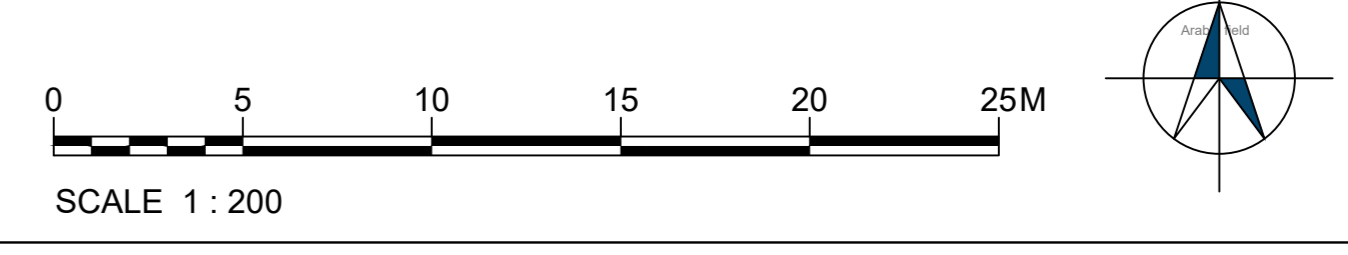
Drawing Status: TENDER

| Drawn | Checked | Approved | Date | Scale @ A0 |
|-------|---------|----------|----------|------------|
| AR | VW | JM | APR 2022 | 1:200 |

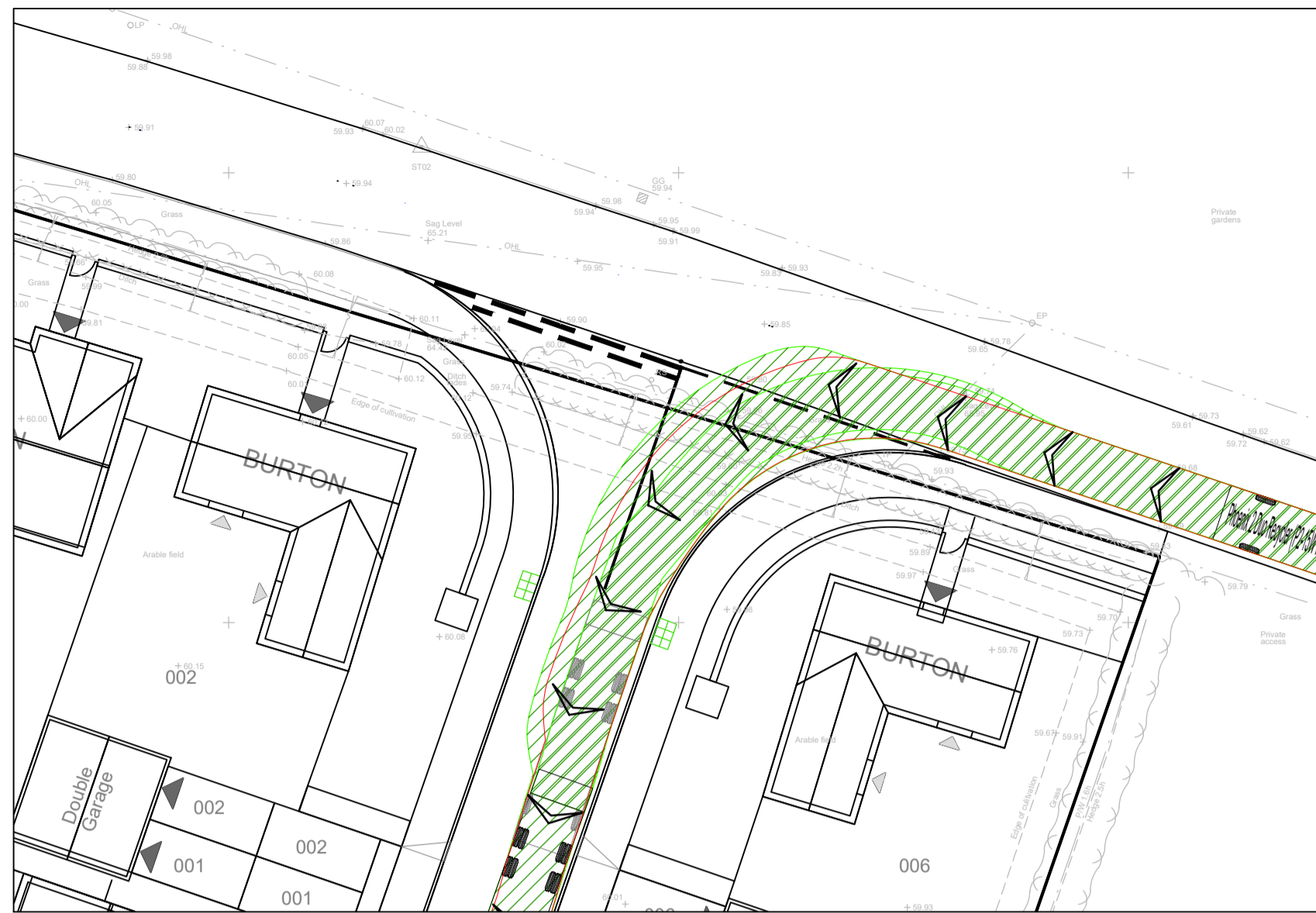
Project No: AVO-21049 Drawing No: CIV-1021 Revision: A03
 982-AVO-XX-DR-C-1021

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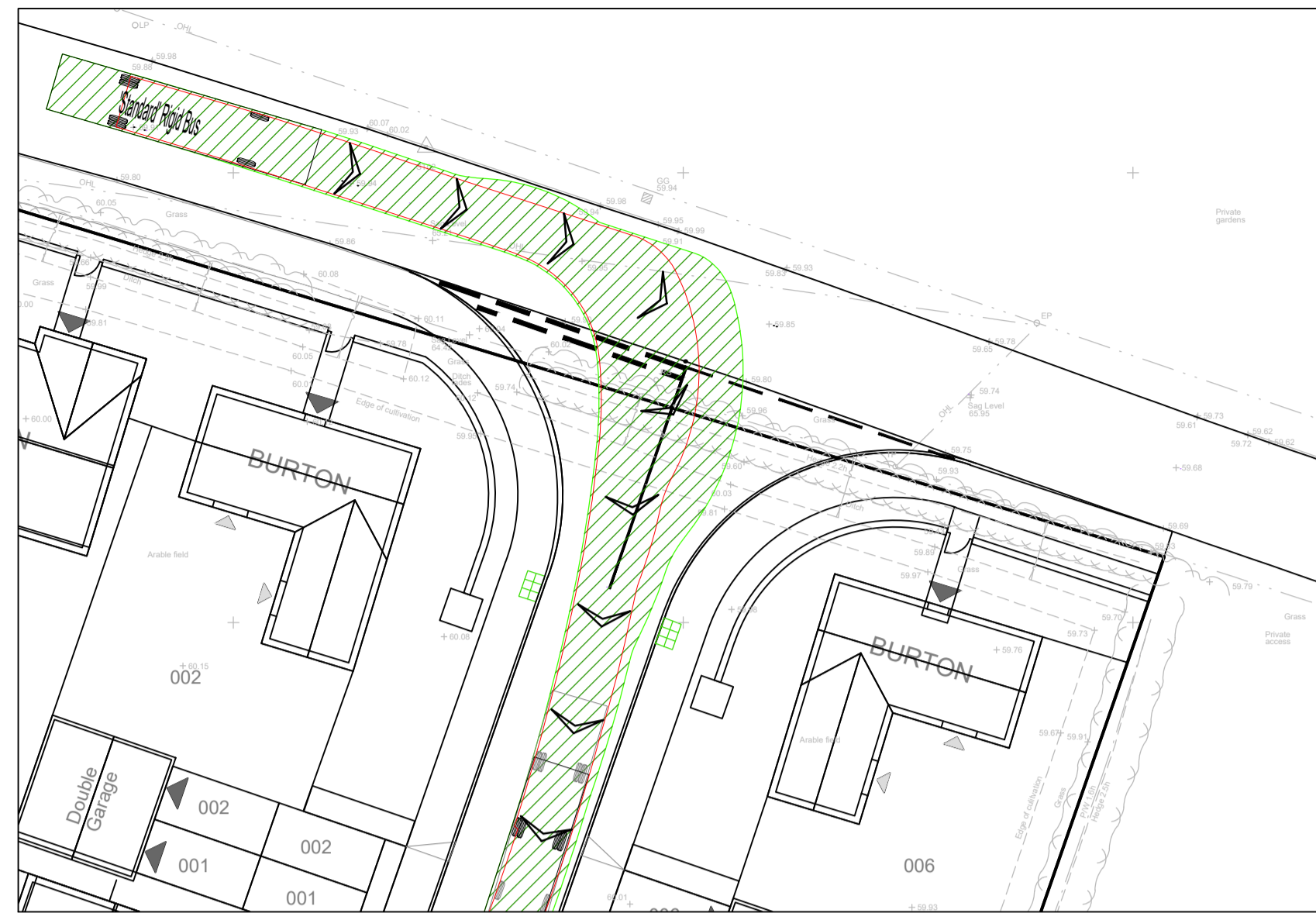
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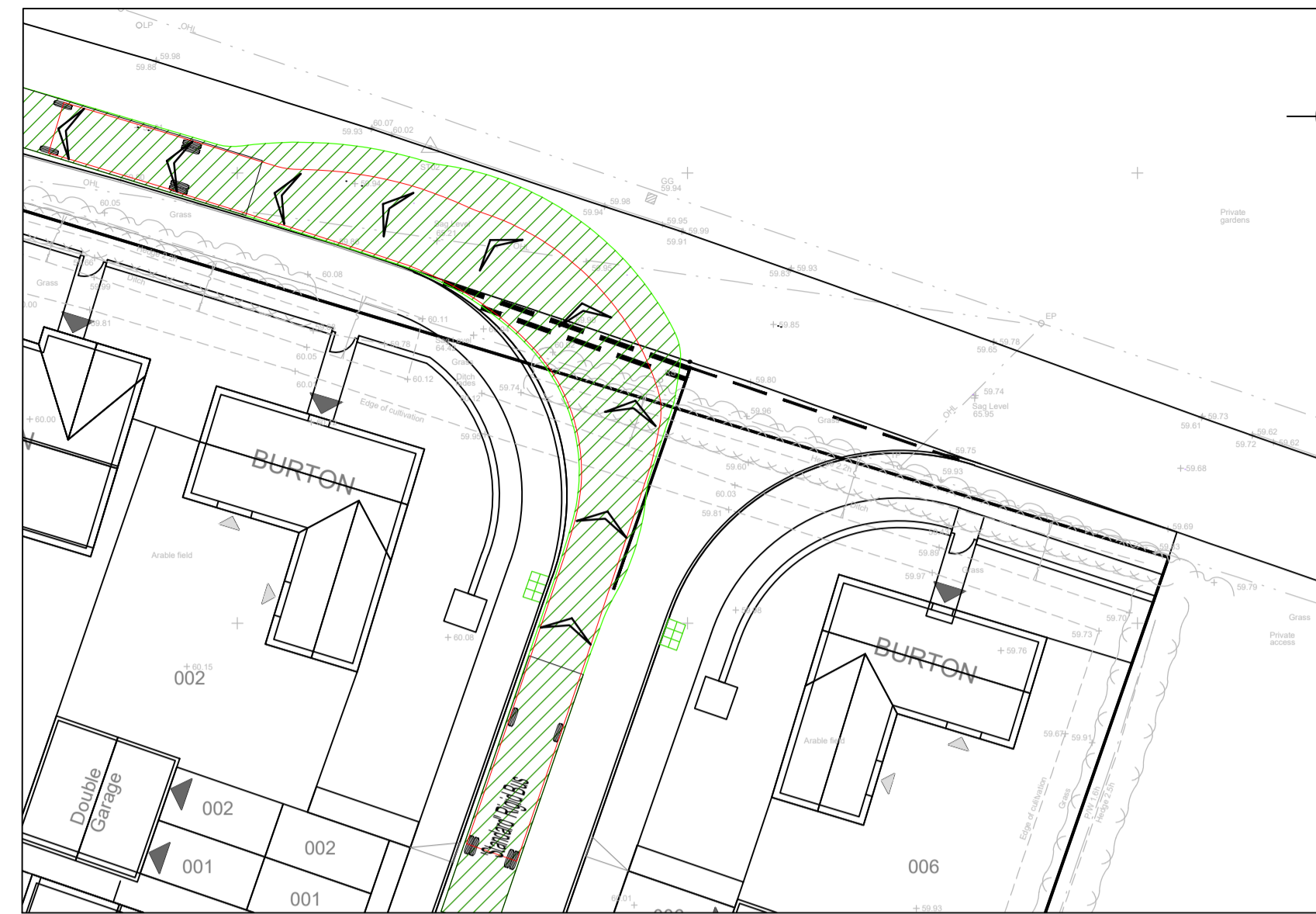
Appendix D – Swept Path Analysis



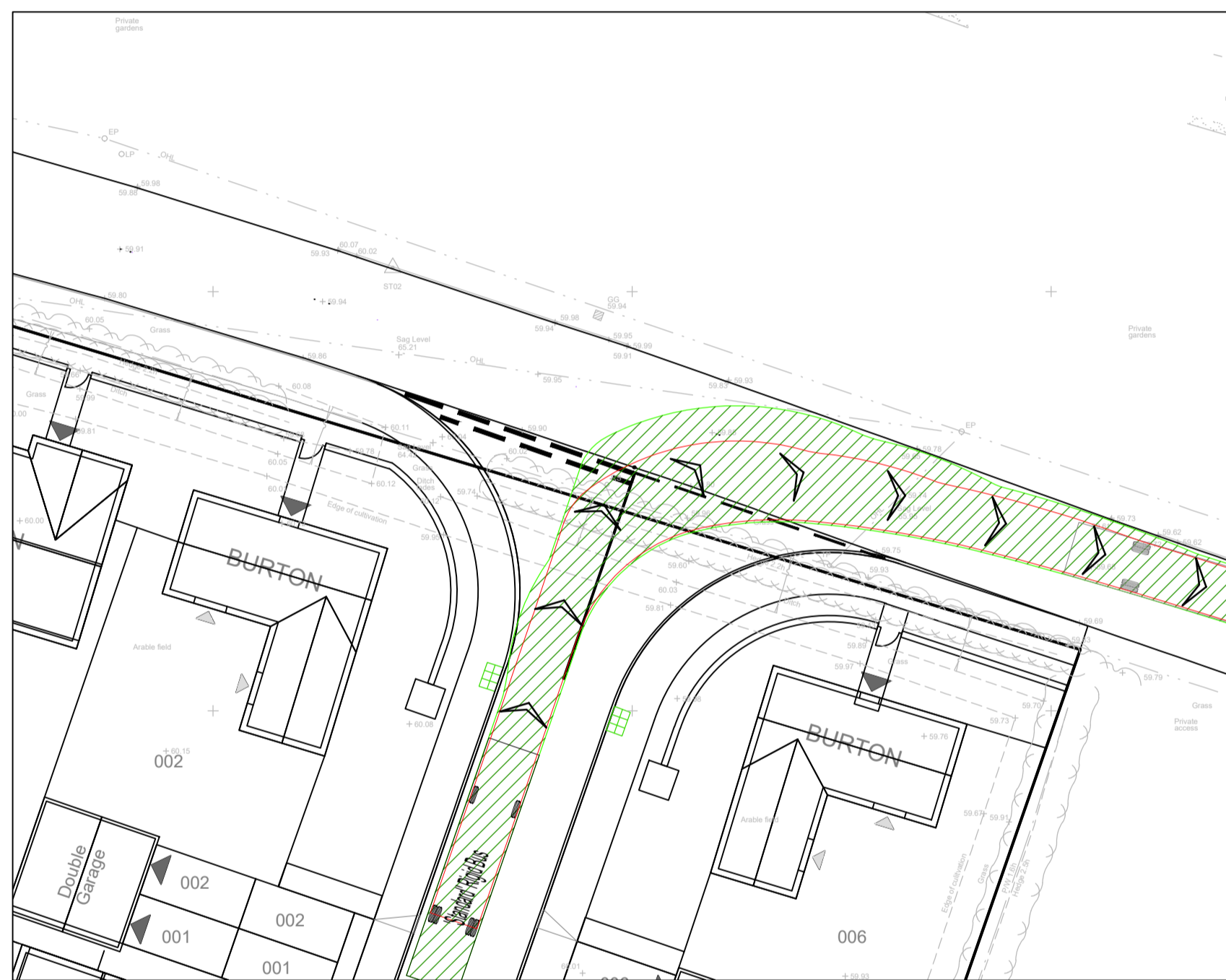
REFUSE VEHICLE LEFT TURN INTO DEVELOPMENT



REFUSE VEHICLE RIGHT TURN INTO DEVELOPMENT



REFUSE VEHICLE LEFT TURN OUT OF DEVELOPMENT



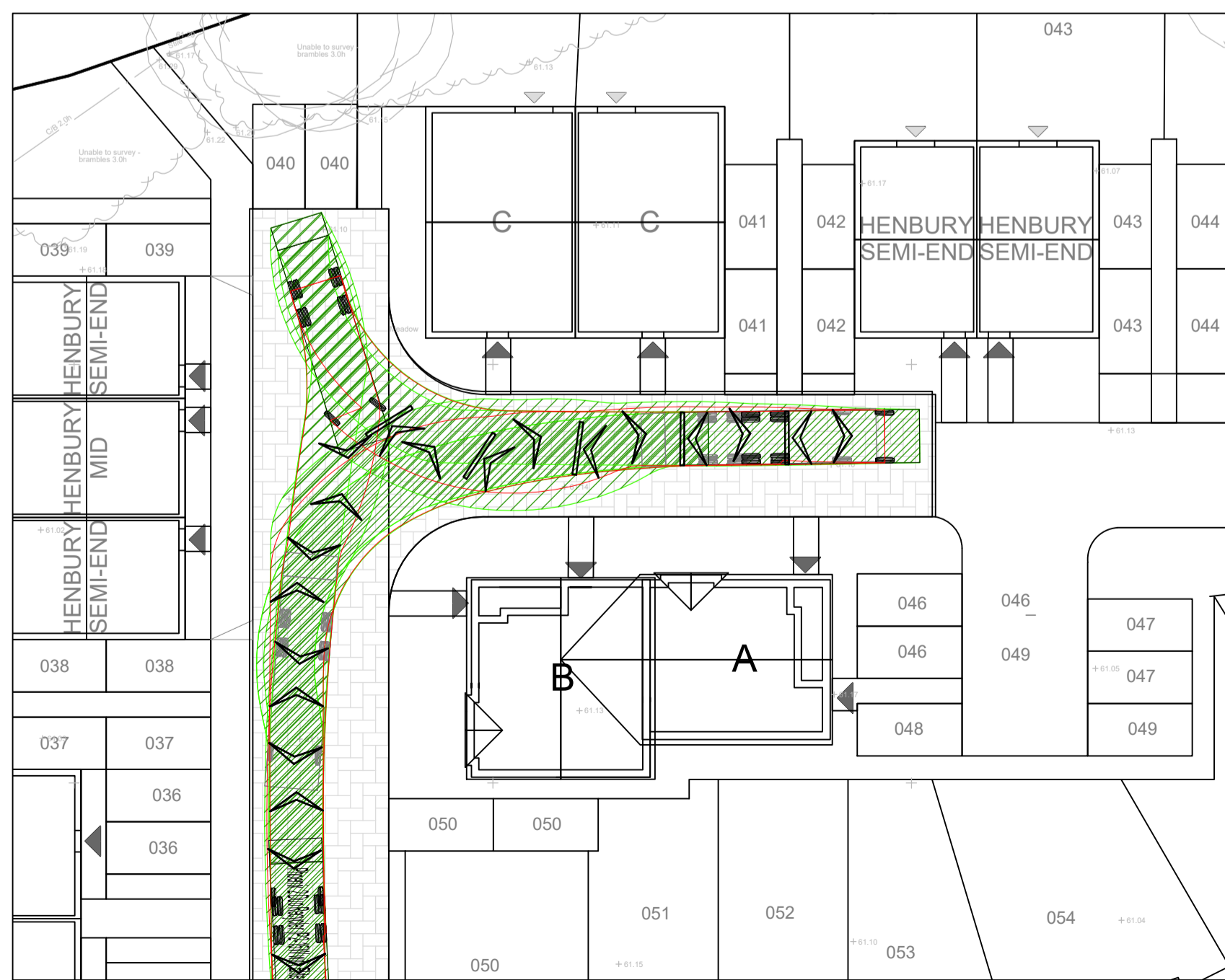
REFUSE VEHICLE RIGHT TURN OUT OF DEVELOPMENT



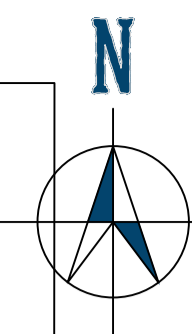
REFUSE VEHICLE NAVIGATING TURNING HEAD



REFUSE VEHICLE NAVIGATING TURNING HEAD

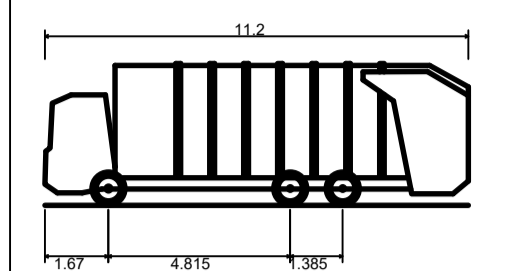


REFUSE VEHICLE NAVIGATING TURNING HEAD



DO NOT SCALE this drawing. Use figured dimensions only.
The Contractor must check & verify all dimensions on site.
Any discrepancies must be reported immediately to the Engineer for clarification before proceeding.
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SAFETY, HEALTH AND ENVIRONMENTAL INFORMATION
Refer to the relevant Construction (Design and Management) documentation where applicable.
It is assumed that all works on this drawing will be carried out by a competent contractor, working where appropriate to an approved method statement.



Phoenix 2 Duo (P2-15W with Elite 6x4 chassis)
Overall Length 11.200m
Overall Width 3.751m
Overall Body Height 0.304m
Min Body Ground Clearance 0.304m
Track Width 2.500m
Lock to lock time 4.00s
Kerb to Kerb Turning Radius 9.500m

| Rev | Date | Description | By |
|-----|----------|----------------|----|
| P01 | 14.01.22 | PLANNING ISSUE | HT |



Project
LAND OFF CHURCH ROAD,
OLD NEWTON

Title
REFUSE VEHICLE SWEEP PATH
ANALYSIS

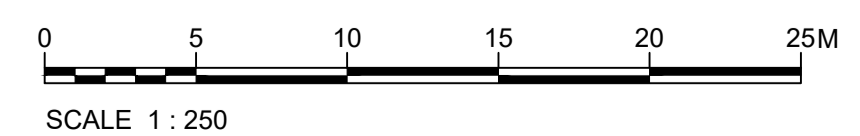
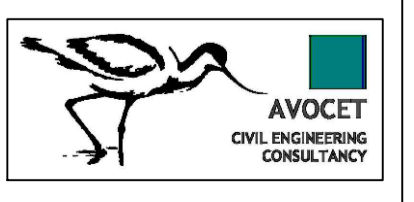
Drawing Status
PLANNING

| Drawn | Checked | Approved | Date | Scale @ A1 |
|-------|---------|----------|----------|------------|
| AR | VW | JM | JAN 2022 | 1:500 |

| Project No. | Drawing No. | Revision |
|---------------------|-------------|----------|
| AVO-21049 | CIV-190 | P01 |
| 982-AVO-XX-DR-C-190 | | |

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