

Lodge Barn South

Forest Road

Onehouse

Stowmarket

Suffolk

IP14 3HH

(TM 02184 59474)

HERITAGE IMPACT ASSESSMENT

Introduction

The Impact Assessment considers the impact of proposed alterations to the fenestration of the rear elevation and a small extension to Lodge Barn South, Onehouse, a Grade II listed building. The barn was converted to form two semi-detached dwellings in the early 1990s. It stands within the curtilage of Onehouse Lodge and the Stable and Coach House, both of which are Grade II listed buildings of Group Value. The Impact Assessment considers the effect of these alterations on the character and significance of the barn and the setting of the Grade II listed buildings. The building is not in a Conservation Area. Planning permission and Listed Building Consent were granted for alterations and extensions on 16th February 2020 under DC/20/05824 & DC/20/05825 and these alterations were considered by the Heritage Officer to cause no harm to the significance of the designated heritage assets. This Heritage Impact Assessment, which accompanies a new, revised planning application and application for Listed Building Consent, is to be read in conjunction with the Heritage Asset Assessment of January 2018 since there have been no material changes to the building or its immediate setting since that date.

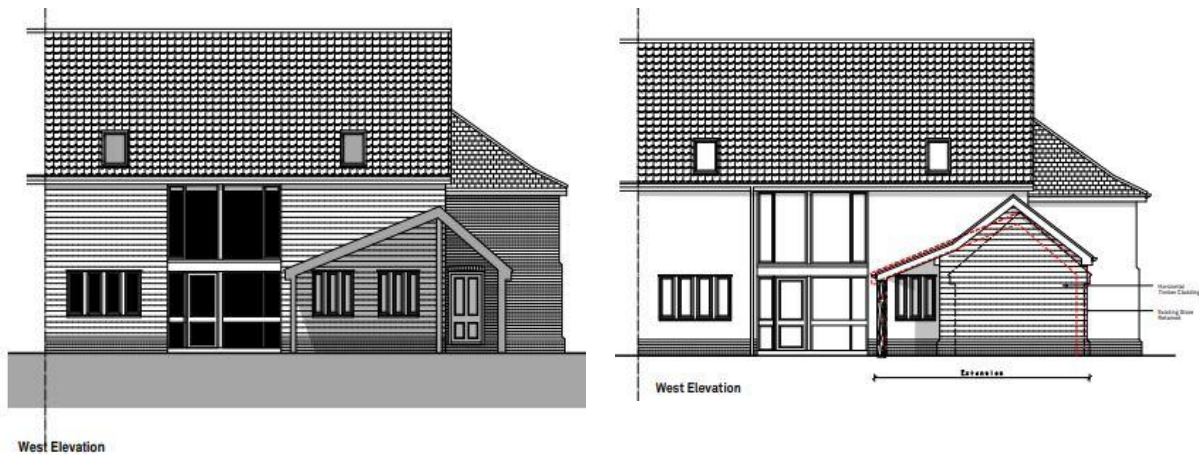
Planning History

Pre-application advice was received from Babergh/Mid Suffolk District Council on 22nd April 2020 (ref. DC/20/00721) with further planning comments (ref. DC/20/02192) on 12th June 2020 as a follow-up response to the initial pre-application advice. As a result of the advice, the original proposals were modified in terms of the overall footprint of the extensions, proportions, materials and detailing to reduce the overall impact on the listed building whilst creating more usable space and a more coherent layout. Consent was granted on 16th February 2021 subject to conditions regarding design details and materials.

The owners did not carry out the consented alterations and are submitting revised proposals which are the subject of this Impact Assessment. These comprise alterations to the fenestration of the open plan kitchen/dining area which is situated in the single storey early 19th century brick lean to extension attached to the rear E elevation of the timber framed barn; the replacement of a window in the late 18th/early 19th century white brick extension

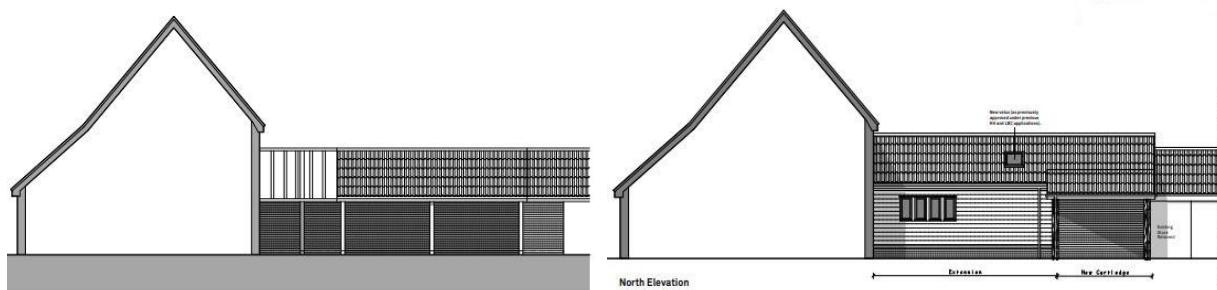
attached to the S elevation of the timber framed barn with French doors and the conversion of 2 bays of the existing single storey cart lodge (currently used to park vehicles) into a sitting room. It is also proposed to relocate the stairs leading to the family/living room, reduce the floor height and remove the steps on either side of the fireplace and remove the fireplace itself and its chimney which was inserted when the barn was converted. At first floor level it is proposed to relocate the loft hatch to enable the formation of a dressing room in the existing landing. This Heritage Impact Assessment considers the impact of the revised proposals on the significance and setting of the designated heritage assets.

The Impact of the Proposal to Convert 2 Bays of the existing Cart Lodge into a Sitting Room



Left: Existing W elevation, scale 1 : 50 @ A1 (Patrick Allen & Associates drawing 3892-82)

Right: Proposed W elevation, scale 1 : 50 @ A1 (Patrick Allen & Associates drawing 3892-84C)



Left: Existing N elevation, scale 1 : 50 @ A1 (Patrick Allen & Associates drawing 3892-82)

Right: Proposed N elevation, scale 1 : 50 @ A1 (Patrick Allen & Associates drawing 3892-84C)

This proposal was previously approved in 2020 under DC/20/05824 & 5. The cart lodge was re-roofed when the barn was converted into a dwelling and the only original fabric is the brickwork of the S wall which comprises horizontal bands of brickwork characteristic of the

Great Finborough Estate including a 19th century extension attached to the N elevation of Finborough Hall. The wall is white painted on the exterior S face. This wall has moderately high architectural and historical significance and any fabric lost as a result of the insertion of the aluminium bi-fold doors will be re-used in the extension of the wall as shown in drawing 3892-84-C where possible. These glazed doors will allow more natural light and will provide a transparent interface between the living area and garden. This element of the proposal will result in the loss of historic brickwork but the bricks will be re-used in an adjacent area to the W where the height of the existing brick wall will be raised to form the covered parking space. If there are enough reclaimed bricks, they could also be used to form the brick plinth on the N wall of the living room. In accordance with conservation guidelines, the bricks should be laid in matching bond in traditional lime mortar to minimise the impact of the alterations. The proposal uses an existing internal doorway between the playroom and cart lodge therefore there will be no loss of historic fabric.



Left: cartlodge looking SW; Centre: interior of cartlodge showing existing door into playroom attached to main barn; Right: looking NE showing banded brickwork in S wall



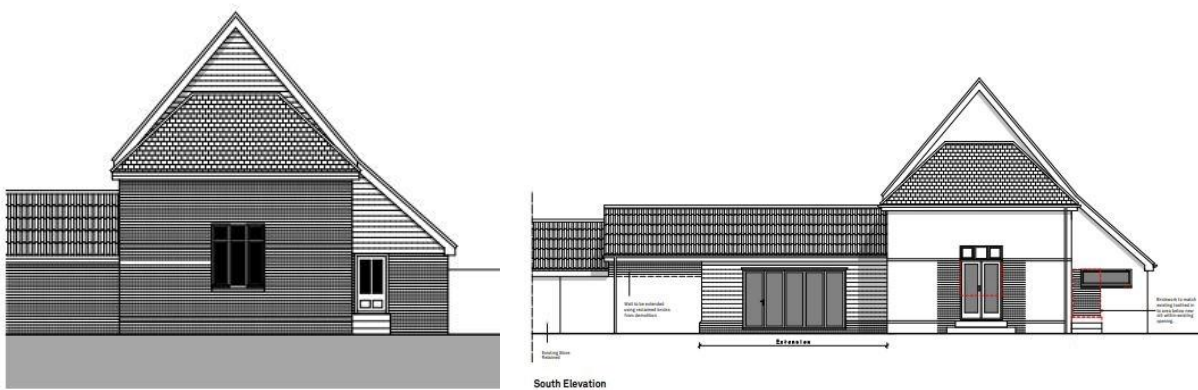
Left: looking N showing S elevation; Centre & Right: detail of white brick early 19th century hipped roof extension to S elevation of barn.

Horizontal stained weatherboards are proposed for the N elevation and an offset 4 light window without horizontal glazing bars in line with Historic England's Guidance on Adapting traditional Buildings (HEAG158 2017). A single, small conservation type roof light is proposed for the N roof slope. This was previously approved in 2020. There will be no overlooking either way between Lodge Barn South and Lodge Barn North because the latter has a similar cart lodge which remains open fronted to house vehicles and the historic

farmyard boundary wall forms a visual screen. The cart lodge has been re-roofed and it is proposed to retain the traditional pantiles and use matching ones for the bay next to the barn where there are open rafters. The W bay of the cart lodge will remain open fronted for vehicle parking and the outbuilding attached to the W elevation of the cart lodge will remain as existing.

The Impact of the Proposal to Insert French Windows in the S elevation of the 19th Century white brick extension attached to the S wall of the main barn

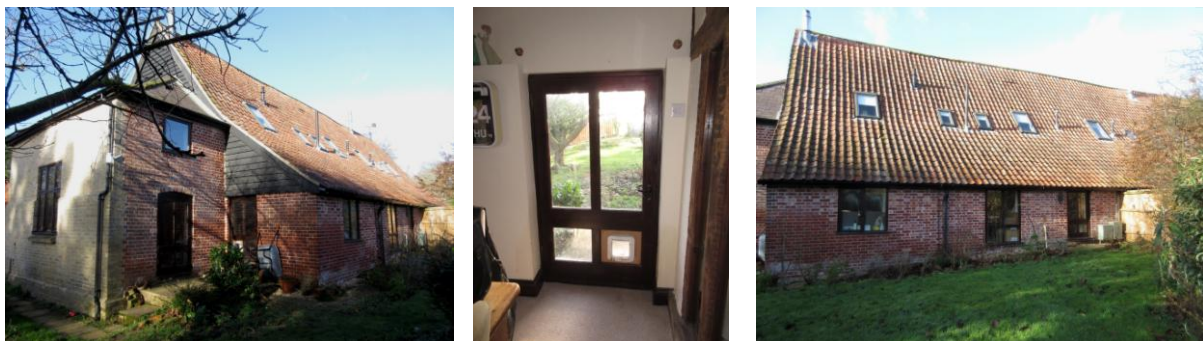
Consent was given in 2020 for the replacement of the large late 20th century window in the S wall of the playroom with aluminium French windows to provide access to the garden from the barn. The existing window is of no architectural significance and does not contribute to the character of the barn.



Left: Existing S elevation, scale 1 : 50 @ A1 (Patrick Allen & Associates drawing 3892-82)

Right: Proposed S elevation, scale 1 : 50 @ A1 (Patrick Allen & Associates drawing 3892-84C)

The Impact of the Proposal to Alter the Fenestration in the 19th Century brick Lean to attached to the E Elevation of the Barn



Left: looking NW showing door (beneath black boarded cladding) at S end of brick lean to extension; Centre: the S door viewed looking S from inside the dining area; Right: looking W showing existing fenestration

It is proposed to insert a longitudinal slot window to replace a late 20th century glazed door in the S (end) elevation of the early 19th century red brick lean to extension attached to the rear elevation of the timber framed barn. This is shown in the proposed S elevation (drawing 3892-84C). The existing doorway will be blocked with matching brickwork carefully keyed into the existing. The proposed window, which is of a similar proportions to those found under the eaves of single storey livestock buildings, will have minimal impact on the fabric and character of the listed barn. It is shown in drawing 3892-84C, S elevation (above) and is less domestic in appearance than the existing 20th century glazed door which is of no architectural significance.



Left: Existing S elevation, scale 1 : 50 @ A1 (Patrick Allen & Associates drawing 3892-82)

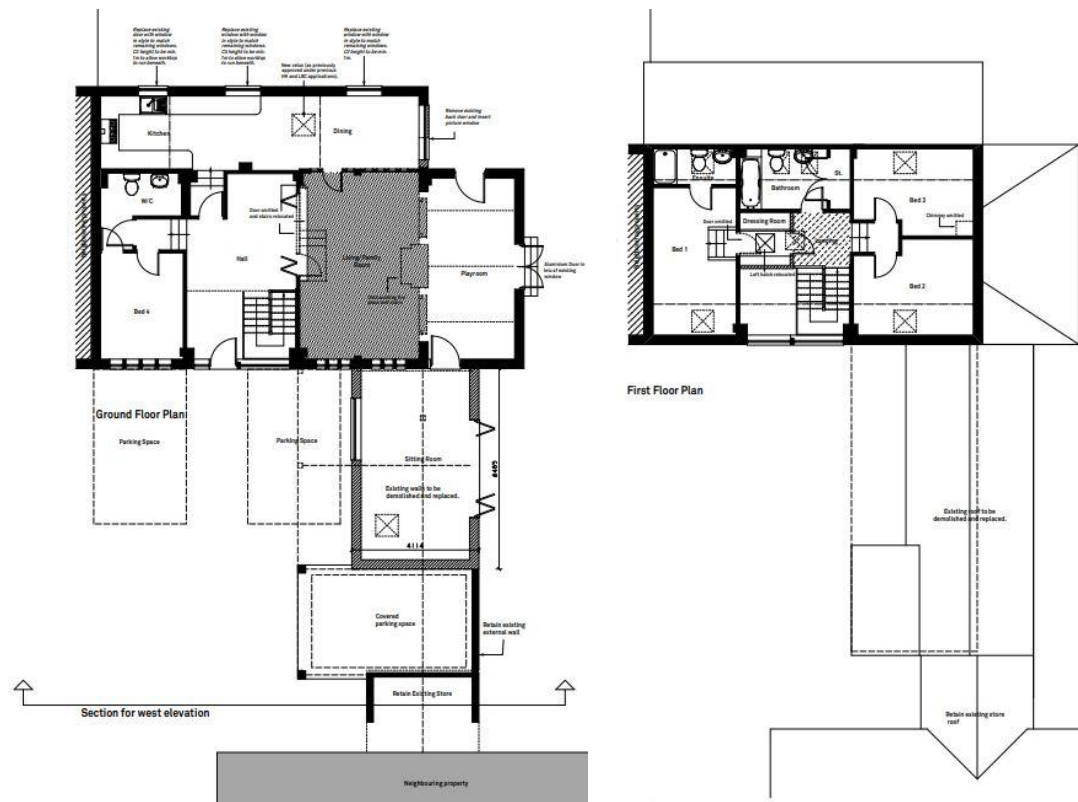
Right: Proposed E elevation, scale 1 : 50 @ A1 (Patrick Allen & Associates drawing 3892-84C)

It is proposed to replace the glazed door at the N end of the kitchen lean to (E elevation) with a two pane window with stained vertical boarding beneath. In the centre of this elevation is a full length window which is proposed for replacement with a two pane window with stained vertical boarding beneath. This will allow for the extension of the worktop on the E side of the kitchen. The window at the S end of this elevation, lighting the dining area, is proposed for replacement with a shallower 2 pane window with a smaller area of vertical boarding beneath. Drawing 3892-82 shows the existing door and windows which are domestic in design and dominate the E wall. The proposed replacement windows shown (ref. drawing 3892-84C) are smaller in depth and of simpler design. They are more sympathetic to the former agricultural building in line with Historic England's advice on adapting traditional farm buildings (HEAG158 2017). There will be no loss of historic fabric and the replacement bricks will match the existing.

The other change to the E elevation, which overlooks the garden on this side of the barn, is the insertion of an additional conservation-type roof light below the existing ones. This was previously approved under DC/20/05824 & DC/20/05825). The roof light will provide additional light in the dining room which is situated in the single-storey lean to extension on the E elevation of the main barn. The roof light is in a randomised position in a rear elevation facing away from the front elevation and the Grade II Onehouse Lodge (NW of the barn) to avoid visual impact.



Existing Floor Plans, scale 1 : 50 @ A1 (Patrick Allen & Associates drawing 3892-81)



Proposed Floor Plans, scale 1 : 50 @ A1 (Patrick Allen & Associates drawing 3892-83D)

The Impact of the Proposed Interior Alterations

Existing and proposed floor plans (drawings 3892-81 and 3892-83C) are shown on page 6.

At ground floor level within the main barn it is proposed to remove the fireplace and associated chimney from the S end of the living room and adjust the floor levels in the playroom and living room so that they are the same level as the inter-connecting rooms. The existing steps and door between the hall and the living room will be relocated to a more centralised position closer to the staircase to the first floor. This will involve the removal of an additional section of the late 20th century partition wall (inserted when the barn was converted) creating a more open plan area. These changes will restore the original floor level in the listed barn as well as improving accessibility/ease of movement and were supported by in the officer assessment at pre-application stage in 2020. The proposal to remove the inserted partition walls on the N side of the existing living room will restore some of the open character of the barn and was not contested in the pre-application response.



Left: looking E from living room towards dining area, steps up from hall in bottom left corner; Centre: looking SW towards playroom, showing fireplace; Right: steps down to playroom on W side of fireplace where studs removed

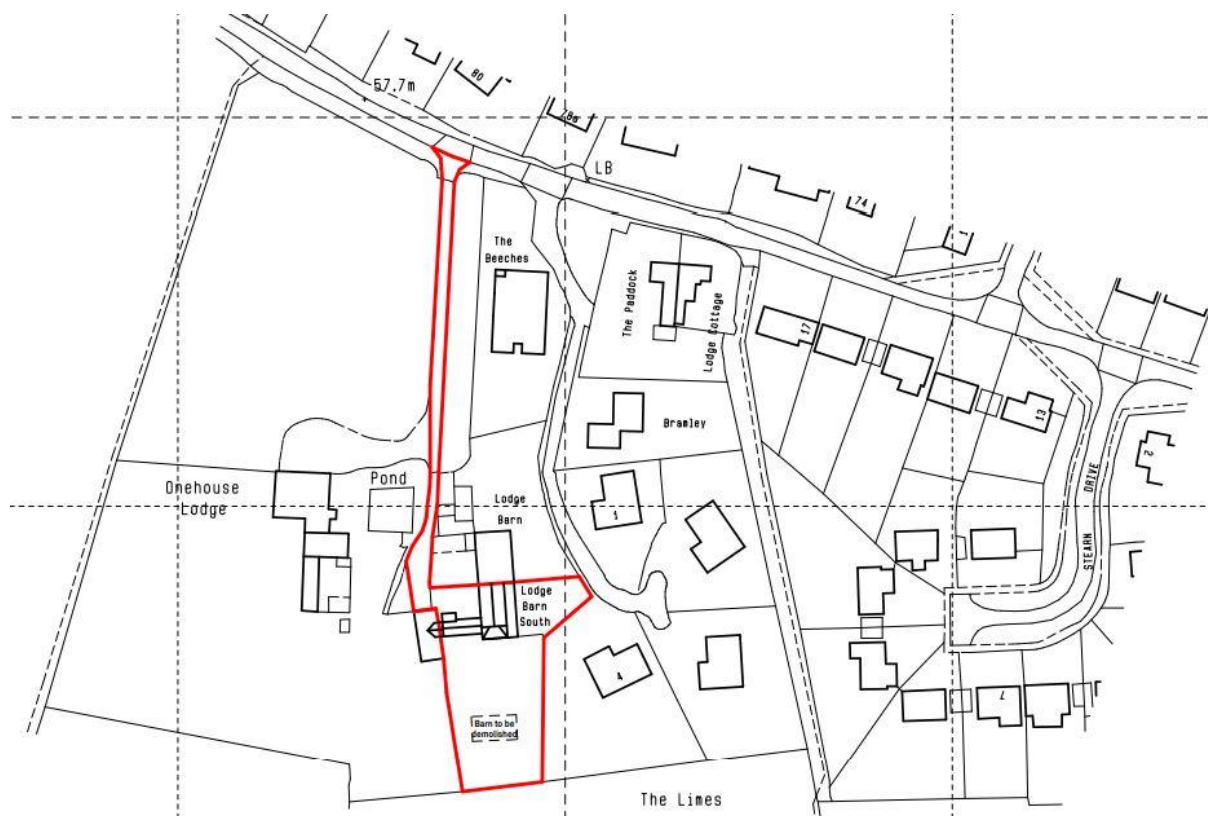
The existing fireplace and associated chimney (installed when the barn was converted) are of no architectural significance and do not contribute to the character of the barn. Its removal and the removal of the steps on either side as a result of reducing the floor level will create an open plan space between the living room and the playroom (in the 19th century brick extension) with views to the garden to the S. There will be no loss of historic fabric since the studs and infill forming the original S wall of the barn were removed in this area during the original conversion.

At first floor level it is proposed to re-locate the loft hatch and remove an area of the suspended ceiling from the landing to expose the roof structure if possible. The exposed sections of the historic timber frame (illustrated in the Heritage Asset Assessment of January 2018) are in good condition and the removal of the ceiling would restore a sense of the openness which was lost by the insertion of the first floor during the conversion. The insertion of a partition wall on the landing to form a dressing room is a relatively minor change which the pre-application advice of 2020 notes: *'it is unlikely that any minor changes to the layout to create a dressing room on the landing would cause any additional harm as the openness to the barn roof from ground level has largely already been lost by the inserted first floor and subdivision.'*

The removal of the chimney in the SW corner of bedroom 3 will not result in the loss of historic fabric since the timber frame infill was removed when the barn was converted and the plaster is modern.

The Impact on the Setting

The proposed location plan shows the site outlined in red with a shared access drive leading S from Forest Road Onehouse. There are no direct views of Lodge Barn S from the two Grade II listed buildings (Onehouse Lodge and the Coach House & Stable) which are of Group Value owing to intervening buildings and plantings. Lodge Barn North (attached to Lodge Barn South) has no windows overlooking and its attached cartlodge is not part of the residential accommodation. There is a 19th century brick wall separating the parking areas to the W of both barns. The photographs of the setting in the Heritage Asset Assessment illustrate the secluded position of Lodge Barn South.



Proposed Location Plan, scale 1 : 1250 @ A3 (Patrick Allen & Associates drawing 3892-80)

The Limes, a late 20th century development of detached houses set in large gardens, to the E of Lodge Barn South, are screened by hedging, trees and a close boarded fence which follows the E boundary of Lodge Barn garden. The following photographs, taken in January 2018, illustrate the spacious garden to the S and E of Lodge Barn S and the distance between the barn and The Limes.



Left: looking N from existing open bay showing intervening wall; Centre: looking NE from SE corner of barn towards housing development; Right: looking E across S part of Lodge Barn garden

The proposals will only extend the existing building footprint at the SE corner of the barn over a small area of the former farmyard. The ground here is likely to have already been disturbed and it is unlikely that there will be any significant archaeological potential.

To the S of the garden are open fields. In the S part of the garden is a disused, mid-20th century, open-fronted timber shed which is of no architectural significance. The proposal to demolish the shed will have a positive impact on the setting.

Conclusion

The proposals reflect the previous pre-application advice and comments and the proposed materials are sympathetic to the listed former barn and its setting. The secluded setting and relatively minor changes to the internal layout of the building minimises any potential visual impact and this is likely to be negligible. The barn underwent various internal changes during the 1990s which are not in line with Historic England's Best Practice Guidelines for Adapting Traditional Buildings (September 2017) but the revised proposals will not cause further interventions into the historic fabric and they avoid further changes to the character of the listed building and its setting.

The proposals are in line with Mid Suffolk Council's Policies HB01 & HB04, NPPF 16 (2021) paragraphs 194, 195 and 197 and the Listed Buildings Act 1990 and will cause no harm to the significance of the designated heritage asset.

Jane Blanchflower

June 2023