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# RECREATIONAL STRATEGY

York Holiday Lodges, New Road, Escrick

Report Reference: BG22.148.10

March 2023





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Grid reference: SE 64931 44229  
W3W: [newspaper.holidays.dumps](https://www.newspaper.holidays.dumps)

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# 1. Introduction

- 1.1.1. Brindle and Green Environmental Consultants Ltd were commissioned by Flannigan Estates Ltd to undertake a Recreational Strategy for an area of land at York Holiday Park in Escrick, York. The purpose of this document is to set out the strategy to manage recreational use across the site, particularly with respect to the balancing of recreational access with conservation objectives within the Site of Importance for Nature Conservation (SINC) in the south and east of the site. It is understood that the proposal involves the construction of 231 static pitches and 92 touring pitches. There is a total of 323 pitches; additionally the site will have a new leisure centre, games room, restaurants, public rights of way and facilities for holiday makers to use.
- 1.1.2. Design proposals can be found on the BG22.148.11 York Holiday Lodges, Hard and Soft Landscape Plan produced by Brindle & Green Ltd (Brindle & Green Ltd, 2023). This report is to be read in conjunction with the hard and soft landscape plan, as well as the Arboricultural Impact Assessment (Brindle & Green Ltd, 2022) and SINC Management Plan (Brindle & Green Ltd, 2023).

# 2. Overview

- 2.1.1. This report is a Recreational Strategy, which sets out strategy to manage recreational use across the proposed development of 323 pitches total with associated infrastructure situated on a piece of land ('the site') at New Road, Escrick in York. This report is produced to partially fulfil the requirements of Condition 11 of planning permission 20/01546/FUL.
- 2.1.2. The proposed development introduces leisure development in the form of holiday lodges, caravans and camping to the site, in combination with associated infrastructure and leisure facilities such as an entertainment venue, leisure centre, public footpaths and restaurants. An integral part of the visitor experience will be the enjoyment of the varied landscape and habitats that exist across the site. To this end, a series of new paths will be provided to encourage visitors to explore the wider site areas beyond the main accommodation and building area. They would also provide connections to the surrounding public rights of way network. However,

aside from a single fenced footpath, no other public access will be permitted within the SINC.

- 2.1.3. Within the site, there are ecological elements such as habitats and fauna which are considered to be of conservation value. In the south and south-east of the site, these features have been recognised and protected through the designation of a Site of Nature Conservation Importance (SINC). Several species found within the SINC (for example ground nesting birds and Brown Hare) are sensitive to disturbance by humans and particularly dogs.
- 2.1.4. Recreational use of the site by visitors and their pets will therefore need to be balanced with the protection of existing and future wildlife and habitats within the site. In particular, the sensitive open mosaic habitat area at the core of the SINC requires protection from direct and indirect disturbance.
- 2.1.5. Within the landscape design of the site, the SINC will be largely off-limits to recreational users of the site, with a single fenced footpath provided in order to minimise disturbance to the sensitive SINC designation.

## 3. The site and the proposed development

### 3.1. The site

- 3.1.1. The site is located south of York and north-east of Escrick, approximately 1.8km away from the nearby settlement of Deighton. The boundaries of the site are defined by a combination of mature hedgerows and trees and open fields within the site. Immediately north of the site is New Road adjacent to pastoral land, whereas the eastern and western boundaries are adjacent to further pastoral land.
- 3.1.2. The current land use of the site is a mixture of woodland to the north-west, paddocks to the north-east and south, some metal structures and a large area of concrete hardstanding centrally to the site boundary. There are also hedgerow field boundaries through the site and on the borders. The site also contains a Site of Importance for Nature Conservation (SINC) to the south-west that is included in the proposals which comprises grassland areas. The site has an overall mixed appearance due to detracting elements stored around the site mixed with fields and existing vegetation.



## 3.2. The proposed development

- 3.2.1. The proposed development involves the redevelopment of the site from its previous mixed use to a holiday park with 323 mixed pitches along with associated infrastructure for recreational use, associated parking and public open space. The development will be accessed via New Road from the east.

## 3.3. Proposed timescales

- 3.3.1. Subject to the successful discharge of conditions and receipt of the Great-Crested Newt Licence for the proposed development, it is anticipated that development of the site will be commenced in 2023.

# 4. Strategy objectives

- 4.1.1. The key objectives informing the recreation strategy are:

Enable and encourage visitor access around the site for health and well-being purposes;

Create the opportunity for dogs to be exercised off leash;

Manage visitor and dog access in a manner that does not harm nature conservation interests within the SINC and which minimises disturbance to other parts of the site.

# 5. Recreational strategy

- 5.1.1. Please refer to drawing BG22.148.10 Recreational Strategy for spatial details.

- 5.1.2. Recreational use of the site and protection of nature conservation interest will be achieved as follows:

Aside from public access to a single fenced footpath indicated on the drawing BG22.148.10 Recreational Strategy, no visitor or pet access will be permitted at any time into the SINC. This area will be protected with stockproof fencing and perimeter signage will be installed to advise visitors of the sensitivity of the area and prohibition of access. Access into this zone will only be permitted for maintenance / management purposes;

Within the designated informal recreation and dog exercise area at the north-eastern edge of the site dogs will be permitted to be off leash. This area will be enclosed with stockproof fencing and gated access points;

Within the remainder of the site, including the Woodland and Bowl development areas and the wildlife area which abuts the northern boundary of the SINC, visitors will be permitted to use the designated paths and dogs on leash will be permitted to move through these areas. Signage will be provided at entrances to this zone requiring visitors to keep dogs on a leash whilst moving through the zone;

Should protected species (for example ground nesting birds) be found to be present outside the protected zone temporary additional protection will be provided if necessary, in accordance with statutory duties; and

In addition to the above, general site and visitor information signage within the Woodland and Bowl zones will inform visitors of the recreation strategy and need to respect sensitive wildlife and will point dog owners to the most direct routes to the dog exercise area.

## 6. Monitoring

- 6.1.1. The effectiveness of the recreation strategy will be monitored as part of general site management operations and will be adapted as necessary to achieve the objectives set out in this strategy.

## References

Brindle & Green Ltd, 2022. *BG22.148.8 York Holiday Lodges - Arboricultural Impact Assessment*, Radbourne, Derby: Brindle & Green Ltd.

Brindle & Green Ltd, 2023. *BG22.148.11 York Holiday Lodges - Hard and Soft Landscape Plan*, Radbourne, Derby: Brindle & Green Ltd.

Brindle & Green Ltd, 2023. *BG22.148.9 York Holiday Lodges - SINC Management Plan*, Radbourne, Derby: Brindle & Green Ltd.



A series of paths will be provided to encourage visitors to explore the wider site and landscape context beyond the accommodation zones; including the provision of connections to the surrounding public rights of way network.

Recreational use of the site by visitors and their pets will be balanced with the need to protect existing and future wildlife and habitat within the site. In particular, the sensitive open mosaic habitat area of the SINC requires protection from direct and indirect disturbance. It will therefore be closed to public access and fenced with a post and wire fence along its northern and western boundaries.

Paths around the site have been located to minimise direct or indirect disturbance to the open mosaic habitat area, with a combination of landform, existing tree and shrub cover and proposed planting being used to minimise direct line of sight between visitors and the protected area. Selected vantage points over the area will be provided and will act as interpretation points for visitors advising them of the value of open mosaic habitat and the types of species that it supports.

Key aspects of the recreation strategy for the site are as follows:

- Within the SINC, the footpath will be fenced off to protect local wildlife and its habitat. No visitor or pet access will be permitted elsewhere within the SINC at any time. This zone will be protected with stockproof fencing and signage will be installed to advise visitors of the sensitivity of the area and prohibition of access. Access into the SINC away from the fenced footpath will only be permitted for maintenance/ management purposes. Access into this zone will only be permitted for maintenance/ management purposes;
- Within the designated informal recreation and dog exercise zone at the north east edge of the site dogs will be permitted to be off leash. This area will be enclosed with stockproof fencing and gated access points;
- Within the remainder of the site, including the Woodland and Bowl development zones and the wildlife area which abuts the northern boundary of the SINC, visitors will be permitted to use the designated path: and dogs on leash will be permitted to move through these areas. Signage will be provided at entrances to this zone requiring visitors to keep dogs on a leash whilst moving through the zone.

The effectiveness of the recreation strategy will be monitored as part of general site management operations and will be adapted as necessary to achieve the objectives set out above.



Legend	
	Site Boundary
	Site of Importance for Nature Conservation
<b>Site areas</b>	
	Bowl - Static caravans (Public access)
	Central wildlife area - Publicly accessible meadow (Public access)
	Eastern wildlife area - SINC (No public access)
	Northern woodland - Woodland and scrub (Some public access)
	Open space - Informal recreation and dog exercise area (Public access)
	Pasture - Fenced pasture (No public access)
	Southern boundary - Woodland and species-rich grassland (No public access)
	Valley - Open mosaic habitat and SINC (No public access)
	Woodland - Touring caravans (Public access)
	Proposed post and wire fence
	Existing bridleway
	Existing footpath
	Proposed off-road path
	Proposed on-road path
<b>Features</b>	
	Car park
	'Dogs on leash' signage
	Entertainment
	Games
	Informal open space and dog walking area
	Interpretation board
	Leisure centre
	Lodges
	Nature walk
	Open space
	Reception
	Restaurants
	Show lodges
	SINC
	Single units
	Snacks
	Touring pitches
	Visitor car park
	Welfare facilities

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