



The Barn  
Larks In The Wood  
Pentlow

## Design and Access Statement



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## Introduction

This Design and Access Statement has been prepared to accompany Planning and Listed Building applications for two extensions and internal alterations of The Barn, Larks in the Wood (The Site).

## The Site

The Barn, Larks in the Wood, Pentlow is located east of Belchamp Road, south-west of the village of Pentlow in Suffolk.

The Barn is Grade II listed (listed 1984) and originally formed part of the farmstead associated with the Grade II\* listed farm house, Larks in the Wood. (listed 1952).

The site area is 0.793 Hectares.

## Pre App advice

An application for Listed Building Pre Application advice was submitted on the 9<sup>th</sup> of March 2023. Reference 23/60067/PREAPP. A site visit / meeting took place on the 6<sup>th</sup> of April at which the applicant, their agent and both the Planning Case Officer (Jack Street) and Heritage Officer (David Sorapure) were present.

Their written responses were received on the 2<sup>nd</sup> of May and are included within Appendix A of this report.

Helpful advice was received during the site visit and the written responses from both the Case Officer and Heritage Officer confirms the proposals are generally acceptable.

These submitted proposals include details of building materials, oil tank enclosures and new brick walls and gates. Details for replacement glazing, landscaping and external walls are not included and we would ask that these are requested via conditions if consent is forthcoming.

## New Entrance Porch

Currently the barn is entered from the south via the private rear garden. A new entrance porch to the north-west elevation is proposed to move the main 'public' entrance to the opposite side of the barn to improve the privacy of the rear garden.

The relocated entrance door will be accessed via the enclosed 'walled garden' created to the north of the property accessed via an existing automated 5 bar timber gate. The existing cart lodge (image top right) will be removed and the existing wall repaired with appropriate lime mortars and matching reclaimed red facing bricks if required.

The existing Ivy to the top of the wall will be removed (with agreement with the neighbour) to mitigate any further damage.

## New Garden Room

A new lean-to single storey extension is proposed to the south elevation (rear aspect) to create additional living space with a south facing aspect and improved connectivity to the rear garden.

Other than the double doors from the existing gabled projection to the south elevation, access to the garden from living spaces is limited to the existing front door. Creating new openings within the existing fabric would require the removal of historic fabric which we are keen to avoid.

A new garden room with large bi-fold doors will allow the interior to 'open-up' to the garden and make the most of the south facing external space.

## Appearance

The extensions are proportioned sensitively. Traditional, matching materials and detailing will be used to ensure the additions are in keeping with the rural character of the existing farm buildings.

## Internal Works

When the barn was converted to residential use in the 1980's and a new first floor was added, oak

framing was used to create the new structural supports.

Internal partitions are formed in timber stud-work with gypsum plasterboard linings. These divide up much of the ground floor throughout the original double height barn and the single storey wing to the east with the exception of the open stairwell and gallery landing.

The proposed internal works include to remove partitions enclosing the existing kitchen, office and corridor between to open-up the interior to the double height space.

The new porch and associated remodelled interior spaces will create a central hallway from which one would turn right to access the the open plan kitchen and dining areas, go straight ahead to access the new Garden Room and external spaces or turn left to a new master bedroom suite inclusive of a home cinema.

New rooms will be formed in timber stud walls lined with gypsum plasterboard, insulated to improve acoustics. Existing level changes throughout the ground floor will be retained but adjusted to suit the position of new rooms and corridors.

The first floor layout will remain as it is. Existing bathrooms and en-suites will be replaced with modern finishes and fittings, utilising existing drainage to avoid any works to the existing fabric to route new drainage etc.

## Context

The Grade II\* farm house is positioned north of a red brick wall approximately 2.4m in height. An existing store/car port building abuts the wall.

It is proposed that the existing store/car port building will be removed and the garden wall



LOCATION PLAN AND EXISTING PHOTOS



1- Image looking east at north-west facing elevation



2- Image looking south-west at north-west facing elevation



3- Image looking north at original barn, annexe and later detached out-buildings



4- Image of Grade II listed farm house- Larks in the Wood



5- Gable end of barn, existing brick piers and openness through to private gardens



9- Existing timber beams and posts within annexe to be retained and expressed within remodelled master bedroom suite.



10 - Modern gypsum board partitions, doors and timber work to be removed as part of interior remodelling.



11 - Existing glazed screen within historic barn opening. New bespoke timber glazed screen to be fitted without door. Screen to be divided into 6 panels with mullions as indicated within the upper part of the existing screen.



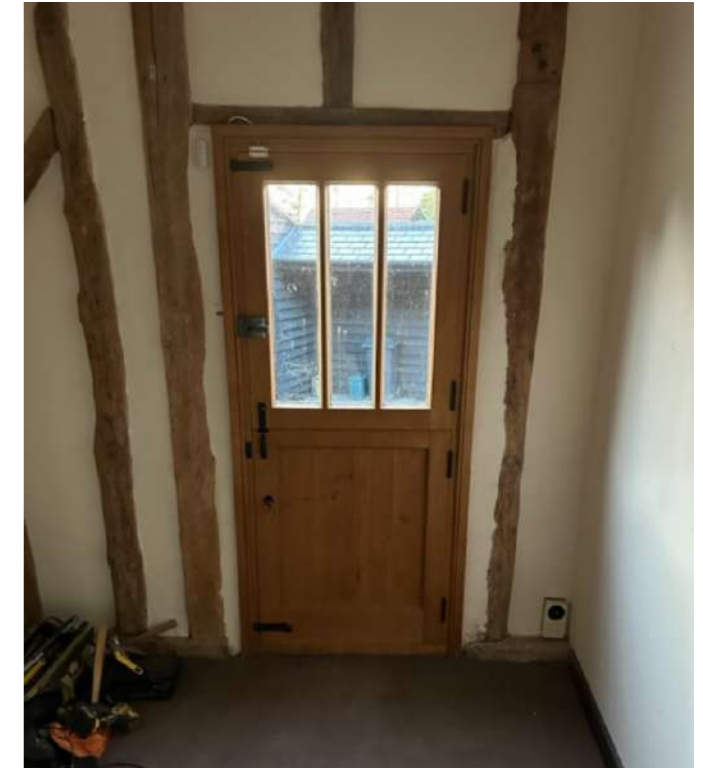
6- Existing full height timber screens to annexe to be replaced.



12 - Existing steps over sole plate to be removed. Door and adjacent partitioning to original frame to be removed to form new opening into Garden Room.



13 - Existing lean-to boiler cupboards to be removed and new entrance porch constructed.

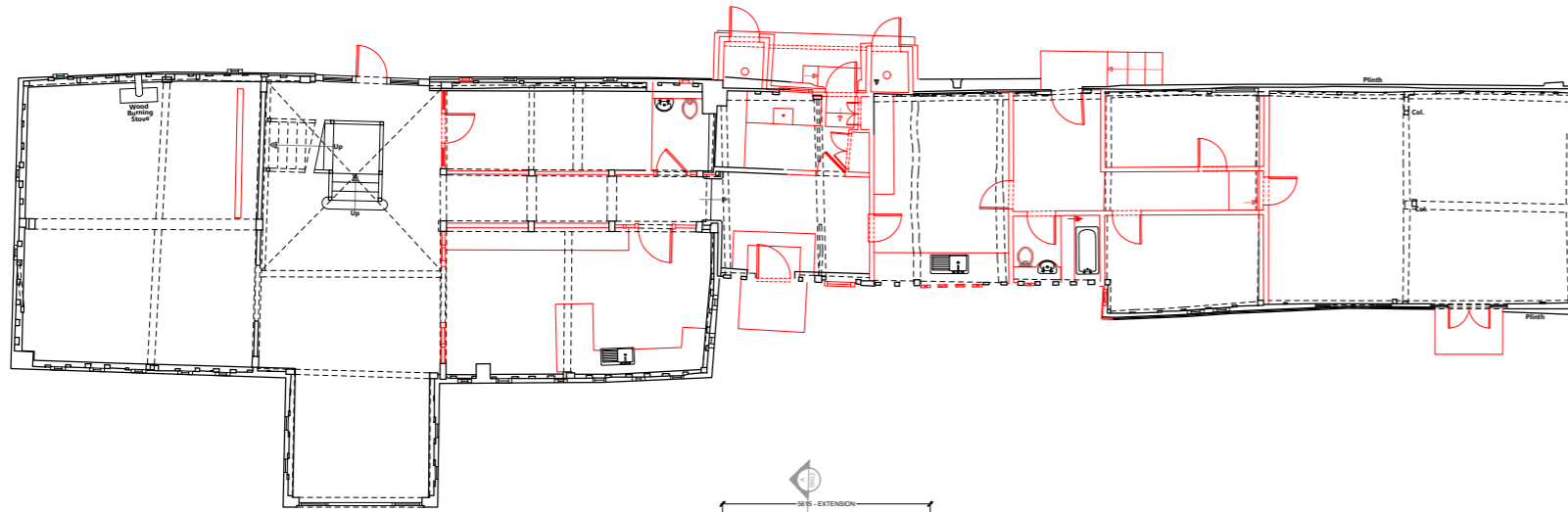


7 - Existing door to north elevation of barn to be removed and infilled. Matching cladding to be provided between existing door stops so existing opening is still readable from the exterior.



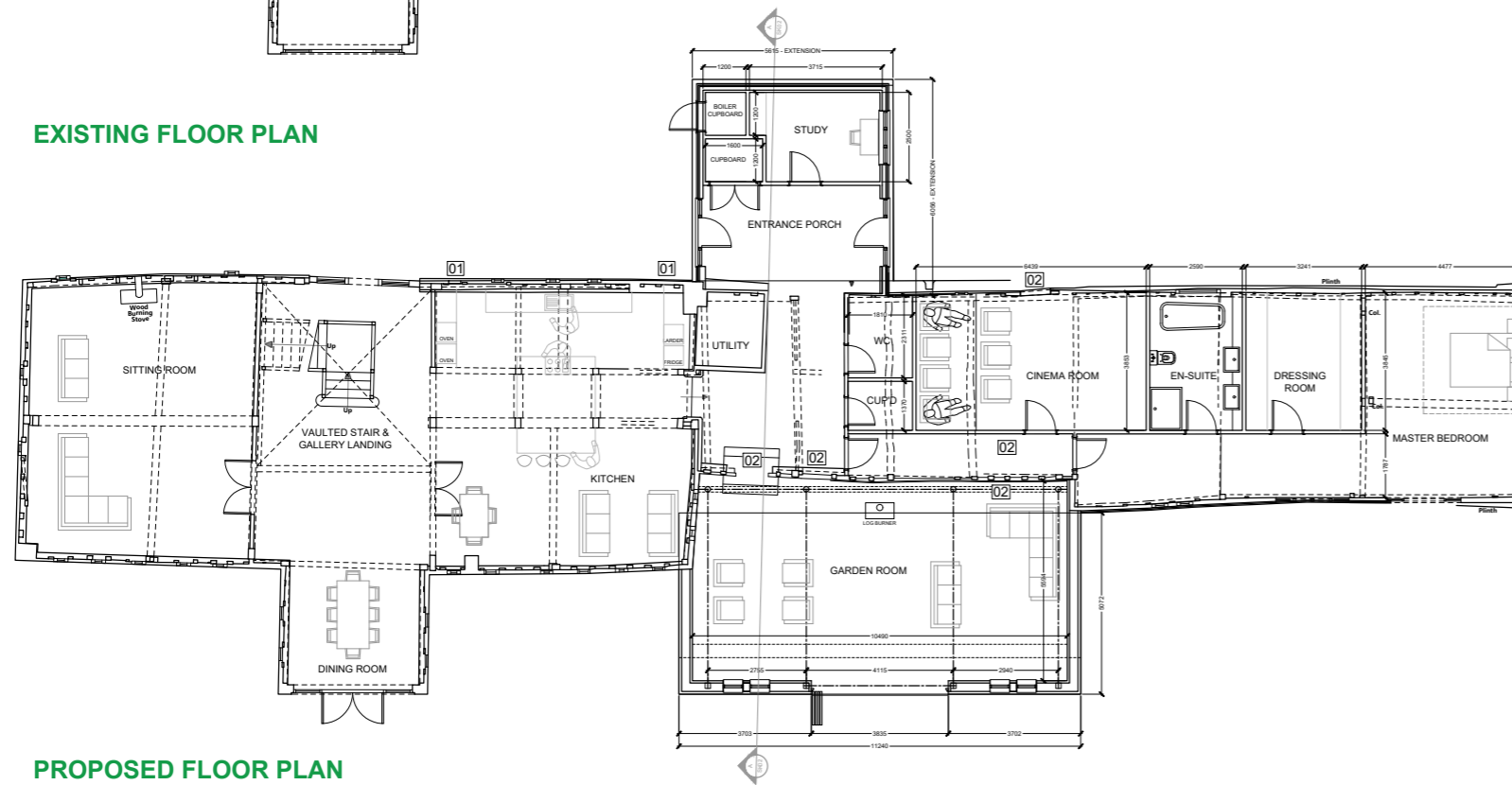
8 - External view of door to be removed. Steps to also be removed and plinth rendered and painted black to match existing.

## PLANS AND ELEVATIONS

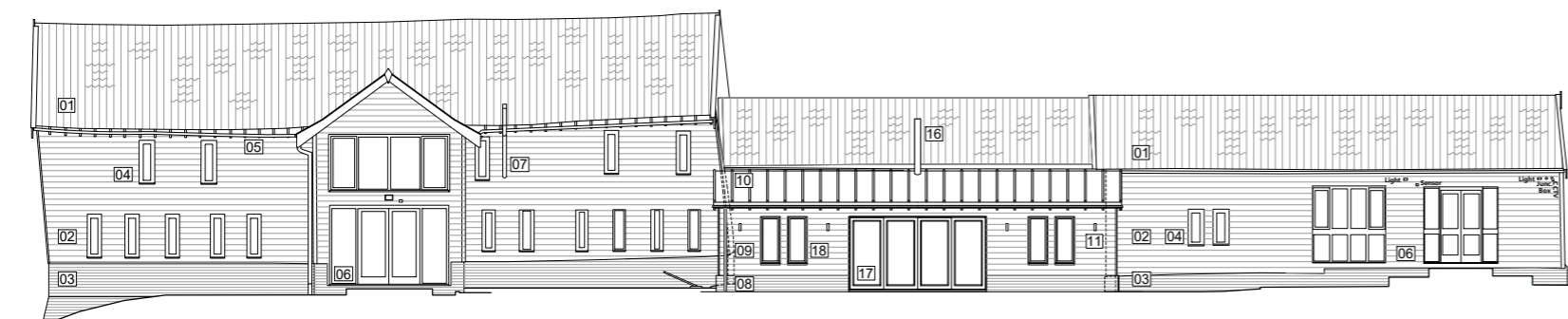


The proposed works are set out at the beginning of this report. Refer to drawings DW01 01, 02, 03 and 04 for further detail.

## EXISTING FLOOR PLAN



## PROPOSED FLOOR PLAN



## PROPOSED REAR ELEVATION



## PROPOSED SIDE ELEVATION

## LANDSCAPING

Landscaping across the site is generally being left in its current condition. Some additional patios are proposed to the rear (south-east elevation) to provide external terraces outside the dining area, garden room and master bedroom.

There are currently extensive gravel areas and dilapidated ramps and steps across the rear of the barn providing access to the raised threshold to the current 'front door'.

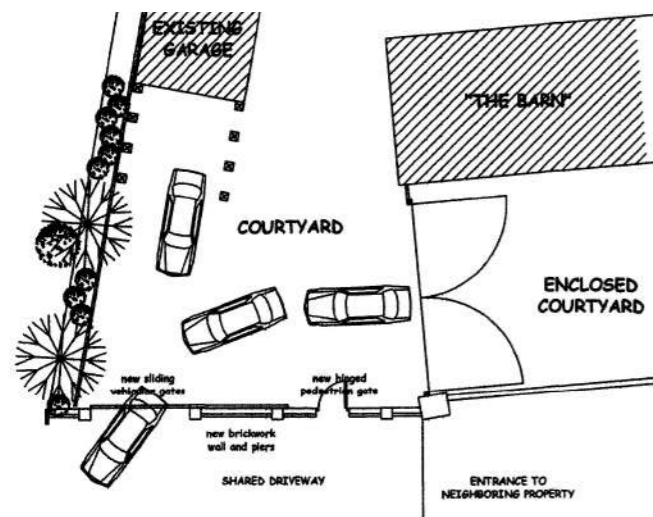
These proposals include to soften this with bays of soft landscaping to either side of the garden room.

To the new front entrance existing gravel is retained with a new oil tank timber screen and planting proposed.

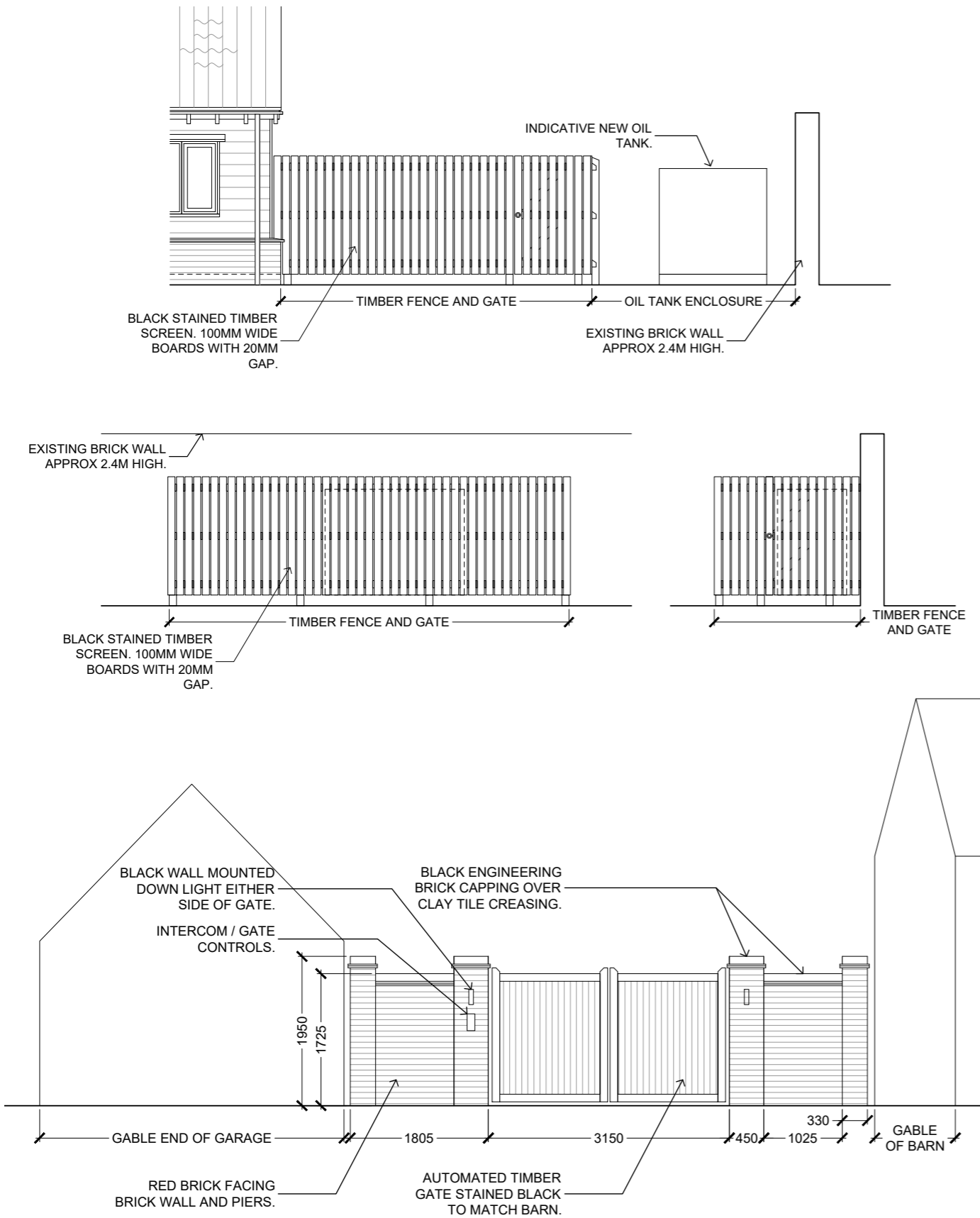
Currently the rear garden is open to the parking and access to the north-east corner of the site. The plot is not secure and the current arrangement of the front entrance to the south-east elevation imposes on privacy for the dwelling.

A new brick wall and timber gates are proposed to enclose the gap between the north-east corner of the existing annexe (now master bedroom) and the existing open car-port. This was agreed as the preferred location for the new wall and gates with the Planning and Heritage Officer as the openness at the front of the barn and visual relationship with the Farm House is retained.

In September 2015 a wall and automated sliding gate were approved, reference 15/01151/FUL located along the boundary edge.



**PROPOSED NEW WALL AND ENTRANCE GATES AND OIL TANK SCREENING**



**EXTERNAL LIGHTING**



There are existing wall mounted external lights around the barn, these will be retained/replaced if suitably positioned. In some instances existing flood lighting will be raised and tucked below the eaves to conceal the fittings.



Proposed up/down lighter to be used on brick piers either side of gate.



Proposed down lighter to be used on on barn as indicated on proposed elevations.



Proposed proposed bollard lighting to be used to new patio areas as indicated on Landscape Plan.





## BIODIVERSITY

A Biodiversity Check List has been completed and submitted with this application.

These photographs have been provided as requested within the checklist.

### Image 1

The existing lean-to addition was added in the 1980's when the barn was converted to residential use. This houses 2 oil fired boilers and will be removed to enable the construction of the proposed new entrance porch.

### Image 2

The cart lodge and store were granted consent in June 2009. This abuts the existing wall. To open up the new frontage to the barn, the outbuildings will be removed.

### Image 3

The Barn is located within 400m of a small woodland. The barn is also adjacent to a small pond and other ponds within the curtilage of the Farm House. These are unaffected by the proposed works.

### Image 4

South-east elevation. The proposed Garden Room extension will be built off of this elevation. The new lead roof will be tucked under the existing eaves.



Image 1 - Lean-to boiler cupboards to be demolished



Image 2 - Cartlodge to be demolished



Image 3 - Google Maps - Woodland Proximity



Image 4 - South-east elevation

## CONCLUSION

The Barn at Larks in the Wood was converted to residential use in the 1980's. As noted by the Heritage Officer 'The conversion was of its time and perhaps less sympathetic'.

The proposed internal works will remove many of the new partitions at ground floor level within the original barn, enhancing the ability to appreciate the historic fabric of the barn. New partitions are proposed to the current annexe to reformat the living accommodation.

The extensions are proposed to address issues of privacy and accessibility to the generous rear gardens (south-east) which lead on to the paddock.

Currently the front door is located on the south-east elevation and accessed through the rear garden. A rear door via a Utility Room provides access to the enclosed courtyard to the north-west. To create a secure front entrance and private rear garden the front door is flipped to the north-west elevation, but located onto the north-east facing elevation of a new entrance porch to face the site entrance / driveway and ensure the entrance is legible to guests.

The rear garden is made secure by the provision of a new wall and entrance gates.

Access to the rear garden is restricted by openings in the existing timber frame. To improve this and provide a habitable space with good connectivity to the garden a new Garden Room is proposed. Accessed via the existing front door opening and provided with bi-fold doors and a patio terrace the space 'brings the outside in'.

The scale of the proposals ensure they do not 'domesticate' the existing barn and are of materials that match. Alterations improve legibility of the existing fabric and address issues of access and privacy that are appropriate for a residential dwelling.

We welcome the support of both the Planning and Heritage Teams to build on the positive Pre App engagement.

## APPENDIX A - PRE APP CONSULTATION WRITTEN RESPONSES

Place Services  
Essex County Council  
County Hall, Chelmsford  
Essex, CM1 1QH



ECC Ref: 23/60067/PREAPP  
Date: 17/04/2023

### HISTORIC BUILDINGS AND CONSERVATION AREA PRE-APPLICATION ADVICE

Dear Sir / Madam,

#### RE: THE BARN LARKS IN THE WOOD PENTLOW ESSEX CO10 7JU

This letter provides Historic Buildings and Conservation Area Pre-application Advice concerning the proposed internal alterations and two single storey extensions proposed to Grade II Listed Barn.

The Grade II Listed timber-framed Barn at Larks in the Wood dates to the late-fifteenth to early-sixteenth century and was converted into a dwelling in the early 1980s. The conversion was of its time and was perhaps less than sympathetic. Historically, the Barn served the Grade II\* Listed Larks in the Wood house, which also dates to the late-fifteenth to early-sixteenth century and was built within a moat. The main part of Barn functioned as a threshing barn and there is a single-storey north-east element, dating to the sixteenth to seventeenth century, which functioned as a stables and workshop. The significance of the building primarily derives from its historic fabric, although its rustic appearance, its setting and the contribution it makes to the setting of the Grade II\* Listed Larks in the Wood House and its setting are also significant.

The current proposals include the extensive removal of modern internal partitions which is acceptable. The removal of the corridor and the opening up of the kitchen area would enhance the ability to appreciate the historic fabric of the building. New partitions are proposed and provided these are sensitively undertaken, reversible and have no impact on the historic fabric, I would have no objections.

A garden room is proposed on the south-western part of the single-storey element. The location, height and footprint of the proposed addition are acceptable and the proposed location allows the full form of the main barn to continue to be appreciated. The materials proposed include a lead roof, black feather-edged timber weatherboarding and black-framed fenestration and these are appropriate. Timber or powder-coated metal framed windows would be suitable in this instance and I would have no objection to slimline double-glazed units throughout. The form of the garden room's fenestration requires some amendment, perhaps with the square windows shown in the sketch drawing (Design Concept, Page 8), being changed to narrow openings. The sketch drawing also suggests a number of external lights fitted to the garden room and the single-storey part of the Listed building. While some external lighting is acceptable, the extent of lighting shown in the sketch drawing is somewhat

excessive and a reduction would be needed. It may also be worthwhile to consider less prominent positions for lighting. Lights tucked under roof eaves are less visually intrusive, while external, ground mounted lights or post lighting could also be considered.

There is a small section of the eastern wall of the main barn that would adjoin the new garden room, which currently has two east-facing windows. These could provide some openings into the new garden room, but otherwise, the infill of the wall between the studs should remain, to help attest to the original limit of the barn.

Internally, the removal of the kitchen units will allow the assessment of the brick plinth and sole-plate behind. Repairs may be necessary and should be carried out using appropriate or like-for-like materials. The floor slab within the Listed building is assumed to be concrete throughout. Some historic floor levels may survive beneath this. The levelling up of the floor in some areas is proposed, by adding a raised floor, which is an appropriate measure. The removal of the modern steps up into what will be the garden room is also proposed and I have no objection to this aspect. Some repairs to the historic sole plate and plinth may be needed in this area, the full extent of which will be better understood once the steps have been removed.

A porch is proposed at the north entrance to the building, to allow for a service cupboard for a new single boiler, replacing the two existing boilers. Historic England's guidance on the reuse of agricultural buildings is critical of the addition of porches, along with garden rooms. The concern is that their addition would over-domesticate the appearance of a former agricultural building. However, in this instance, given the significance the building derives from its fabric and the existing character of the 1980s conversion, both designs are sensitive and feasible. The proposed porch is also very different from a domestic porch or canopy and would read as a modest extension. The low ridge height and materials proposed (clay pantile, black weatherboarding, brick plinth and oak framed fenestration) are appropriate.

In this rear area the demolition of the existing carport was suggested, along with the restoration of the brick-built garden wall. The wall is historic and the removal of the carport would allow more of its fabric to be appreciated and I have no objections. The removal of the carport will also enhance the setting of the Grade II\* Listed house. Repairs to the wall would need to be carried out using appropriate bricks and mortar, although the removal of the ivy which has taken root on top of the wall and presumably, on the reverse (Larks in the Wood house) side should also be considered. This will be damaging the structure of the wall and repairs limited to the southern façade alone will not ensure its long-term stability.

The instillation of an oil tank in this northern area was also discussed and in principle, I would have no objection. However, mitigation measures would be needed to reduce the visual prominence of the tank. A suitable and inconspicuous location should be considered and further mitigation could take the form of a black, weatherboarded timber cover and/or planting.

The replacement of the glazed screen over the former north opening to the barn would be acceptable. The existing screen is not of good quality and it may be possible to install a better screen, that sits further back within the opening, helping to keep its legibility as a historic opening.

The addition of gates and walls to the garden is also proposed. The addition of a new garden wall attached to the end of the historic garden wall would be problematic, as it would create a sense of division and separation between the Grade II\* Listed house and its former barn, visible in the approach from the east. A new wall, set further back, running from the north-east corner of the single-

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story element, to the existing cartlodge, could be acceptable, however. This would need to be sensitively done, without impacting the fabric of the Listed building. The use of suitable bricks, in an appropriate traditional bond would be needed, with potentially subtle details, such as coping bricks, plinth, piers and panels. The introduction of new gates is also acceptable in principle, although these should be sympathetic to the rustic character of the site. The replication of a five-bar gate, for example, would be acceptable. Over ostentatious gates and garden walls should be avoided as they will domesticate the site and create a negative contrast with the site's historic agricultural character.

In general, the various aspects of the proposal are acceptable in principle. Should an application be forthcoming, details of materials, windows, repairs, landscaping, boundary treatments and lighting would be required. These can be included within the application or they can be approved by planning condition. Should repairs to the Listed building's fabric be necessary some further discussion and monitoring may be required. A heritage statement will also be needed with the application, which should provide details on the significance of the building and in particular its historic fabric, clearly stating any impact of the scheme on that significance, providing evidence for the conclusions drawn.

Yours sincerely,

David Sorapure BA (Hons)  
Historic Buildings Consultant

*Note: This letter is advisory and should only be considered as the opinion formed by specialist staff in relation to this particular matter*

**Our ref:** 23/60067/PREAPP  
**Your Ref:**  
**Direct Dial:** 01376 552525  
**Ask for:** Jack Street  
**Date:** 02.05.2023

Dan Wright  
C/o Chris Read  
5 Sturmer Road  
Haverhill  
Suffolk  
CB9 7UU

**WITHOUT PREJUDICE**

Dear Sir/Madam,

**APPLICATION NO:** 23/60067/PREAPP

**DESCRIPTION:** Internal alterations and two single storey extensions proposed to Grade II Listed Barn.

**LOCATION:** The Barn Larks In The Wood Pentlow Essex CO10 7JU

Thank you for your request for pre-application advice in respect of the above site which was received on 9 March 2023. In response please see the attached pre-application report which sets out the position of the Local Planning Authority (LPA) regarding the proposals.

Should you wish to proceed to submit a formal Listed Building Consent application for consideration, please refer to Appendix 1 below which sets out the supporting documentation that would be required to be submitted.

A list of, and a link to, the relevant policies are attached at Appendix 2 to the report for your information.

Statements made by planning officers and Council employees are not binding on the Local Planning Authority. If you wish to have a planning issue decided conclusively then the appropriate procedure must be used to obtain a formal decision from the Local Planning Authority.

I hope this is of assistance.

Yours faithfully,

Jack Street  
For Planning Development Manager

LBC



## Pre-Application Report

<b>Summary</b>
<p>If a formal application for listed building consent was submitted for consideration, the impact of the proposed works upon the listed building is generally considered to be acceptable.</p> <p>The pre-application process has included a site meeting to the property attended by an officer of the Local Planning Authority and the Council's Historic Buildings Consultant. The response from the Historic Buildings Consultant is sent alongside this report and their assessment and guidance on the acceptability of the scheme should be used to inform any future application.</p> <p>In general, the works are acceptable although minor amendments to the design or approach to certain aspects may be required to ensure the works are acceptable from a heritage perspective. These include:</p> <ul style="list-style-type: none"> <li>- The form of the garden room's fenestration requires some amendment, perhaps with the square windows shown in the sketch drawing (Design Concept, Page 8) being changed to narrow openings.</li> <li>- The extent of lighting shown in the sketch drawing is somewhat excessive and a reduction would be needed or positioned in less visually intrusive positions.</li> <li>- With respects to the oil tank, mitigation measures would be needed to reduce the visual prominence of the tank.</li> <li>- The addition of a new garden wall attached to the end of the historic garden wall would be problematic, as it would create a sense of division and separation between the Grade II* Listed house and its former barn, visible in the approach from the east. A new wall, set further back, running from the north-east corner of the single- story element, to the existing cartlodge, could be acceptable from a heritage perspective. Traditional materials, finishes and designs would be needed and over ostentatious gates and garden walls should be avoided.</li> </ul> <p>In general, the various aspects of the proposal are acceptable in principle. Should an application be forthcoming, details of materials, windows, repairs, landscaping, boundary treatments and lighting would be required. These can be included within the application or they can be approved by planning condition. Should repairs to the Listed building's fabric be necessary some further discussion and monitoring may be required. A heritage statement will also be needed with the application, which should provide details on the significance of the building and in particular its historic fabric, clearly stating any impact of the scheme on that significance, providing evidence for the conclusions drawn.</p> <p>The heritage guidance is sent alongside this report and should be used to inform any future planning application at this site.</p> <p>NOTE: Householder planning permission would be required. The planning merits of the proposal have not been assessed given that only heritage advice was requested. Should you wish advice in this respect, a further pre application request would be required.</p>

<b>Impact upon Heritage Asset</b>	<b>Relevant Policies: National Planning Policy Framework (NPPF) Paragraphs 194 - 205 LPP57, LPP58</b>
<p>The building is a Grade II Listed Building.</p> <p>The impact of the proposed works upon the special architectural and historic interest of the listed building are generally considered to be acceptable and would not harm the setting; character, structural stability or fabric of the building. However, this is provided that the guidance outlined in the heritage assessment sent alongside this pre-application report is considered and informs any future application. The suggested alterations, as outlined in the summary, should also be considered.</p> <p>Should an application be forthcoming, details of materials, windows, repairs, landscaping, boundary treatments and lighting would be required. These can be included within the application, or they can be approved by planning condition. Should repairs to the Listed building's fabric be necessary some further discussion and monitoring may be required. A heritage statement will also be needed with the application, which should provide details on the significance of the building and in particular its historic fabric, clearly stating any impact of the scheme on that significance, providing evidence for the conclusions drawn.</p> <p>NOTE: the planning merits of the proposal have not been assessed given that only heritage advice was requested. Should you wish advice in this respect, a further pre application request would be required.</p>	
<b>Manager Sign Off</b>	
	<p>Katie Towner, Area Development Manager North</p> <p>K Towner</p>
<p>Sign Off Date: 02/05/2023</p>	

