

CONDITIONAL DISCHARGES

Site: The King's Head, Ivinghoe



Prepared for:

Chris AlThe following exander

date: July 2023

BATTRAM ASSOCIATES

Chartered Building Surveyors
48 High Street
Tring, Herts, HP23 5AG
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The following Conditions are sought to be discharged following receipt of Planning approval 23/00481/ALB

Condition 1:

Is advisory only – no further action required.

Condition 2:

Is advisory only – no further action required.

Condition 3:

Is advisory only – no further action required.

Condition 4:

It is noted that hand tools only to be used and this has been conveyed to the site operatives aligned to do the works.

Condition 5:

The mortar of the building has been tested and compared to sample trays, and it is proposed to use CLM90 ST Astier Lime putty:



Condition 6:

We have been asked to give a method of repointing brickwork.

Where it has been identified for repointing of masonry all raking out is to be undertaken by hand and hand tools and chisels only – no angle grinders or other mechanical tools are to be used.

The raking out must achieve a min of 12mm in depth and effected in the lime as noted in the previous condition. All loose and friable material to be removed and dust removed when the repointing is carried out spray water if needed on the bricks if too dry to point too.

Where pointing is sound, as sample picture below, do not rake out. The new repointing to be a struck joint in similar fashion:



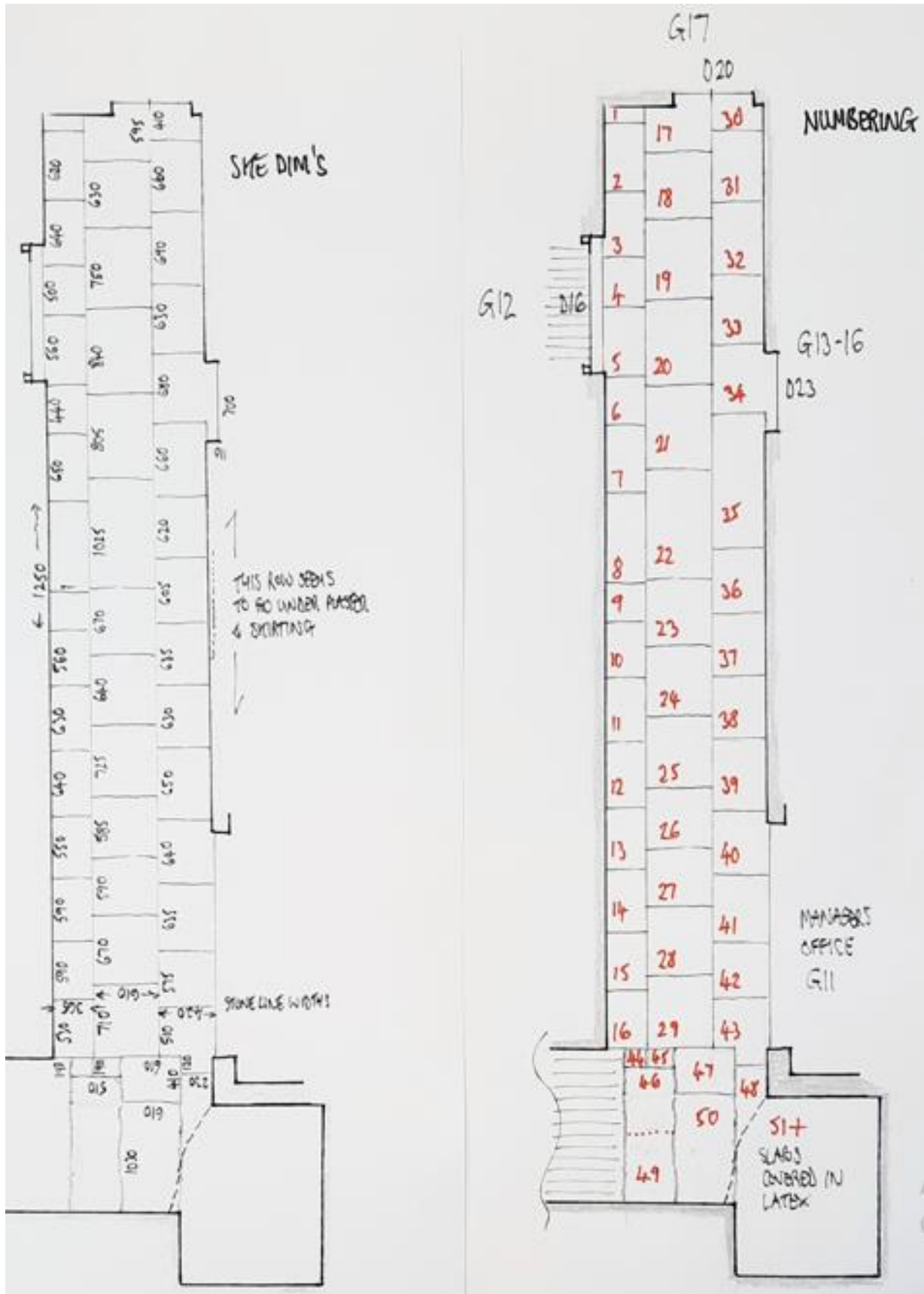
No new rendering is proposed other than to rake out cracks and hollow sheer areas of cementitious render and fine fill to prevent any rainwater wash gaining access into the underlying modern walls.

Example of poor last repointing (no depth) and cementitious, and evidence of repointing below in soft sand and hardly any lime:



Condition 7:

A drawing of the layout of the floor slabs has been effected, so that when they are to be lifted they can be numbered and set aside, to accord with this plan:



Condition 8:

This condition needs further research and will be made by separate approach. It is not holding up the urgent restoration of the building.

Condition 9:

Extracts from the specialist who has effected the test patches, awaiting the Conservation Officers viewing – method statement and patch photos:

Premier Blasting Limited
18 Goodwood Avenue
Bridgnorth
Shropshire
WV15 5BD
Tel: 07534350567



Method statement

Method Statement Details

Method Statement Number: 1

Method Statement Date: 23/07/2023

Method Statement Author: Ben Seymour

Project/Contract: The ~~Kingshead~~ Day Nursery

Start Date: 14th august 2023

Expected job duration: 8 days

Client Contact: Chris Alexander/Ashridge Property Limited

Description: Micro-strip blasting of painted oak beams.

Address: The Kings Head, 2 station road, Ivinghoe, LU7 9EB

General precautions

To be observed by all staff at all times, any deviation from these control procedures must be authorised by the site manager or safety representative.

Communication with Other Workers on Site

All staff will report to the site office for induction on arrival at the site. The site manager will inform staff of any hazards that are present on site. Staff will inform the site manager of the work to be carried out and how it could affect other trades working on the site. Where necessary notices will be posted advising of any hazards present during the works. If a "Permit Area" is established a log of "Permitted Workers" will be kept and a briefing given by the Premier Blasting ltd lead worker. Where contractor activities cross, the senior person must liaise with the other trades to ensure safe operation.

Material Handling

All materials required for site will be unloaded to a designated unloading and storage area which will be away from the work area as far as is practicable. This area will be kept tidy to minimise trip hazards. Materials as and when required will be collected from the storage area and transferred to the work area. All staff will take care when handling materials and will use mechanical aids wherever possible. When stacking materials particular care must be taken to ensure that the stack is secure and that the product does not get damaged.

Media Blasting on site

1. On arrival at the site report to the site office and the site manager.
2. Request a site induction or if you have already been inducted ask of any changes since you were last on site, these can be physical as well as operational.

3. Move to the work area and establish, if required, an exclusion zone. This must be clearly marked and signage erected showing that entry is only permitted by workers with a permit.
4. Keep a Register of Permitted Workers. Anyone requiring access whilst blasting operations are ongoing must be briefed on safety with the exclusion area and sign the Register.
5. When establishing the exclusion zone consider dust and noise and how it might affect other workers close by or members of the public.. Consider if the site manager might have to move these workers elsewhere for the period covered by the blast operations. Also consider physical barriers to prevent spread of dust and unsatisfactory levels of noise.
6. Site any vehicles and equipment such they are not an obstruction and that exhaust fumes will not cause damage or nuisance to others.
7. Establish an Emergency area and site First Aid Kit, Spill Kit and Fire Extinguishers here. Make sure all workers within the Permitted Area know of the location.
8. This is a good time for a Toolbox Talk. Cover Emergency area, process for the tasks for the day and ensure everyone is aware of evacuation and first aid measures.
9. Ensure all workers have correct PPE for the task, that it is properly fitted and in good order. Report any issues to the Site Supervisor.
10. Perform all safety and levels checks on the equipment being used. Report any issues to the Site Supervisor.
11. Everyone should monitor; equipment whilst in use, personnel within the permitted area. Any change in dust or noise levels must be dealt with immediately and operations stopped until corrected.

Personal Protective Equipment (PPE)

PPE will be provided as a last form of protection against a hazard.

Staff will use the appropriate PPE for the task as identified in the risk assessment.

Wearing of PPE is mandatory on all Client contracts: All Premier Blasting limited site workers will wear Safety boots Foot protection to (EN20345 c/w midsole protection), Hi Visibility protective clothing (Hi-Visibility Yellow Waistcoat to EN471*), Hard Hats (Hard Hat to EN397) , gloves (Hand Protection to EN388) and glasses (Eye Protection to EN 166 Optical Class 1) and at all times.

Other items of PPE such hearing protection, Filter Mask (FP3)◆ Face Fit test certified to the individual), face shields are available to be worn as and when necessary and as determined by the risk assessment.

Blast operator will wear air fed helmet during blasting operation.

Preparation and Induction

Staff will be inducted onto site, in order to understand the hazards present on site and the tasks that are to take place.

Staff will also be advised of other site activities that could impact on their work.

A risk assessment will be carried out for all tasks, which will be discussed with members of staff.

Staff will follow all site rules and safety procedures.

Staff and Training

The task will be carried out by staff from Premier Blasting Limited.

All staff are trained and qualified, experienced and receive ongoing training, and hold suitable qualifications where appropriate.

Apprentices are under constant supervision by senior members of staff.

Tools and Electrical Equipment

All tools and equipment will be visually inspected on a daily basis, defective or damaged equipment will be removed from service.

The photos of the test patches as overleaf:





Condition 10:

New windows – a specialist window installer is still be sought and yet firmed up – drawings will be provided under separate Conditional cover in due course.

This buildings 12 month planned restoration will retain the damaged and rotten ones for now as the buildings windows are wind and watertight for the short term, and a focus on the roofing and walls ahead of the winter is being planned.

Condition 11:

Service runs that affect the buildings fabric that will involve invasive routing and coring have been requested.

However, in detailed consultations with the appointed Heating engineer and Electrician it has bene noted that there will be no further invasive or notching to any walls or floors.

The Electrician is reusing much of the wiring and carrying out nominal repairs and safety work that does not affect the structure of the building.

The Heating Engineer will be running pipes back to radiator positions and only new hangers will be fitted to walls, as the radiator panels will be renewed. The main flow and return pipe runs are going back to high level loft areas as much easier to access across the building and drop down to radiators – the first floor structure with 200+ year old joists has bene identified as unsuitable to run pipework.

Condition 12:

We have discussed this Condition with Dr Jonathan Hunn BA PhD FSA MCIfA who works with us on a number of projects.

We would note to all that The Project Design we have had approved relates to the following floor areas:

- 1) The timber elements collapsed in the Cocktail Bar (room G12)
- 2) The lifting of the concrete slab in the same area
- 3) The fliting of sodden / damp flagstones in the corridor

The Project design is to use the recognised system of a glass crete lime based floor base, in order to control damp uniformly across these ground floor areas. In doing so there will be the need to excavate the old lime base rubble compaction to make way for the granular base.

The Project Design is therefore two fold;

A – Recording of artefactual material:

After the slabs are lifted and the cocktail bar flooring lifted out Dr Hunn will attend site and review what “spoil” remains, and will then provide a follow up statement of his need for effecting a watching brief. He notes to us this may be a single visit or depending on what is found may need multiple visits.

The aim of the watching brief will be to ensure there is analysis, conservation, and (if required) long term storage of any artefactual / ecofactual material recovered from the floor zones.

It is noted that his work will conform to the requirements of the DA, to the relevant sections of the Chartered Institute for Archaeologists` *standard & guidance for archaeological watching briefs* (CIfA 2020) and to Historic Englands guidelines (HE 2015a)

B – Recording of any architectural structure:

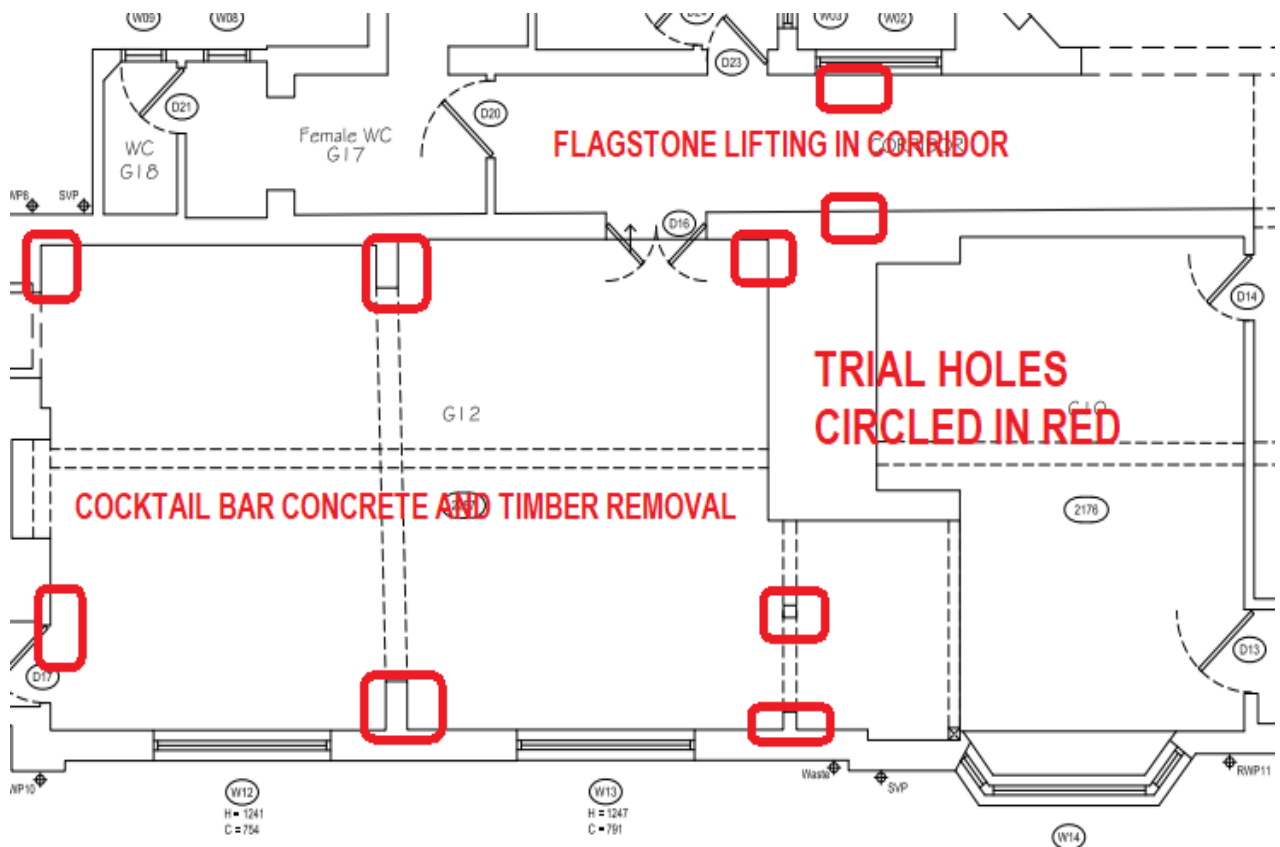
In tandem with Dr Hunns work Battram Associates will provide a plan drawing of any structure, foundation, or historic services found in the ground, as a record that may be useful for future reference point in the understanding of the development and layout of this part of the building, being so close to a known C12th cruck building (Pendyce House).

Condition 13:

In tandem to the last condition a trial hole will be provided in the side spoil of all wall abutments to ensure that when the glass crete floor is enacted that there is sufficient stability on all sides before the glass crete is laid. This is noted particularly as there may be remnants of the timber frame walling / posts in the fabric that need to be checked at the base of the ground – see mark up overleaf of side areas to be checked.

From a methodology stance any minor repairs can be effected locally but should any underpinning or substantial works be required this must be designed out and a site meeting held with the LPA`s Conservation Officer before being enacted.

Areas to be checked ahead of Glass Crete installs:



Synopsis:

To follow:

- any follow up from the watching brief relating to Conditions 12 and 13 once works get underway
- details yet to be served in relation to Conditions 8 and 10 of the planning approval

BATTRAM ASSOCIATES

Chartered Building Surveyors



