



KDK ARCHAEOLOGY LTD

Heritage Asset Impact Assessment

19/21 High Street

Markyate

Hertfordshire



Site Data

KDK project code:	707/MHS
County:	Hertfordshire
Village/Town:	Markyate
Civil Parish:	Markyate
NGR (to 8 figs):	TL 05968 16694
Present use:	Disused shop and residences
Planning proposal:	Conversion to residential, demolition of existing outbuilding and erection of new residential building
Local Planning Authority:	Dacorum Borough Council
Planning application ref/date:	22/03412/FUL
Date of fieldwork:	4 August 2022
Commissioned by:	Julian Seabrook Unit 17 Ashridge Road Chesham, Bucks HP5 2PX
Client:	Rupert Arnold & Associates (Watford) Limited Cumberland House The Common Redbourn Hertfordshire

Quality Check

<i>Author</i>	Ellen Shlasko PhD	<i>Version</i>	707/MHS/1.1	<i>Date</i>	21.10.2022
<i>Editor</i>	Karin Kaye MA MCIfA	<i>Version</i>	707/MHS/1.1	<i>Date</i>	27.10.2022
<i>Revision</i>	Ellen Shlasko PhD	<i>Version</i>	707/MHS/1.2	<i>Date</i>	01.06.2023
<i>Revision</i>	Ellen Shlasko PhD	<i>Version</i>	707/MHS/1.3	<i>Date</i>	29.06.2023

© KDK Archaeology Ltd 2023 No part of this document is to be copied in any way without prior written consent.

Every effort has been made to provide as complete and as accurate a report as possible. However, KDK Archaeology Ltd cannot accept any liability in respect of, or resulting from, errors, inaccuracies, or omissions contained in this document.

© Ordnance Survey maps reproduced with the sanction of the Controller of His Majesty's Stationery Office.
KDK Archaeology Licence No. 100053538

Unit 3 Leighton Road Leighton Buzzard Bedfordshire LU7 1LA

Tel: 01525 385443

Email: office@kdkarchaeology.co.uk

Website: www.kdkarchaeology.co.uk





Contents

Summary	1
1. Introduction	1
2. Aims & Methods	5
3. Historical Background	7
4. Survey	12
5. Statutory Constraints on Development	27
6. Assessment of Heritage Potential	29
7. Conclusions.....	32
8. Acknowledgements.....	33
9. Historic Environment Data	34
10. References.....	38
11. Documentary Sources.....	39
12. Cartographic Sources	39

Figures:

1. General location	2
2. Site location.....	3
3. Proposed development	4
4. Heritage assets located in the Hertfordshire HER.....	9
5. 1880 Ordnance Survey map	10
6. 1924 Ordnance Survey map	10
7. 1971 Ordnance Survey map	11
8. Front building, front and rear elevations.....	17
9. Front building, side elevations	18
10. Front building floor plans.....	19
11. Outbuilding elevations.....	20
12. Outbuilding plans	21
13. Proposed streetscape and views of both proposed buildings.....	22
14. Proposed front building elevations	23
15. Proposed front building floor plans	24
16. Proposed new build elevations	25
17. Proposed new build plans.....	26

Plates:

1. Markyate High Street	13
2. Markyate High Street.....	13
3. Rear garden	13
4. View from drive	14
5. Side and front elevations.....	14
6. Side and front elevations	14
7. Rear elevation	15
8. Side and rear elevations	15
9. Outbuilding.....	15
10. Outbuilding and rear garden	15



Summary

In October 2022, KDK Archaeology Ltd prepared a Heritage Asset Assessment of 19-21 High Street, Markyate, Hertfordshire. The site is located at the northern end of the Markyate Conservation Area and consists of a modern building and outbuilding. Historic maps show that until the early-mid 20th century, there was a row of cottages facing the street, with outbuildings in the rear. The proposed development will reinstate the street frontage, having a positive impact on the surrounding area. Because of its location within the Markyate Area of Archaeological Significance, there is the potential for development to negatively impact below ground remains. Therefore, a programme of archaeological evaluation or observation may be required.

1 Introduction

1.1 In October 2022, KDK Archaeology Ltd prepared a Heritage Asset Assessment of 19-21 High Street, Markyate, Hertfordshire. The project was commissioned by Julian Seabrook, and was carried out in support of planning application 22/03412/FUL. This document has been prepared to reflect changes in the proposed development.

1.2 *Planning Background*

This assessment has been required under the terms of the National Planning Policy Framework (NPPF) in order to inform development proposals.

1.3 *The Site*

Location

The proposed development site is located at 19-21 High Street, in the village and civil parish of Markyate, and the administrative district of Dacorum Borough Council. It is within the Markyate Conservation Area and the Markyate Area of Archaeological Significance. The National Grid Reference is TL 05968 16694 (Fig. 1).

Description

The site is a roughly rectangular lot at the northern end of the village, on the northeast side of the High Street. It is flanked to the northwest and southeast by residences. The A5 forms its northeast boundary. There are two existing buildings, the main structure faces and is set back from the High Street and there is a rectangular outbuilding to the rear (Fig. 2).

Geology & Topography

The geology underlying the site consists of chalk of the Holywell Nodular Chalk Formation and the New Pit Chalk Formation (<https://geologyviewer.bgs.ac.uk>). It is on the southwest slope of the Ver valley, at approximately 133m AOD, with a significant slope down from the High Street to the rear of the property.

Proposed Development

The proposed development calls for the extension and alterations to the building on the High Street frontage to form 3 cottages together with the demolition of the existing outbuilding to the rear and the construction of 2 new cottages (Fig. 3).

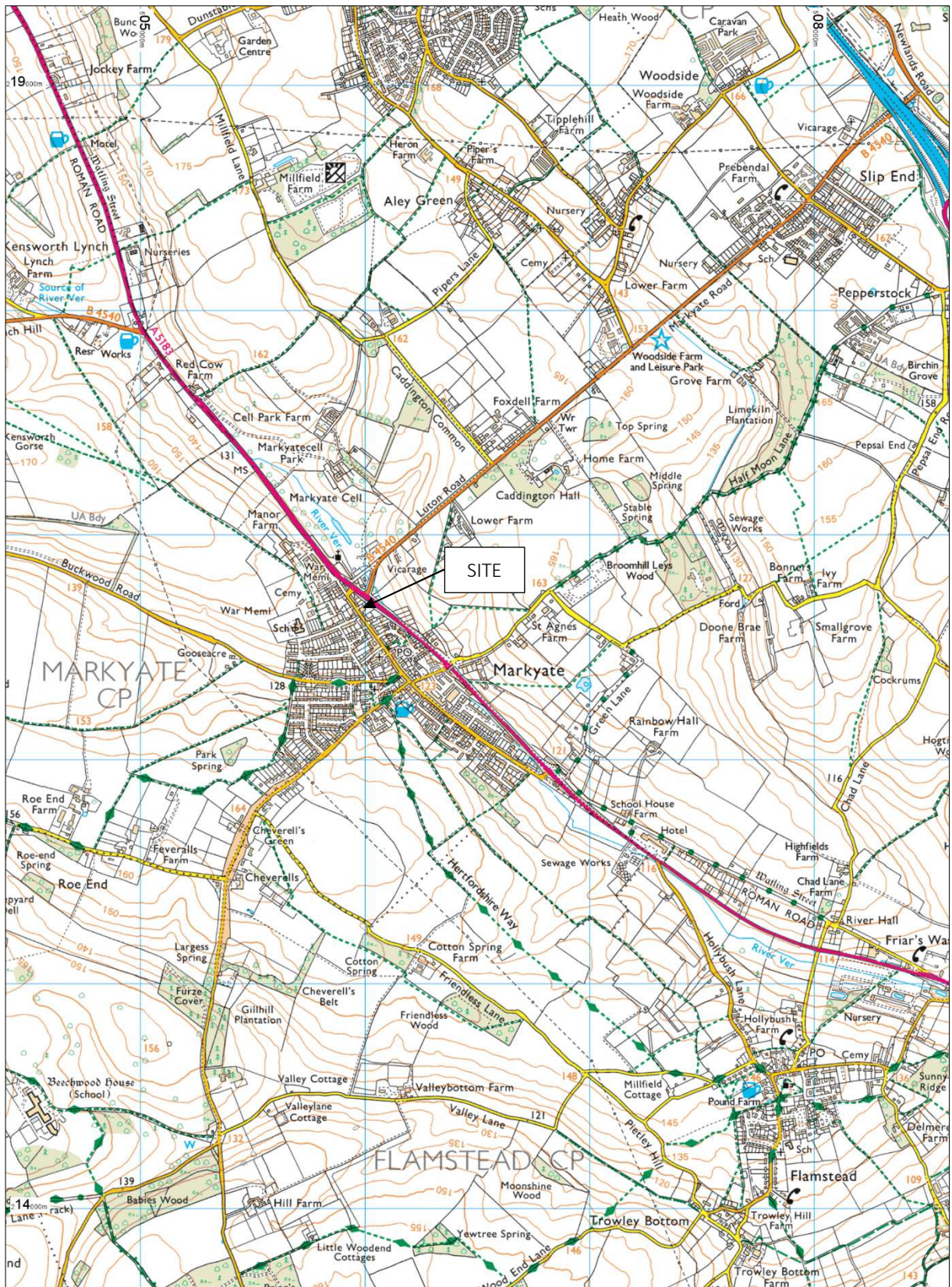


Figure 1: General location (scale 1:25,000)

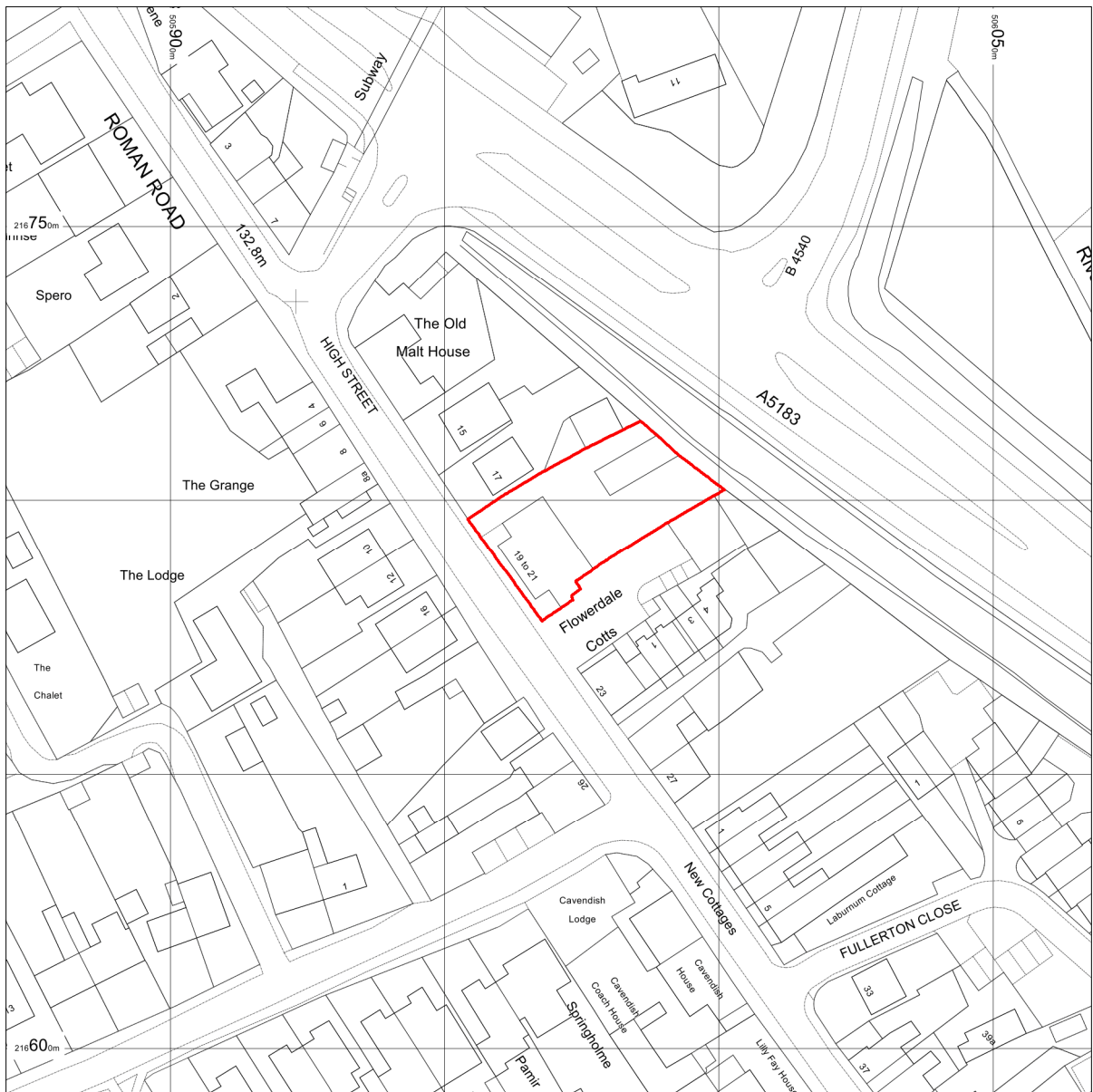


Figure 2: Site location (scale 1:1250)



Figure 3: Proposed development (scale as shown)



2 Aims & Methods

- 2.1 This Heritage Asset Assessment has been prepared in order to comply with Paragraph 205 of the National Planning Policy Framework (NPPF 2021), whereby the significance and setting of the heritage asset(s) and the potential impacts of the proposed development are set out in order to inform the Planning Application.

This requires the collation of existing information in order to identify the likely extent, character and quality of the known or potential heritage assets and/or archaeological resources, in order that appropriate measures for mitigating the impact of development might be considered (ClfA 2020).

- 2.2 The assessment was carried out according to the Chartered Institute for Archaeologists' *Standard and Guidance for Archaeological Desk-Based Assessments* (ClfA 2020) with additional reference to Historic England Advice Note 12, *Statements of Heritage Significance: Analysing Significance in Heritage Assets* (Historic England 2019b). As part of the assessment of significance, this report will evaluate the various interests associated with the site, including:

- Archaeological interest
- Architectural and artistic interest
- Historic interest

- 2.3 The following readily available sources of information were consulted for the assessment:

Archaeological Databases

The principal archaeological database to the known archaeology of an area is the Historic Environment Record prepared largely on a county basis and available in limited form on the website Heritage Gateway. The data used in this report was sourced directly from the Hertfordshire HER, Hertford. The study area employed in the HER search includes the site itself, and a surrounding area of approximately 0.5km radius.

Historic Documents

Documentary research is essential to assess the history of a site, its context and significance. The principal source consulted was the Hertfordshire Archives and Local Studies (HALS), Hertford.

Cartographic & Pictorial Documents

Old maps and illustrations provide additional and often unique information to enhance the study of a site and its context. The principal source consulted was HALS.

Air Photographs

Aerial photographs can be extremely informative with regard the layout and use of a particular site and its development over time. It can also provide further contextual information which can allow a better understanding of the heritage asset and its significance. The principal source consulted was Britain from Above.

Geotechnical Information

A description of the topography and solid and surface geology of the site and its environs was compiled, so as to appreciate the potential condition of any archaeological remains, to assess the hydrological conditions, and to appraise the potential for the survival of buried waterlogged archaeological and palaeoenvironmental deposits.



Secondary & Statutory Sources

The principal source consulted was the Dacorum Borough Council Adopted Core Strategy (2013).

2.4 ***Survey***

As part of the assessment a survey of the site was undertaken on the 4th August 2022, with the following aims:

- To examine any areas of archaeological potential identified during research for the assessment, in particular with a view to gauging the possible survival or condition of any heritage assets present.
- To consider the significance of any above-ground structures, historic buildings or historic landscape features present.
- To assess the present site use and ground conditions, with a view to the appropriate deployment of fieldwork techniques, if required by the LPA.



3 Archaeological and Historical Background

3.1 The village of Markyate is located on the border of Hertfordshire and Bedfordshire, in the valley of the River Ver. The High Street follows the line of Roman Watling Street, which linked London with Chester, so early activity flowed through the Markyate area. However, the earliest documentary record for Markyate dates from 1119, shortly before the foundation of a monastic that is known for its connection with the medieval mystic Christina of Markyate, its first prioress. The economic mainstay of 18th century Markyate was the coaching trade; it is said that there were 40 inns and public houses in the village as well as ancillary services such as wheelwrights and blacksmiths.

Known historically as Markyate Street or Market Street, the county border between Bedfordshire and Hertfordshire used to run down the centre of the High Street. It was not until 1877 that Markyate became a separate ecclesiastical parish. Twenty years later it became a civil parish, incorporating parts of the Hertfordshire and Bedfordshire parishes of Caddington, the Hertfordshire parish of Flamstead, and detached portions of the Bedfordshire parishes of Studham and Houghton Regis.

This section has been compiled with information from the previous KDK reports (Shlasko 2018; Lewis 2016), the Victoria County History (VCH), Hertfordshire Historic Environment Record (HER Ref: 94/22), the Bedfordshire Archives and Record Service (BARS), reliable internet sources and KDK's own library.

3.2 *Archaeological Background*

There is little archaeological evidence for human activity in Markyate prior to the construction of the Roman road. Settlement evidence in the Roman period is lacking, but a cemetery site is known to have been located to the north of Markyate (Simco 1984: 96, 99).

There is a similar dearth of archaeological evidence for the Saxon period, although an 8th century belt mount, described in the HER as Hiberno-Saxon, was found in the vicarage garden (HER 1306). Cropmarks reveal the presence of a substantial bank and ditch that once surrounded a spur of high ground known as Humbershoe. This is located south and west of the proposed development. The name Humbershoe is recorded in 1251 as *Humbrittesho*, thought to derive from 'Hunbheort's spur of land', suggesting that the earthwork is at least of Saxon date (HER 17817).

In the early 12th century, Roger, a monk from nearby St Albans Abbey, became a hermit in the woods near Watling Street. He attracted followers, including a woman who became known as Christina of Markyate. Markyate Priory was established by Christina with the support of Abbot Geoffrey of Saint Albans in 1145, in a wood belonging to the Dean and Chapter of St Pauls, London (Victoria County History). Trial trenching in pastureland at Markyate Cell Park, the estate associated with the medieval nunnery, revealed a deposit of medieval and post-medieval ceramic building material (HER 11868).

Most of the entries in the Historic Environment Record for this study are post-medieval buildings. A number of pubs and inns are listed including the Red Lion (HER 12097), The Sun (HER 12090), The White Horse (HER 12104), The Sebright Arms (HER 12099), The Five Horseshoes (HER 12092), The Green Man (HER 12094), The Plough (HER 12096) and The White Hart (HER 112103).

The Grange, No. 8 High Street, was formerly a public house known as the Cross Keys (HER 12091). It is part of a Grade II listed building dating to the 17th century.

The parish church of St John the Baptist was originally an 18th century chapel of ease, built in 1734 in the grounds of the medieval priory (HER 11201). The Sunday School for the newly



formed parish was constructed in the village itself and comprised a tin tabernacle, which was in use until the 1990s (HER 30496). The Wesleyan church (HER 12086) was built in 1859 to replace an early 19th century chapel (HER 18743). A breakaway movement of the Baptist Church gave rise to the construction of the Particular Baptist Chapel in the 1850s (HER 12089).

3.3 *The Known Archaeology & History of the Site*

The proposed development site is a modern building located on the northeast side of the High Street. Before this building was erected, sometime in the 20th century, the site was occupied by a row of cottages, with small outbuildings to the rear (Fig. 5). The plot behind the houses stretched down to the river (Fig. 6), until the A5 was constructed in 1957, cutting between the High Street and the river (Dacorum 2006: 4). This is shown on the 1971 Ordnance Survey map (Fig. 7).

Unfortunately, it is difficult to trace much of the earlier history of the site. Census records from the early years of the 20th century indicate that Nos. 19 and 21 were occupied by the Dell and Harris families, respectively. Frederick Dell was a farm labourer, while his wife Emma worked as a machinist in the straw hat trade. The Harris family were drapers, who ran their own business (1911 UK Census).

Moving further back in time is difficult. The censuses show that the occupants of the High Street changed regularly, and before 1911, none of them record street numbers, making it hard to pinpoint the location of a specific household. In addition, while each of the parishes that once contained parts of Markyate was probably mapped in the mid-19th century, there is no available tithe map of Caddington. The tithe map of Humbershoe, Bedfordshire from 1852, which encompasses the southwest side of the Markyate High Street, only shows a stylized row of houses on the northeast side of the street.

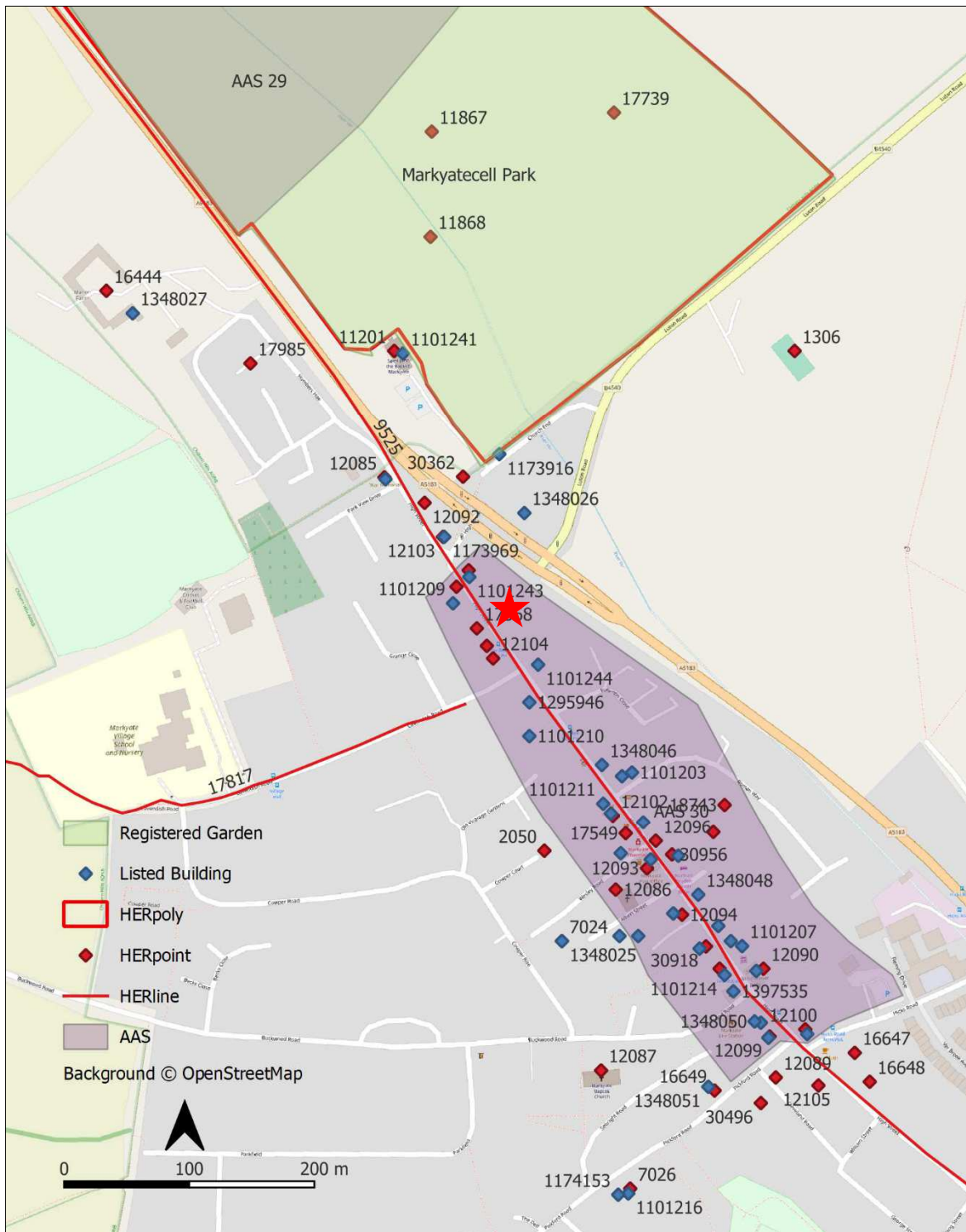


Figure 4: Heritage assets recorded in the Hertfordshire HER, site marked with red star (scale 1: 5000)

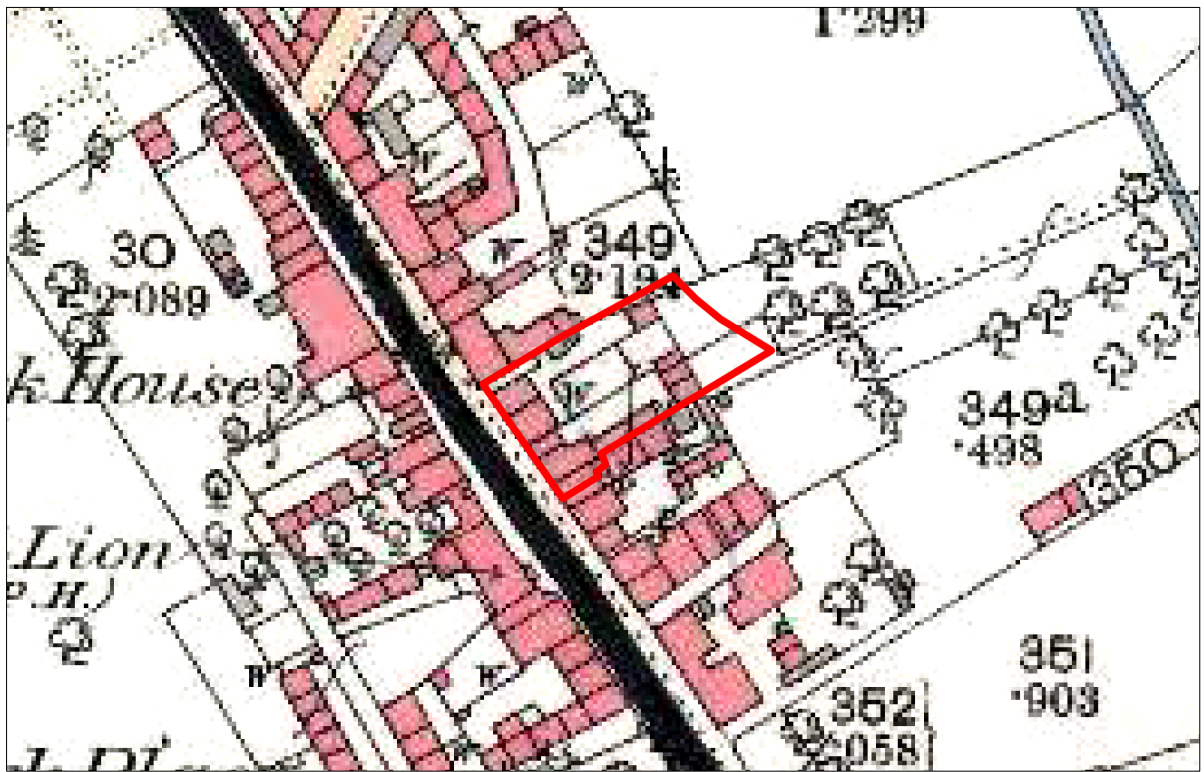


Figure 5: 1880 Ordnance Survey map of Markyate (scale 1:1250)

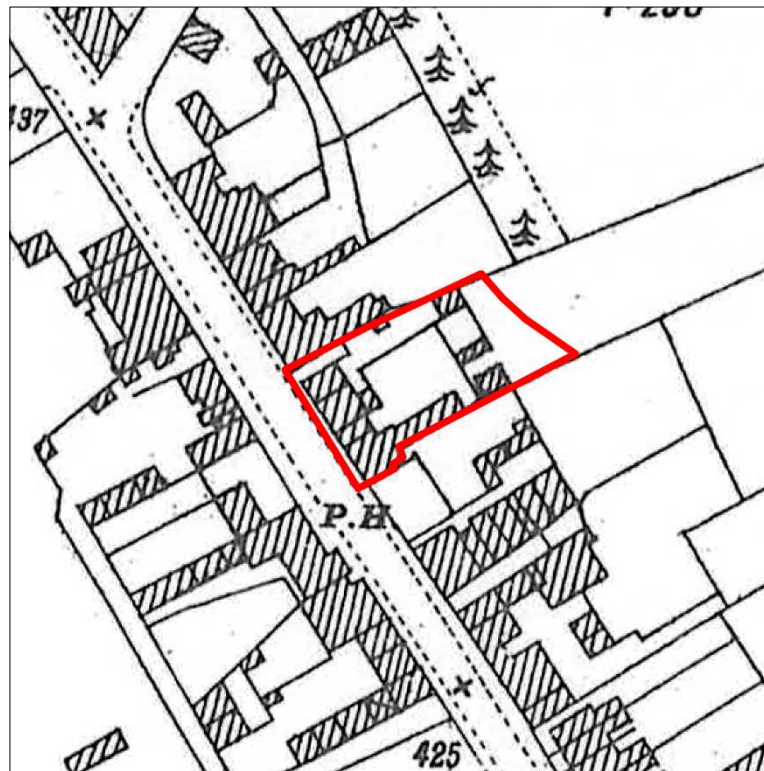


Figure 6: 1924 Ordnance Survey map (scale 1:1250)

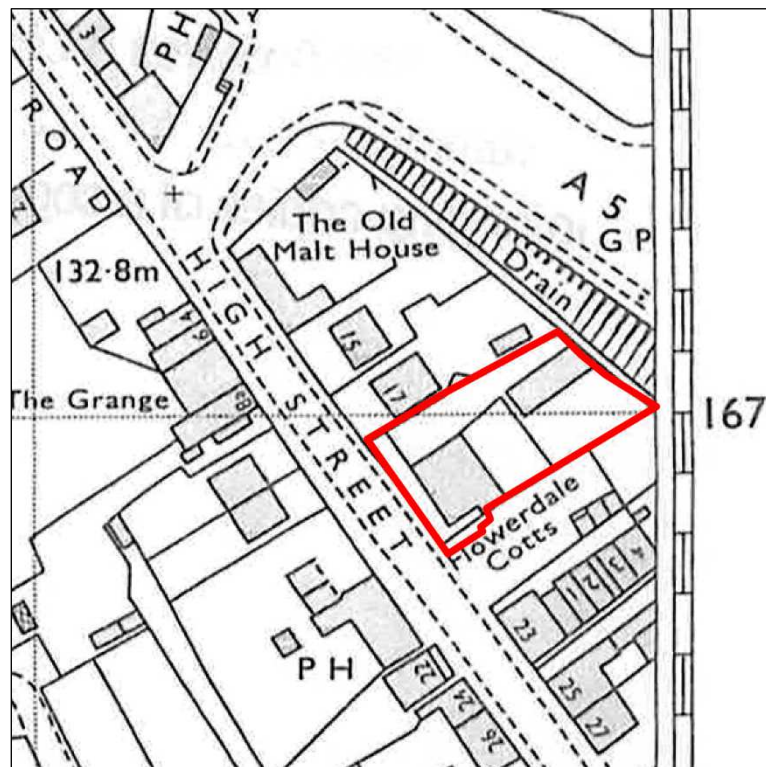


Figure 7: 1971 Ordnance Survey map (scale 1:1250)



4 Survey

4.1 *General*

For the purposes of this report, the main elevation facing the street is considered to be the west elevation.

4.2 *Extent, Access and Present Use*

The proposed development site consists of a roughly rectangular plot of land, located on the northeast side of the High Street in the village of Markyate, at the northern end of the village (Plates 1 & 2). The site slopes from the High Street down to the rear of the property, which is bounded on the northeast by the A5. A shared drive on the northern end of the site leads to the rear of the main building, the outbuilding and an overgrown garden (Plate 3).

Directly opposite the site is a modern residence (Plate 4), but there are historic properties in the vicinity. Several of these can be seen north of the site in Plate 2.

4.3 *Buildings*

There are currently two buildings on the site. Adjacent to the street is a modern, two-storey brick structure that appears to have been built in the 1950s (Plates 5-8). The ground floor housed an ironmonger's shop, now closed, in a one-storey, flat-roofed extension along the entire front façade of the building. A flat-roofed, one car garage was probably added to the northwest side of the building at the same time as the first floor extension was added to the rear of the building. The building has recently been refenestrated with UPVC double glazed units.

To the rear of the main structure is a large brick outbuilding (Plates 9 & 10). This is older than the building on the street frontage, and was constructed with Fletton bricks. There is a lean-to porch to the south and an outshut to the east, beyond which is a single storey brick structure built of gault bricks, in an English garden wall bond, under a pentice roof. All the roofs are covered in modern metal or asbestos corrugated sheeting. With the exception that in the west wall of the porch, the windows are traditional casements with tile sills and concrete lintels. The timber door in the south wall is hung on a tradition long strap hinge.



Plate 1: Markyate High Street, facing southeast



Plate 2: Markyate High Street, facing northwest



Plate 3: Overgrown rear garden, A5 beyond trees, facing northeast



Plate 4: View from drive, facing southwest



Plate 5: Side and front elevations, facing southeast



Plate 6: Side and front elevations, facing north



Plate 7: Rear elevation, facing southwest



Plate 8: Side and rear elevations from neighbouring property, facing west



Plate 9: Brick outbuilding, facing east



Plate 10: Brick outbuilding, facing north-northeast



Figure 8: Front building, front and rear elevations (scale 1:100)

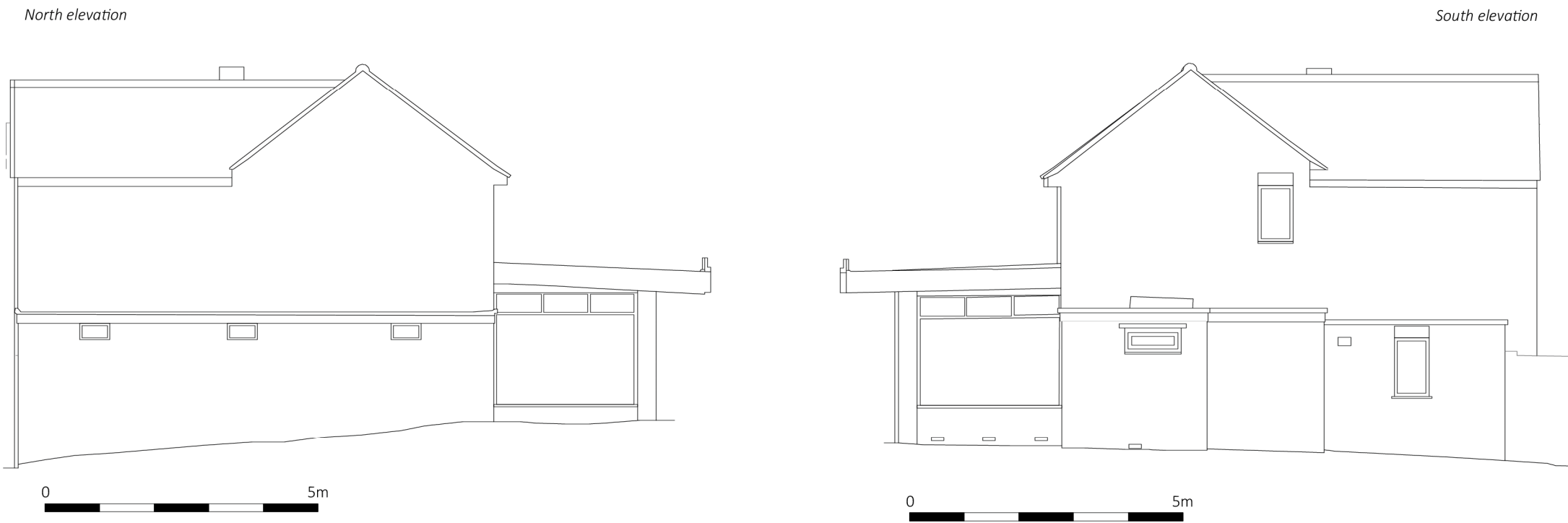


Figure 9: Front building, side elevations (scale 1:100)

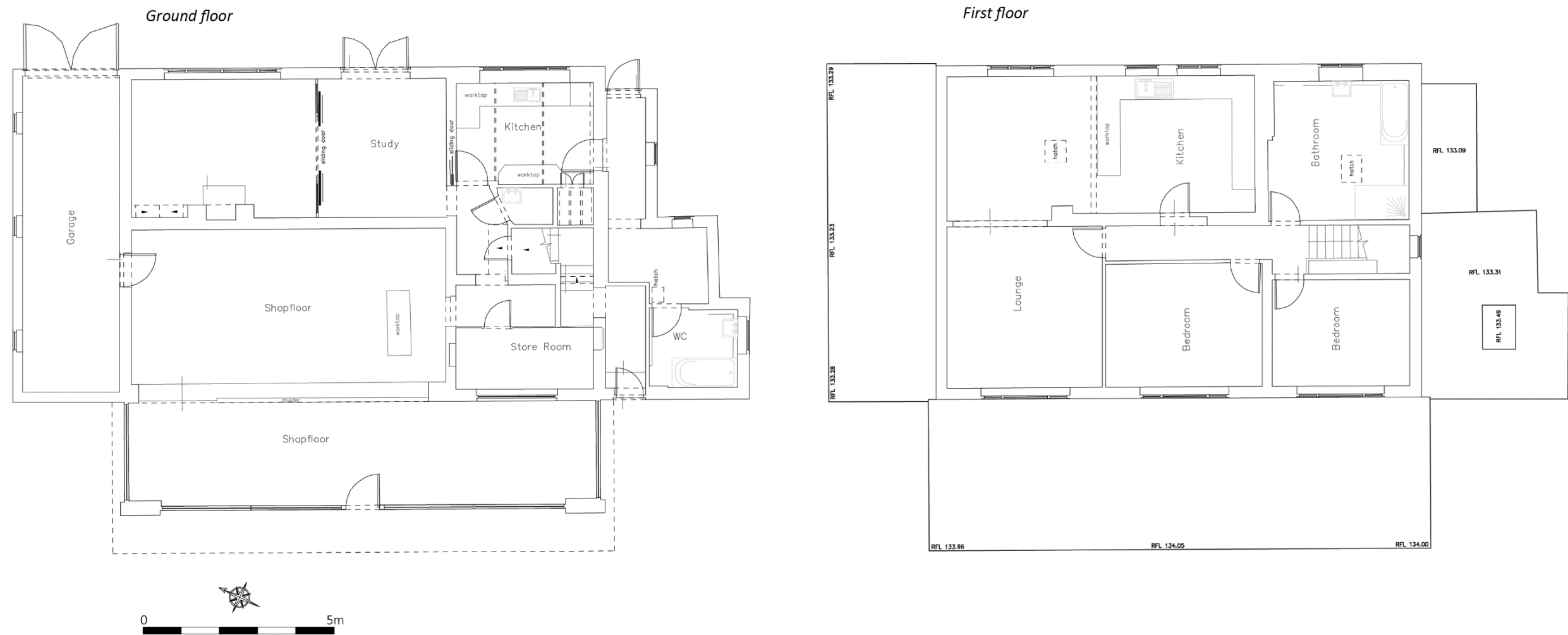


Figure 10: Front building floor plans (scale 1:125)



Figure 11: Outbuilding elevations (scale 1:100)

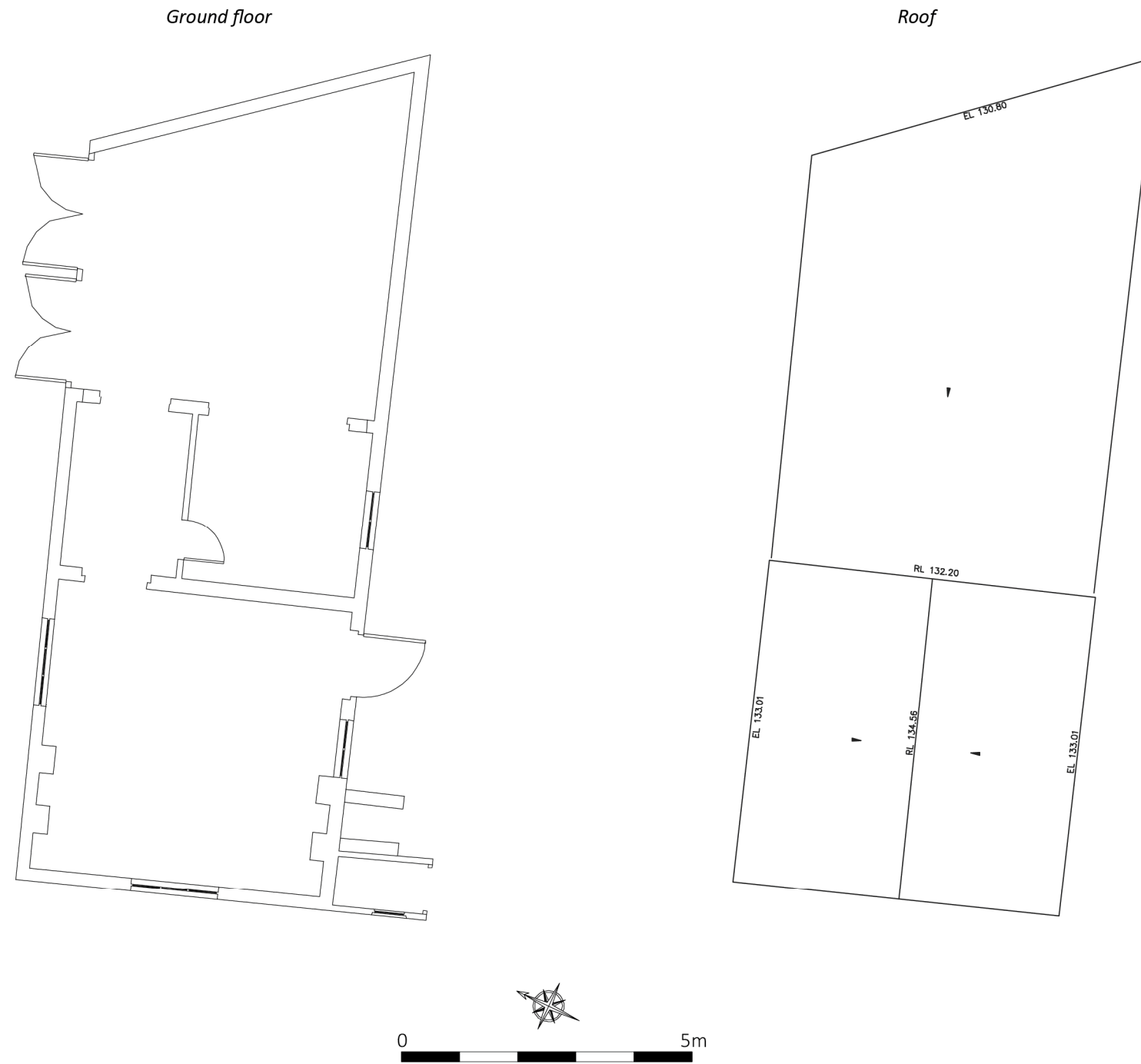
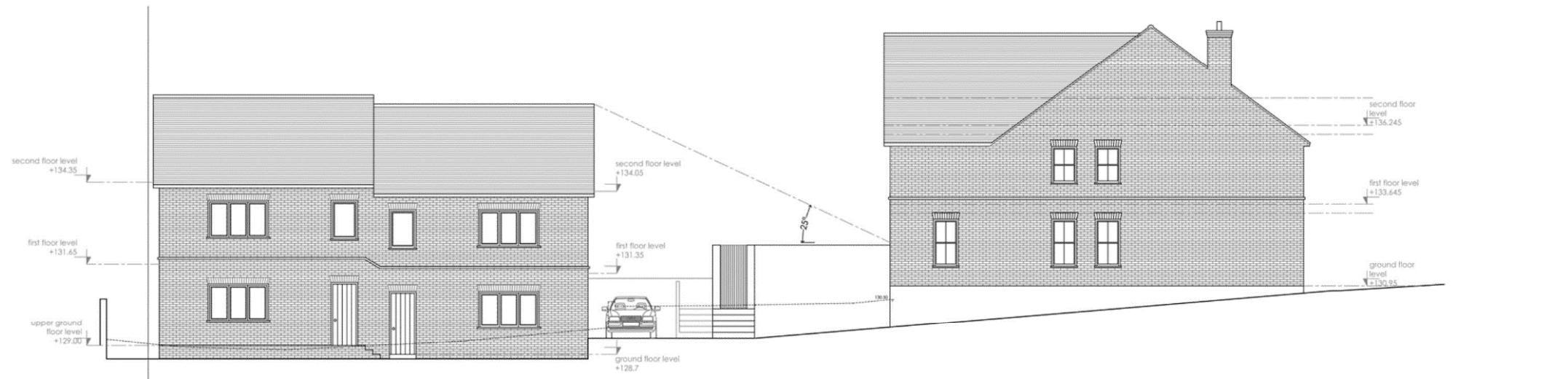


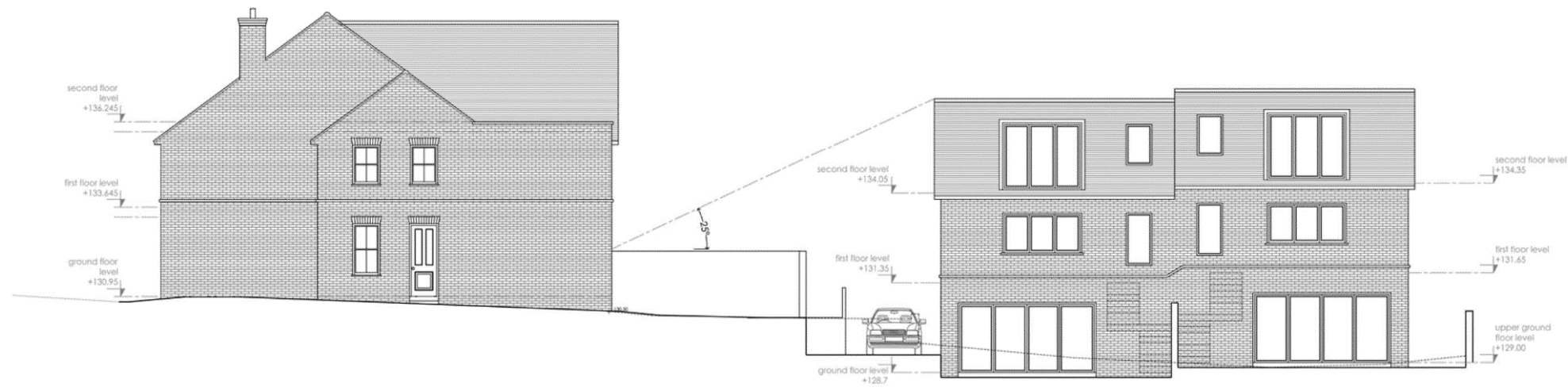
Figure 12: Outbuilding plans (scale 1:100)



Proposed southwest elevations



Proposed northwest elevations



Proposed southeast elevations

Figure 13: Proposed streetscape and views of both proposed buildings (scale as shown)



Proposed southwest (front) elevation



Proposed northwest (side) elevation



Proposed northeast (rear) elevation



Proposed southeast (side) elevation

Figure 14: Proposed front building elevations (scale as shown)

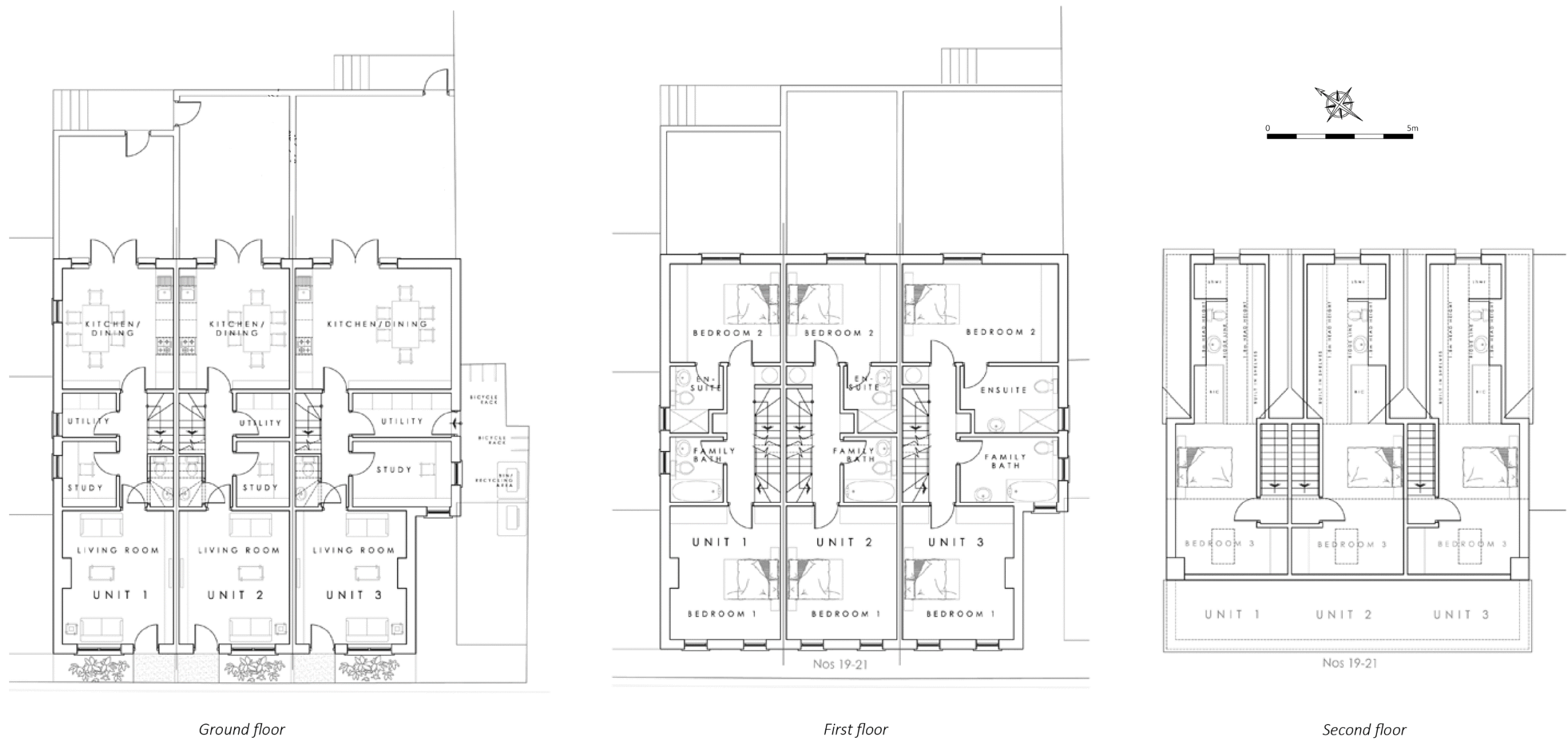


Figure 15: Proposed front building floor plans (scale as shown)



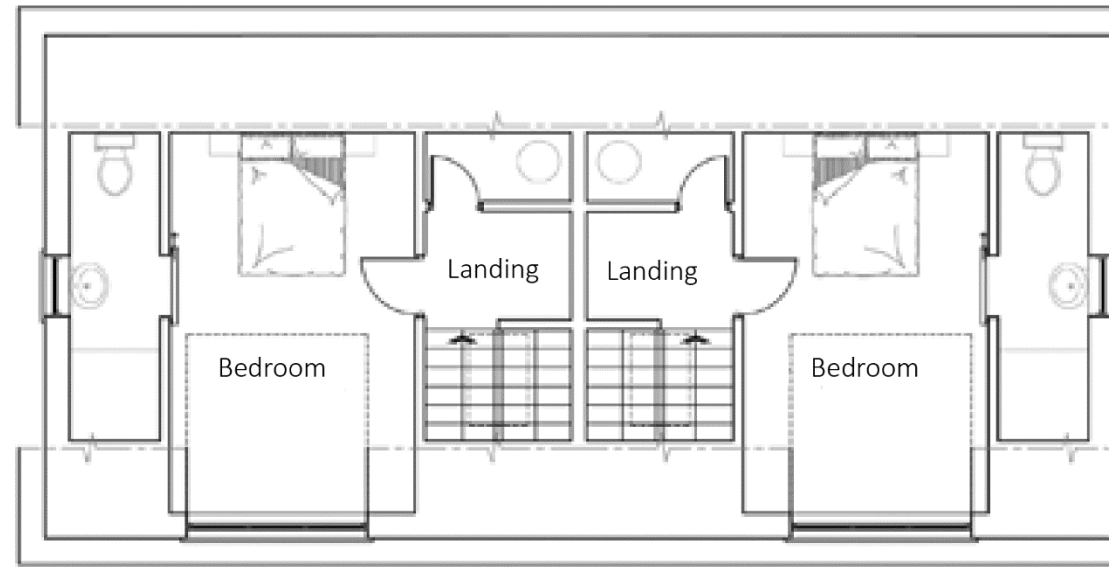
Northwest elevation



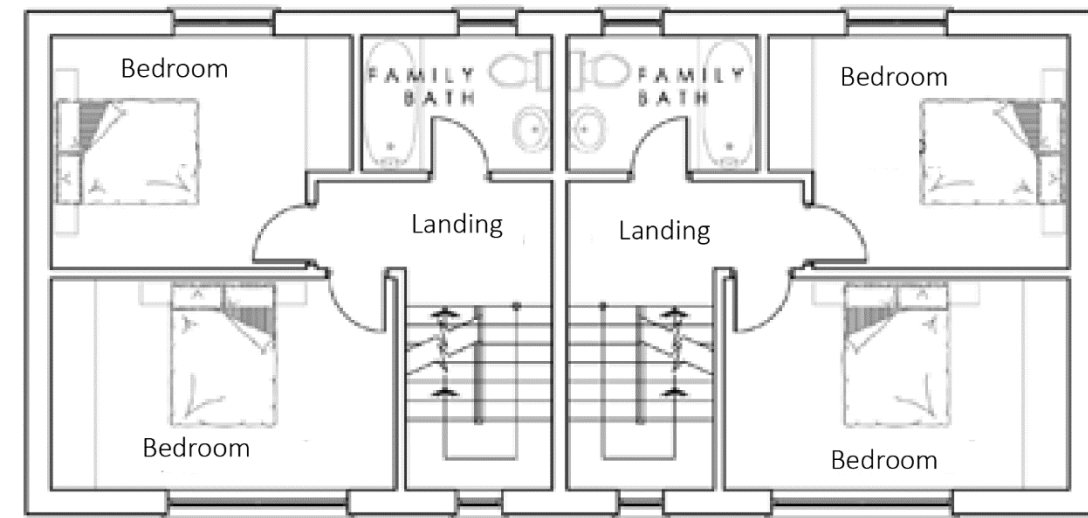
Southeast elevation



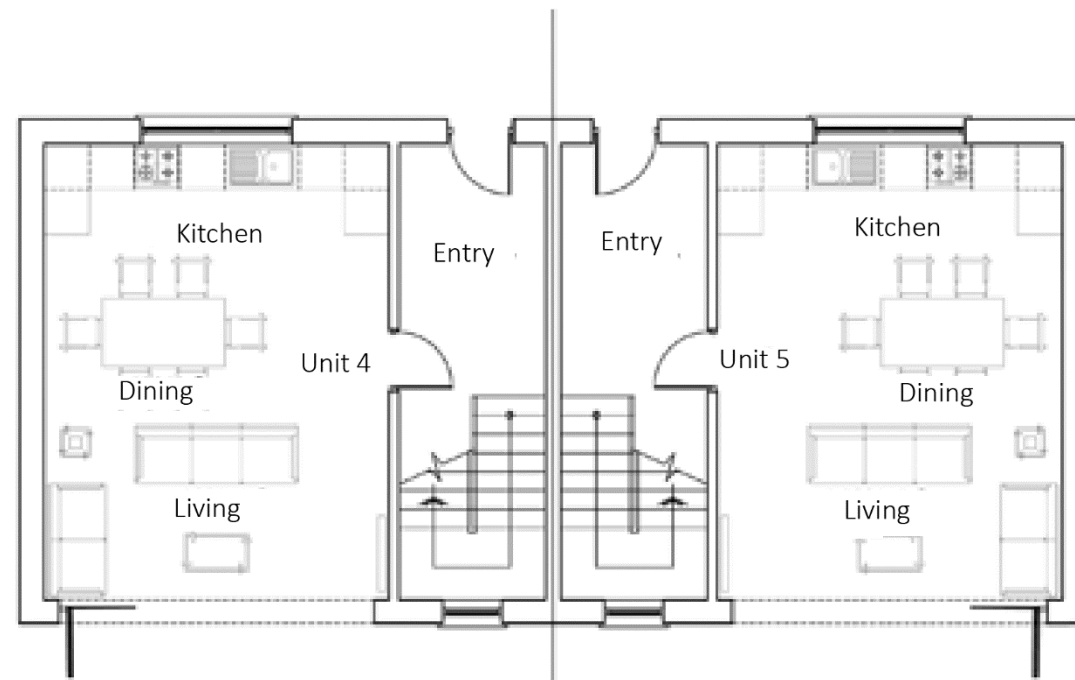
Figure 16: Proposed new build elevations (scale as shown)



Loft



First floor



Ground floor



Figure 17: Proposed new build plans (scale as shown)



5 Statutory Constraints on Development

5.1 A range of planning constraints are in place in the area of the site. These constraints relate both to the area as a whole, and to individual buildings and sites. These constraints are taken into consideration when assessing the implications of planning and other proposals made to the local authority and to other local and national bodies.

5.2 *Conservation Areas*

The site lies within the Markyate Conservation Area. Development which might impact the setting of a Conservation Area is controlled by Policy 120 of the Dacorum Borough Local Plan (2004), quoted below.

5.3 *Areas of Archaeological Significance*

19-21 High Street is located within Area of Archaeological Significance. As such, it may be subject to a condition requiring archaeological investigations prior to commencement of development.

5.4 *Listed Buildings*

The Planning (Listed Buildings and Conservation Areas) Act 1990 regulates the process of listing buildings of special architectural or historical interest and the regulation of proposed changes to listed buildings. Any development that will impact a Listed Building requires Listed Building Consent.

There are no Listed Buildings within the proposed development site, however the site is close to several listed buildings within the Conservation Area, and development will potentially impact their setting.

5.5 *Heritage & Planning*

Section 17 of the Dacorum Borough Council Adopted Core Strategy contains policies regarding heritage matters (DBC 2013: 117-118).

POLICY CS27: Quality of the Historic Environment

All development will favour the conservation of heritage assets. The integrity, setting and distinctiveness of designated and undesignated heritage assets will be protected, conserved and if appropriate enhanced. Development will positively conserve and enhance the appearance and character of conservation areas. Negative features and problems identified in conservation area appraisals will be ameliorated or removed. Features of known or potential archaeological interest will be surveyed, recorded and wherever possible retained. Supplementary planning documents will provide further guidance (DBC 2013: 118).

In addition, the Dacorum Borough Local Plan (2004) contains the following heritage-related clauses:

POLICY 120 Development in Conservation Areas

There is a presumption against the demolition of any building that contributes to the character of a conservation area. Consent to demolish will not be granted unless it can be proved that the building or structure is incapable of satisfactory repair to ensure a continued and viable use and that replacement which satisfactorily contributes to the



character of the conservation area is secured. New developments or alterations or extensions to existing buildings in the conservation areas will be permitted provided they are carried out in a manner which preserves or enhances the established character or appearance of the area. Development proposals outside a conservation area which affect its character and setting will be considered likewise. Each scheme will be expected to:

- (a) respect established building lines, layouts and patterns. In particular, infilling proposals will be carefully controlled;*
- (b) use materials and adopt design details which are traditional to the area and complement its character;*
- (c) be of a scale and proportion which is sympathetic to the scale, form, height and overall character of the surrounding area;*
- (d) in the case of alterations and extensions, be complementary and sympathetic to the established character of the building to be altered or extended; and*
- (e) conform with any design guides for conservation areas prepared by the Council.*

Within a conservation area, applicants are encouraged to submit detailed planning applications. Planning permission may be refused if insufficient detail is provided in applications to judge the impact of the proposed development on the conservation area. A high standard of advertisement design is expected (see Policy 112). Statutory undertakers and local authorities will be encouraged to recognise the importance of conservation areas when providing articles such as street furniture, highway signs, paving materials, lighting and overhead lines (DBC 2004: 290-291).

The framework for the management of heritage issues in the planning system is currently set out in the National Planning Policy Framework (NPPF) (MHC&LG 2019). Decisions relating to archaeological matters within the area of the site are taken by the local planning authority, acting on the advice of the Hertfordshire County Council Archaeology Team



6 Assessment of Heritage Potential

6.1 *Heritage Assets, their Significance and Setting*

A Heritage Asset Assessment report evaluates the significance of a heritage asset and the impact that development might have on that asset. According to the National Planning Policy Framework (NPPF), in this context 'significance' can be defined as:

..the value of a heritage asset to this and future generations because of its heritage interest. The interest may be archaeological, architectural, artistic or historic. Significance derives not only from a heritage asset's physical presence, but also from its setting (NPPF 2021: 72).

The NPPF glossary defines the setting of heritage assets as:

The surroundings in which a heritage asset is experienced. Its extent is not fixed and may change as the asset and its surroundings evolve. Elements of a setting may make a positive or negative contribution to the significance of an asset, may affect the ability to appreciate that significance or may be neutral (<https://www.gov.uk/guidance/national-planning-policy-framework/annex-2-glossary>).

The concept of 'value' is developed further by Historic England (2008), which notes that:

The significance of a place embraces all the diverse cultural and natural heritage values that people associate with it, or which prompt them to respond to it (HE 2008: 21). In addition, People may value a place for many reasons beyond utility or personal association: for its distinctive architecture or landscape, the story it can tell about its past, its connection with notable people or events, its landform, flora and fauna, because they find it beautiful or inspiring, or for its role as a focus of a community' (HE 2008: 27).

There are four broad categories of value that are evaluated for a Heritage Asset Assessment. These include **Evidential** value, which derives from the potential of a place to yield evidence about past human activity (HE 2008:28); **Historical** value, deriving from the ways in which past people, events and aspects of life can be connected through a place to the present. It tends to be *illustrative* or *associative*; **Aesthetic** value, which derives from the ways in which people draw sensory and intellectual stimulation from a place and **Communal** value, which derives from the meanings of a place for the people who relate to it, or for whom it figures in their collective experience or memory. Communal values are closely bound up with historical (particularly associative) and aesthetic values, but tend to have additional and specific aspects (Historic England 2008: 28-31).

Another term used throughout a heritage assessment is **potential**. This can mean several things, depending on context. For instance, the evidential value of a heritage asset was said to derive from its 'potential' to yield evidence, in other words, the unrealized ability of the asset to contribute to future research. This use of the term can apply to archaeological sites as well as buildings and other above ground heritage assets.

'Potential' is also used to describe the probability of discovering as-yet-unknown archaeological resources at a proposed development site. This is determined by compiling a history of the site, examining the location and type of known archaeological sites in the vicinity, and evaluating the current condition of the site. In both of these uses, a heritage asset can be said to have high, moderate or low potential.



A third use of the term ‘potential’ is to assess the possible impact of development at a site, as in Section 6.2, below. In this use, the impact is said to be positive, negative or neutral.

As previously mentioned, the proposed development site is located within the Markyate Conservation Area and the Markyate Area of Archaeological Significance. Although the structures within the site are mid- late 20th century and of no architectural significance, there are five Grade II listed buildings within 100m of the site, including The Old Maltings (NHLE 1101243, 38m northwest), 4, 8 & 8A High Street (NHLE 1101209, 41m northwest), Shaw’s Cottage (NHLE 1101244, 53m southeast), The White Hart (NHLE 1173969, 75m northwest) and Cavendish House (NHLE 1295946, 77m south). Further listed buildings lie along the High Street and elsewhere in the study area.

According to the Markyate Urban Design Assessment (2006), the Conservation Area is characterised by the density of buildings on the High Street, which are predominantly two-storey and brick-built. The building line is generally very close to the street, except in a few cases, such as the area around the proposed development site, where the early 20th century demolition of terraced housing between the Old Maltings and No. 23 High Street created a more open area.

In addition to the above ground heritage assets known in the vicinity of the proposed development site, the site is also within the Markyate Area of Archaeological Significance. This indicates that there is a recognised potential for the survival of below ground archaeological features. Because Markyate High Street follows the route of the Roman road, there is the possibility that Roman remains will be discovered within the village. The lack of previous significant Roman finds, however, suggests that the potential to find such remains within the proposed development site is low. It is more probable that groundworks would encounter features relating to the medieval and post-medieval development of Markyate, although previous development is likely to have significantly impacted the site.

6.2 *Potential Impact of the Proposed Developments*

Having identified existing heritage assets and determined their significance, a heritage assessment must then go on to examine the possible impact of the proposed development on both the known and potential assets.

The existing building at 19/21 High Street is a modern structure of no particular architectural interest. It is set back from the street, with a single storey, flat-roofed extension along the front that pushes the main block of the building even further back. In general, the area immediately surrounding the site and the site itself, are out of keeping with the defined character of the Conservation Area. The proposed development calls for the reinstatement of the building line closer to the street, which will reflect the dense building pattern identified as the main characteristic of the High Street. The new plan, with a street frontage of three cottages, will be a better fit for the surrounding streetscape.

To the rear of the existing building is a brick-built outbuilding. The proposal calls for the replacement of this structure with a new building containing two cottages. Because the site slopes considerably down from the street, the roof height of this building will be lower than the roof line of the main structure, making it clearly subsidiary to the existing building.



Heritage Asset	Period	Significance	Impact of development	Mitigation strategy
Markyate Conservation Area	Medieval-Modern	High/Local	Positive	None recommended

Table 1: Assessment of development impact on existing structures or Conservation Areas

In addition to the known heritage assets, there is the potential for development to impact below-ground archaeological remains. Although the site is within the Markyate Area of Archaeological Significance, previous development on the site may have impacted any surviving remains. Nonetheless, the proximity of the site to the Roman road should not be overlooked even if the potential for encountering archaeological remains from this period low. Similarly, the potential for Saxon or medieval remains surviving on the site is also low as the foci for these periods are located some distance to the west and east of the proposed development site respectively. There is a higher likelihood that remains of the post-medieval (out)buildings survive on the site. Overall the potential impact of encountering significant archaeological remains is low, but a programme of archaeological investigation may be required prior to or during development to mitigate the risk in this, the Markyate Area of Archaeological Significance.

Resource	Potential	Significance	Impact of development	Mitigation strategy
Pre-Roman	Minimal	Low/Local	Negative	None
Roman Low	Low	Moderate/Local	Negative	Programme of archaeological evaluation or observation
Saxon/medieval	Low	Moderate/Local	Negative	Programme of archaeological evaluation or observation
Post-medieval	High	Low/Local	Negative	Programme of archaeological evaluation or observation

Table 2: Assessment of development impact on archaeological resources



7 Conclusions

The proposed development site is located at the northern end of the Markyate High Street. The site and the area around it (i.e. between the Old Maltings and No. 23 High Street), was cleared sometime in the early to mid-20th century and rebuilt with modern structures that are not in keeping with the character of the Conservation Area, which is distinguished by its dense settlement and continuous building line close to the street. The proposed development will reinstate the street frontage, placing a row of cottages along the High Street frontage, which will have a positive impact on the surrounding area.

Because of its location within the Markyate Area of Archaeological Significance, there is the potential for development to negatively impact below ground remains. Therefore, a programme of archaeological evaluation or observation may be required.



8 Acknowledgements

KDK Archaeology is grateful to Julian Seabrook for commissioning this report on behalf of Rupert and Susan Garrick. Thanks are also due to Rebekah Hart of the Hertfordshire HER for providing historic environment records and other relevant documents; the staff of HALS and BARS for their assistance in the historic research.

The fieldwork was carried out by Ellen Shlasko PhD. The report was written by Ellen Shlasko, and edited by Karin Kaye MA MCIfA.



9 Historic Environment Data

Heritage assets listed below are those within the study area, *i.e.* within 0.50km of the proposed development site.

HER MONUMENTS					
SMR No.	NGR (TL)	Period	Type	Description	Proximity to site (m)
1306	06199 16900	Early Medieval	FS	EARLY MEDIEVAL BELT-MOUNT, OLD VICARAGE, MARKYATE	309
2050	05999 16499	Medieval to Post Medieval	PLA	VILLAGE OF MARKYATE	197
7024	06014 16428	Post Medieval	BLD	LION BREWERY, ALBERT STREET, MARKYATE	269
7026	06068 16230	Post Medieval	BLD	OLD BREWERY, 25-27 PICKFORD ROAD, MARKYATE	474
7333	05770 17300	Post Medieval to Twentieth Century	LND	MARKYATECELL PARK, 18TH CENTURY PARK AND 20TH CENTURY GARDEN, MARKYATE	637
9525	11097 11608	Roman	MON	ROMAN ROAD, WATLING STREET NORTH-WEST FROM VERULAMIUM	5
10087	06135 16514	Post Medieval to Twentieth Century	MON	POST-MEDIEVAL PITS BEHIND 75 HIGH STREET, MARKYATE	245
11201	05880 16900	Post Medieval	BLD	CHURCH OF ST JOHN THE BAPTIST, MARKYATE	224
11867	05909 17075	Roman	MON	ROMAN PIT, MARKYATE CELL PARK, MARKYATE	385
11868	05908 16990	Unknown	MON	DITCH & MEDIEVAL TO POST-MEDIEVAL BUILDING MATERIALS, MARKYATE CELL PARK, MARKYATE	302
12085	05872 16798	Twentieth Century	BLD	MARKYATE WAR MEMORIAL, HIGH STREET, MARKYATE	141
12086	06057 16468	Post Medieval	BLD	WESLEYAN METHODIST CHAPEL, ALBERT STREET, MARKYATE	242
12087	06045 16324	Post Medieval	BLD	MARKYATE BAPTIST CHAPEL, BUCKWOOD LANE, MARKYATE	377
12089	06184 16319	Post Medieval	BLD	PARTICULAR BAPTIST CHAPEL, PICKFORD/CLEVELAND ROAD, MARKYATE	432
12090	06174 16406	Medieval to Post Medieval	BLD	THE SUN INN, 101 HIGH STREET, MARKYATE	354
12091	05929 16711	Post Medieval	BLD	4 HIGH STREET & THE GRANGE (THE CROSS KEYS), 8 HIGH STREET, MARKYATE	42
12092	05904 16778	Post Medieval	MON	SITE OF THE FIVE HORSESHOES PH, 1 HIGH STREET, MARKYATE	105
12093	06082 16486	Post Medieval to Modern	BLD	42 HIGH STREET, MARKYATE	237
12094	06109 16449	Post Medieval	BLD	50 HIGH STREET (THE GREEN MAN), MARKYATE	282
12096	06088 16508	Post Medieval	BLD	65 HIGH STREET (THE PLOUGH), MARKYATE	221



HER MONUMENTS					
SMR No.	NGR (TL)	Period	Type	Description	Proximity to site (m)
12097	05953 16664	Post Medieval	BLD	RED LION PUBLIC HOUSE, 20 HIGH STREET, MARKYATE	33
12098	05939 16724	Post Medieval	BLD	11 HIGH STREET, MARKYATE	41
12099	06180 16352	Post Medieval	BLD	SEBRIGHT HOUSE (THE SEBRIGHT ARMS), 76 HIGH STREET, MARKYATE	402
12100	06208 16357	Post Medieval	BLD	117-121 HIGH STREET, MARKYATE	413
12101	06140 16406	Post Medieval	BLD	64 HIGH STREET, MARKYATE	335
12102	06054 16528	Post Medieval	BLD	THE SWAN, 36 HIGH STREET, MARKYATE	186
12103	05918 16751	Post Medieval	BLD	5 HIGH STREET (THE WHITE HART), MARKYATE	75
12104	05959 16654	Post Medieval	MON	SITE OF THE WHITE HORSE, 22 HIGH STREET, MARKYATE	41
12105	06218 16312	Twentieth Century	BLD	SITE OF THE HEALEY MINERAL WATER BUSINESS, 84 HIGH STREET, MARKYATE	456
16444	05649 16948	Post Medieval	BLD	MANOR FARM, DUNSTABLE ROAD, MARKYATE	407
16647	06248 16339	Post Medieval	MON	SITE OF LOWER FARM, LONDON ROAD, MARKYATE	452
16648	06259 16315	Post Medieval	MON	SITE OF HOSPITAL FARM, LONDON ROAD, MARKYATE	477
16649	06135 16308	Post Medieval	BLD	HOME FARM, 8-10 PICKFORD ROAD, MARKYATE	420
17368	05945 16678	Post Medieval	MON	SITE OF POST-MEDIEVAL COTTAGES, HIGH STREET, MARKYATE	28
17549	06065 16513	Post Medieval	MON	38 HIGH STREET, MARKYATE	205
17739	06055 17090	Unknown	MON	EARTHWORK OF PARALLEL DITCHES, MARKYATECELL, MARKYATE	405
17817	05343 16692	Historic: period uncertain	MON	CROPMARKS OF HISTORIC FIELD BOUNDARY, WEST OF MARKYATE VILLAGE SCHOOL, MARKYATE	625
17985	05765 16890	Unknown	MON	GRASSMARK OF A POLYGONAL ENCLOSURE, S OF MANOR FARM, MARKYATE	282
18743	06143 16537	Post Medieval	MON	SITE OF WESLEYAN METHODIST CHAPEL, ROMAN WAY, MARKYATE	235
30362	05935 16798	Post Medieval	MON	SITE OF VILLAGE POUND, CHURCH END, MARKYATE	109
30496	06173 16298	Post Medieval to Twentieth Century	MON	SITE OF THE 'IRON ROOM', PICKFORD ROAD, MARKYATE	445
30918	06129 16423	Post Medieval	BLD	58-62 HIGH STREET, MARKYATE	315
30956	06101 16496	Post Medieval to Twentieth Century	BLD	67-73 HIGH STREET, MARKYATE	238



LISTED BUILDINGS				
NHLE	NGR (TL)	Grade	Description	Proximity to site (m)
1101244	05995 16648	II	SHAW'S COTTAGE	53
1101243	05939 16719	II	THE OLD MALTINGS	38
1101241	05886 16898	II*	CHURCH OF ST JOHN THE BAPTST	219
1101240	06074 16432	II	No name for this Entry	282
1101216	06066 16227	II	No name for this Entry	477
1101215	06178 16351	II	SEBRIGHT HOUSE	402
1101214	06143 16400	II	No name for this Entry	342
1101213	06103 16450	II	No name for this Entry	278
1101212	06061 16498	II	No name for this Entry	216
1101211	06047 16537	II	NUMBER 34 AND ADJOINING ENTRANCE SCREEN ON NORTH	175
1101210	05987 16591	II	STABLE AND COACHHOUSE ADJOINING IN REAR YARD AT NO 30	104
1101209	05927 16698	II	NUMBERS 4, 8 (THE GRANGE), AND 8A (CLEAGROVE)	41
1101208	06169 16404	II	THE SUN INN, 101 HIGH STREET, MARKYATE	352
1101207	06158 16423	II	Nos. 97 and 99 HIGH STREET	330
1101206	06139 16440	II	NUMBERS 87 THE COTTAGE, 87A, AND 89	306
1101205	06106 16496	II	NUMBERS 67, 69, 71/73 (POST OFFICE)	241
1101204	06079 16522	II	No name for this Entry	204
1101203	06070 16563	II	No name for this Entry	166
0	05872 16797	II	MARKYATE WAR MEMORIAL	140
1348047	06062 16559	II	No name for this Entry	164
1348046	06046 16568	II	OLD FORGE COTTAGE	148
1348027	05671 16930	II	MANOR FARMHOUSE	379
1348026	05983 16769	II	THE HOMESTEAD	76
1348025	06014 16428	II	THE OLD BREWERS YARD	269
1174153	06059 16226	II	No name for this Entry	476



LISTED BUILDINGS				
NHLE	NGR (TL)	Grade	Description	Proximity to site (m)
1174135	06173 16363	II	No name for this Entry	389
1174106	06124 16421	II	No name for this Entry	314
1174077	06053 16530	II	THE SWAN INN	184
1174030	06209 16353	II	NUMBERS 117, 119 THE OLD RED LION HOUSE, AND 121 HIGH STREET	417
1173969	05919 16751	II	THE WHITE HART	75
1173916	05963 16816	II	CELL LODGE AND ADJOINING GATES AND GATEPIERS	122
1173894	06060 16432	II	No name for this Entry	277
1348048	06122 16465	II	No name for this Entry	275
1348049	06149 16428	II	No. 93 HIGH STREET	321
1348050	06167 16364	II	No name for this Entry	385
1348051	06130 16311	II	No name for this Entry	415
1295946	05987 16619	II	CAVENDISH HOUSE	77
1295919	06103 16450	II	No name for this Entry	278
1397535	06151 16387	DL	No name for this Entry	357
1348079	06084 16492	II	K6 TELEPHONE KIOSK ADJOINING NUMBER 40	232



10 References

Standards & Specifications

- CIfA 2019 *Standard & Guidance for the Investigation and Recording of Standing Buildings or Structures*. Reading: Chartered Institute for Archaeologists
- CIfA 2020 *Standards & Guidance for Historic Environment Desk-Based Assessment* Reading: Chartered Institute for Archaeologists
- CIfA 2021 *Code of Conduct*. Reading: Chartered Institute for Archaeologists
- DBC 2013 *Adopted Core Strategy*. Hemel Hempstead: Dacorum Borough Council
- HE 2008 *Conservation Principles Policies and Guidance for the Sustainable Management of the Historic Environment*. Swindon: Historic England
- HE 2015 *The Management of Research Projects in the Historic Environment: the MoRPHE Project Managers' Guide*. London: Historic England
- HE 2017 *The Setting of Heritage Assets: Historic Environment Good Practice Advice Planning Note 3*. London: Historic England
- HE 2019a *Conservation Area Appraisal, Designation and Management Second Edition, Historic England Advice Note 1*. Swindon: Historic England
- HE 2019b *Statements of Heritage Significance: Analysing Significance in Heritage Assets Historic England Advice Note 12*. Swindon: Historic England
- MHCLG 2021 *National Planning Policy Framework*. London: Ministry of Housing, Communities and Local Government

Books and Historical Sources

- DBC & Urban Practitioners 2006 *Dacorum Urban Design Assessment: Markyate*. Hemel Hempstead: Dacorum Borough Council
- Lewis T. 2016 *Written Scheme of Investigation for Strip, Map and Sample Excavation and Archaeological Watching Brief: The Swan Inn, 36 High Street, Markyate, Hertfordshire*. Leighton Buzzard: KDK Archaeology Ltd
- Shlasko E. 2018 *Heritage Asset Impact Assessment, Land to the Rear of The Grange, 8 High Street, Markyate, Hertfordshire*. KDK Archaeology Report 343/MHS. Leighton Buzzard: KDK Archaeology Ltd
- Simco A. 1984 *Survey of Bedfordshire: The Roman period*. Bedfordshire County Council
- Williams A. & Martin G.H. 2002 *Domesday Book: A Complete Translation*. London: Penguin Books

Online Sources

- British Geological Survey: <https://geologyviewer.bgs.ac.uk> [accessed 12/08/2022]
- Victoria County History: 'Houses of Benedictine nuns: The priory of Markyate', in *A History of the County of Bedford: Volume 1* (London, 1904), pp. 358-361. *British History Online* <http://www.british-history.ac.uk/vch/beds/vol1/pp358-361> [accessed 8 December 2017]



11 Documentary Sources

Date	Reference	Description
1911	Genealogist.com	UK Census

12 Cartographic Sources

The following maps and plans were consulted in the course of this assessment:

Date	Reference	Description
1880	Herts XXVI.4	Ordnance Survey map
1924	Herts XXVI.4	Ordnance Survey map
1971	TL0416-0516	Ordnance Survey map