

Comprehensive Remodeling and Extending & Associated Works, Haddon House, St Johns Hill, Shenstone, Staffordshire, WS14 0JB
P L A N N I N G , D E S I G N A N D S U S T A I N A B I L I T Y S T A T E M E N T , A u g u s t 2 0 2 3



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01 Artist's impression of the double height open plan lounge.

1 INTRODUCTION



02 Google map view of the development site and its context.



03 View of the development site along the Holly Hill Road (left) and St John's Road (right) boundaries. Dense tree/hedge/shrub screening shields views onto the site.

1.1 This statement is to accompany a planning application for the comprehensive remodelling of existing dwelling known as 'Haddon House' with new extensions, external alterations, new vehicular access to Holly Hill Road including new boundary treatment and gates, and widening of existing access to St Johns Hill. The proposal seeks to facilitate the delivery of 5-bedroom contemporary family home with associated facilities.

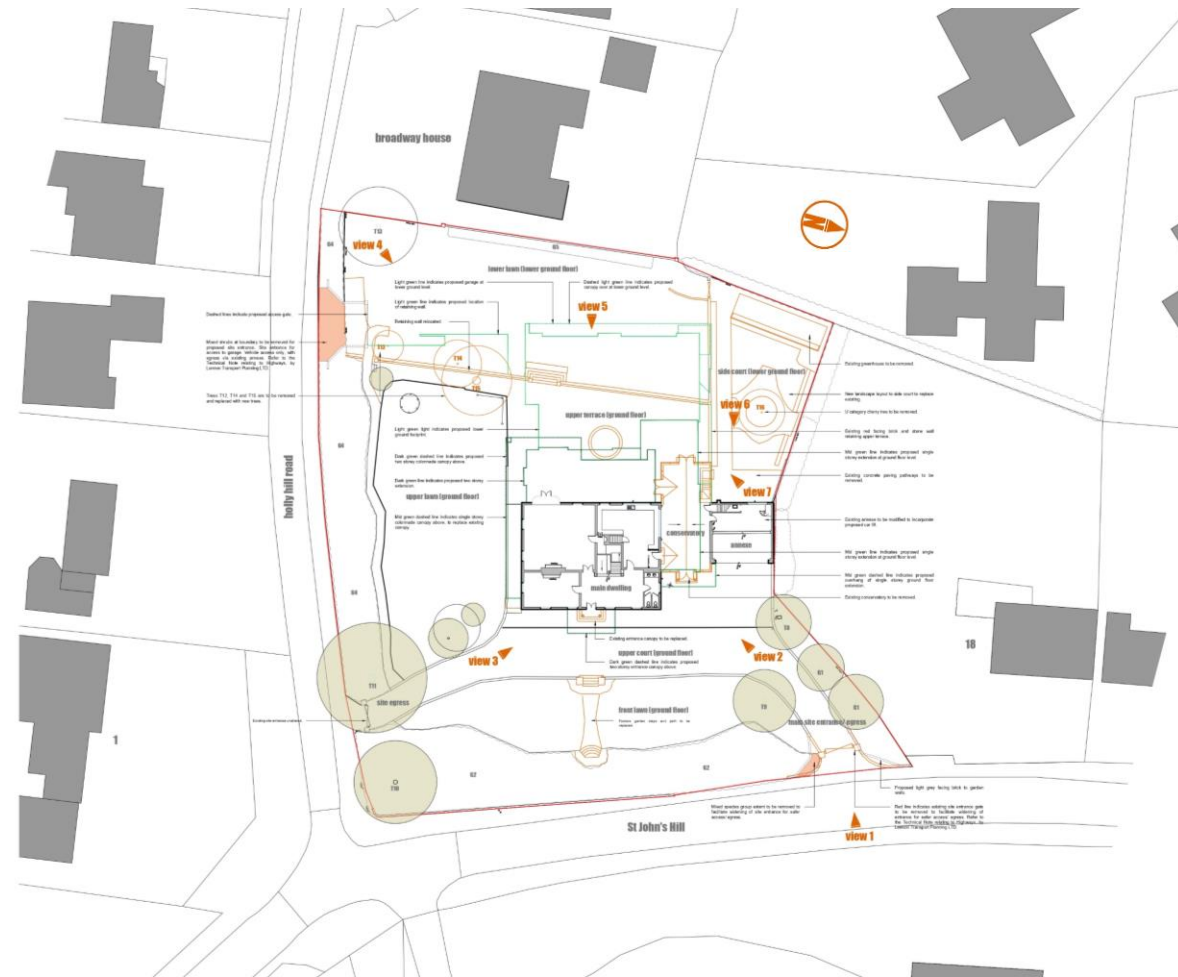
1.2 The site is located approximately 5km to the south of Lichfield within the village of Shenstone. The site comprises a large existing residential dwelling within a substantial corner plot.

1.3 This statement aims to demonstrate the design process involved and how the proposed development will be appropriate in terms of relevant planning policy considerations. Planning policy, both national and local, emphasises the need for Local Planning Authorities to ensure that all new development is of a high-quality design and that the environment is not adversely affected to ensure that the development is sustainable. The following statement demonstrates how the proposal complies with such policies. It establishes the principle of development on the application site and evaluates its design as required under the headings of access, appearance, layout, scale and landscaping. The statement also considers important material considerations relating to the impact of the proposal on the local historic environment, ecology, residential amenity, flooding, highways, trees and sustainable construction.

1.4 In accordance with National Policy Requirements and the Local Authority's Validation Checklist this statement is accompanied by the following supporting documentation:

- Completed Planning Application Form (Householder Application);
- Ownership Certificates;
- CIL Forms
- Preliminary Ecological Appraisal;
- Tree Survey Plan and Arboricultural Impact Assessment;
- Transport Note;
- Heritage Statement;
- Landscape Masterplan; and
- Supporting Architectural Plans

1.5 The scheme has been designed by the architectural practice STUDIOGÖTZ. The application drawings can be viewed on pages 20-33.



04 Existing site plan. Views illustrated in orange can be seen in figs 5 to 11 below and p5.



05 View 1 - Main site entrance/egress.



06 View 2 - Dwelling frontage with conservatory and annexe.



07 View 3 - Front (east) and side (south) elevations.

2 DETAILS

2.1 Site Description

2.1.1 The site is located within an established residential area of the historic village of Shenstone which is designated as a Conservation Area. The surrounding built form includes buildings from different historic periods and significant variety in terms of the design, form and architectural styles. To the west of the site (approx. 140m), is the Grade II Listed Church of St John, to the north of which is a Grade II* Listed Church Tower (see fig 19, p8 showing plan extract of Shenstone Conservation Area). The main access to the site is from St Johns Hill, with a secondary access off Holly Hill Road.

2.1.2 The application site extends to approx. 4,225sq.m, is broadly square in shape, which is occupied by a dwelling re-built in the 1970's, with further re-build in the 1990's, that has not been lived in since 2010 and is in need of significant modernisation. The dwelling includes a conservatory side extension, residential annexe and terrace at the rear. The external palette of materials on the dwelling include render, timber windows and slate roof tiles. See figs 4 to 11, pp 4-5.

2.1.3 The site slopes from east to west which results in the rear part of the garden being set a lower level than the main house.

2.1.4 There are several trees within the site as shown on the supporting tree survey plan. These trees are covered by a Tree Preservation Order (199/17020/TPO) which include category A (high quality), B (moderate quality), C (low quality) and U (poor quality) class tree comprising a total 9 individual trees and 7 groups of trees. These are considered further under 'landscaping' section 4.7, p14.

2.1.5 The surrounding built form incorporates elements such as:

- 1, 2, 2.5 and 3-storey development of varying appearance, scale, heights and plot sizes;
- Buildings with a variety of architectural design and style including more contemporary development and as well as more historic buildings, which include features such as projecting front and side extensions, roof dormers, chimneys.
- External materials comprising facing brick, render, stone cladding, timber and metal doors/fenestration;
- Variation in set back from the street/building lines and layout;
- Variation in boundary treatments that include soft landscaping, metal railings, timber gates, brick walls, and timber fencing; and

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- Plot frontages that range from, those with significant landscape features/trees/planting that conceal existing buildings, to others, with more open frontages that provide prominent public views of existing buildings and frontage car parking within the street scene.

2.2 Objectives and Description of the Proposal

2.2.1 The overall objective is for the comprehensive remodelling of the existing dwelling to provide a 5-bedroom contemporary family home with associated infrastructure in terms of achieving:

- High quality design and form that would add to the variety of architectural styles and buildings found within the locality;
- The efficient use of the application site for the creation of high-quality and energy efficient contemporary design that responds to the topography of the site;
- Retention of existing trees/landscape features of value within the site, with new soft landscaping to off-set any loss;
- Measures to protect and enhance the biodiversity, ensuring a biodiversity net gain within the site overall;
- Preservation of the character and appearance of the conservation area and the setting of listed buildings within the locality;
- The preservation of neighbouring residential amenity;
- Development that does not increase the risk of flooding within the site or locality;
- Safe access arrangements; and
- Sustainable form of construction.

2.3 Proposal Details

2.3.1 The substantial size of the plot provides an opportunity



08 View 4 – Rear of dwelling from south-west corner of garden.



09 View 5 – Rear of dwelling with raised terrace in foreground.



10 View 6 – showing rear of annexe and rear side of conservatory.



11 View 7 showing north side of conservatory.

for the comprehensive remodelling of the existing dwelling to provide a modern family sized home that is well integrated into the site and surrounding environment. In summary, and as shown on the supporting plans, the proposal includes the following elements:

- New 1-way vehicular access, gates and boundary walls to Holly Hill Road
- Existing vehicular entrance to St Johns Hill to be widened with new boundary walls and gates.
- New double height main entrance feature.
- Single storey side canopy to replace existing.
- Two storey rear extension to accommodate kitchen, lounge and bedroom (two-storey colonnade with canopy)
- Side extension between main dwelling and annexe to replace conservatory to provide home office and new conservatory.
- Loft dormer.
- Increase pitch of roof on main dwelling to accommodate proposed car lift and improve proportions.
- Internal remodelling.
- Facing brick finish over existing render to existing dwelling and annexe.
- Re-proportioning of windows throughout main dwelling.
- 6 car garage at lower ground floor.
- Lower ground floor link between main dwelling and garage, to include wine room, gym, shower room, plant and store
- Outside under cover area for BBQ
- New fishpond
- New feature garden steps

2.3.2 The external elevations of the dwelling are intended to provide a high-quality, grand and contemporary design approach which adds to the variety of built form found within the locality.

2.3.3 Discussed in more detail below, the proposed elevations would consist of grey brick, flat panel cladding (metal/equitone), standing steam cladding, metal framed windows/doors with black colour finish, metal rainwater goods. The balconies would include glass balustrades. The roof would comprise slate roof tiles.

2.3.4 The proposal would utilise the existing access to St Johns Road (subject to widening) and provide a new 1-way in access to Holly Hill Road to provide access to the proposed garage at lower ground floor. The site would retain ample off-road parking and turning areas to serve the needs of the development.

2.3.5 As part of the redevelopment of the site, the proposal would include:

- the incorporation of the existing landscape features within the site with new soft and hard landscaping;
- ecological enhancements including bat and bird boxes and new planting to enhance biodiversity habitats;
- relevant SUDS features where appropriate; and
- a package of measures to ensure it meets the latest sustainability including renewable technologies.

2.3.6 The finer details of the above would be agreed with the LPA through the imposition of relevant planning conditions as per standard practise.

3 PLANNING POLICY

3.1 The starting point for considering development proposals is the Development Plan. Section 38(6) of the Planning and Compulsory Purchase Act 2004 states that, “if regard is to be had to the development plan for the purpose of any determination to be made under the Planning Acts the determination must be made in accordance with the plan unless material considerations indicate otherwise.”

3.2 The statutory Development Plan comprises the following documents:

- Lichfield District Local Plan Strategy and Supporting Allocations and Maps (2015)
- Shenstone Neighbourhood Plan (2016)

3.3 Other material considerations include:

- Sustainable Design SPD (2015)
- Biodiversity & Development SPD (2016)
- Historic Environment SPD (2015)
- Shenstone Conservation Area Appraisal (2010)
- Shenstone Conservation Area Management Plan
- Trees, Landscaping & Development SPD (2016)
- National Planning Policy Framework (NPPF, 2021)
- Planning Practice Guidance (2015)

3.4 Lichfield District Local Plan Strategy and Supporting Allocations and Maps (2015)

3.4.1 Core Policy 2 seeks to ensure the council take a positive approach that reflects the presumption in favour of sustainable

development as set out in in the NPPF.

3.4.2 Core Policy 3 indicates, in delivering sustainable development, sets out key environmental criteria including:

- protect and enhance the character and distinctiveness of Lichfield District and its settlements;
- protect the amenity of our residents and seek to improve their overall quality of life through the provision of appropriate infrastructure, services and facilities;
- assist in the regeneration and evolution of towns and villages and surrounding areas in meeting the changing needs of their population over time and maintain the vitality, viability and vibrancy of local communities;
- be of a scale and nature appropriate to its locality;
- encourage the re-use of previously developed land in the most sustainable locations, and encouraging the reuse of buildings as a sustainable option;
- ensure that development on brownfield sites affected by contamination is remediated and that any ground instability arising from mining legacy or former land uses is addressed;
- reduce the overall need to travel, whilst optimising choice of sustainable modes of travel, particularly walking, cycling and public transport;
- use our natural resources prudently and conserve, enhance and expand natural, built and heritage assets and improve our understanding of them wherever possible;
- minimise and manage water, waste and pollution in a sustainable way, particularly through reduction, re-use and

- recycling measures in both the construction and use of buildings in line with the requirements of the Code for
- Sustainable Homes and BREEAM assessments, or their successors, and including incorporating adequate space provision within buildings/layouts for appropriate storage or sorting of materials for recycling;
- give priority to utilising ground infiltration drainage techniques and including sustainable drainage techniques and incorporate other sustainable techniques for managing surface water run-off such as green roofs in new development and in retro-fitting where historic flooding events have been identified;
- ensure that all new development and conversion schemes are located and designed to maximise energy efficiency and utilise sustainable design and construction techniques appropriate to the size and type of development, using local and sustainable sources of building materials wherever possible;
- maximise opportunities to protect and enhance biodiversity, geodiversity and green infrastructure and
- utilise opportunities to facilitate urban cooling; and
- facilitate energy conservation through energy efficiency measures as a priority and the utilisation of renewable energy resources wherever possible, in line with the energy hierarchy.

3.4.3 Core Policy 14 recognises the importance of the district's heritage assets. Development proposals which conserve and enhance a heritage asset, or its setting will be supported where



12 View of application site along St John's Hill. Limited views into site.



13 View of application site along Holly Hill Road. Dense shrubs shield views onto site.



14 View of boundary at south-west corner.

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clear and convincing justification has been provided through an assessment of the significance of the asset or its setting. In conservation areas, the built form will be protected and enhanced and there should be no net loss of trees, with physical improvements to conservation areas linked to the objectives contained within conservation area appraisals and their management plans where appropriate.

3.4.4 Policy SC1 sets out Sustainability standards for new development subject to viability considerations. Policy SC2 seeks to ensure at least 10% of its energy demand is provided through renewable energy sources subject to consideration such as impact on the historic environment.

3.4.5 Core Policy 5 and ST1 seeks to ensure development takes account of sustainable transport considerations and set out key criteria to achieve this. Policy ST2 seeks to require appropriate provision to be made for off-street parking in development proposals.

3.4.6 Core Policy 6 sets out a sustainable settlement hierarchy for delivering new housing which includes Shenstone. Policy H1 seeks to ensure housing mix is responsive to need.

3.4.7 Core Policy 13, NR3 and NR4 seeks to preserve and enhance biodiversity and trees. Policy NR5 seeks to protect natural and historic landscapes.

3.4.8 Core Policy 14 seeks to protect and enhance the historic environment. Policy BE1 seeks to ensure a high-quality sustainable environment taking into account criteria such as:

- The significance of the historic environment, such as listed buildings and conservation areas,

- Reducing carbon emissions, by appropriate use of sustainable design and renewable energy schemes.
- The built vernacular. New development, including extensions and alterations to existing buildings, should carefully respect the character of the surrounding area and development in terms of layout, size, scale, architectural design and public views;
- Amenity, by avoiding development which causes disturbance through unreasonable traffic generation, noise, light, dust, fumes or other disturbance;
- The natural environment. Effective hard and soft landscaping including tree planting will be required and should be implemented in an integrated manner, making use of green corridors for movement of people as well as for biodiversity,
- Sustainable transport. New development should be located in areas which have good safe access to public transport to reduce the need to travel by private car and should optimise choice of sustainable travel, particularly walking, cycling and public transport, creating new public transport nodes where necessary
- New development will have a positive impact on the public realm and ensure high quality, inclusive design. This will be achieved by an appreciation of context, as well as plan, scale, proportion and detail.

3.4.8.1 Policy Shen 1 seeks to ensure Shenstone will maintain its role as a separate, freestanding, healthy and stable community offering a high-quality local living environment and functioning as a local service centre offering a range of services and facilities. It goes on to say, the significance of the Conservation Area will be recognised and protected in all

potential change and improvements supported. New buildings will be of a high-quality design reflecting the character and range of vernacular house types and architectural sites and ensuring a positive contribution to the Conservation Area where appropriate.

3.4.8.2 Policy Shen4 indicates new homes will be provided within Shenstone. The quality of the built and natural environment will be enhanced and protected. Small-scale redevelopment within the village will be supported to provide for new housing. Infill development and the re-use of brownfield land will be prioritised.

3.5 Shenstone Neighbourhood Plan (2016)

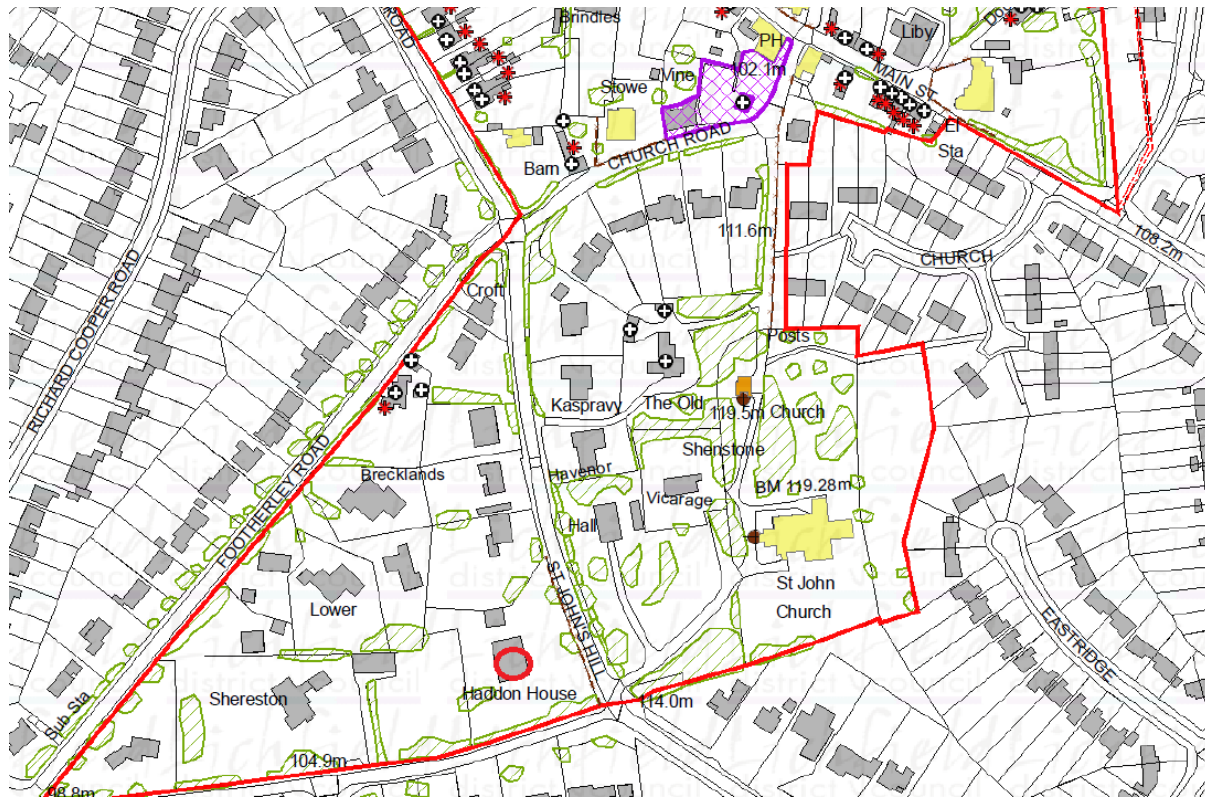
3.5.1 Policy SAC1 seeks to ensure development does not have an adverse impact on the Cannock Chase Special Area of Conservation (SAC). Policy H2 support residential infill development within the built-up area of Shenstone subject to environmental criteria. Policy H3 seeks to ensure development responds to the architectural style of properties within the immediate surrounding area.

3.6 Sustainable Design SPD (2015)

3.6.1 This SPD seeks to give guidance on how sustainable development can be achieved through connectivity and integration, in terms of how places are sustainably connected by transport linkages and through patterns of development. It then considers how the layout and density can assist in creating sustainable development, through green infrastructure, standards for parking and spaces around dwellings, utilising sustainable drainage systems, creating



15 View of site from St John's Hill. Top of annexe visible through shrubs 16 Glimpse of dwelling seen through main site entrance/ egress. 17 Glimpse of dwelling seen through site egress on Holly Hill Road. 18 Glimpse of dwelling seen across Broadway House plot.



Listed Buildings	Conservation Area	Proposed Article 4 2	Boundary Changes
Grade	Characteristic Boundaries	Landmarks	Negative Boundary Treatment
1	C Positive Building	Trees and Hedges	Potential Improvement Area
2			Negative Buildings

19 Plan extract showing Shenstone Conservation Area.



20 View of west boundary looking from south-west boundary toward Broadway House.



21 View of neighbouring dwellings on St John's Hill with no 18 in foreground.

walkable communities and energy efficient layouts. There is a section that considers how technology and construction of buildings can lead to more sustainable development.

3.6.2 Appendix A sets out space and amenity standards for guiding new development including separation distances, 25/45-degree light codes, garden sizes, amongst other criteria. Appendix C sets out a range of urban design objectives. Appendix D sets out council parking standards.

3.7 Biodiversity & Development SPD (2016)

3.7.1 The SPD guides developers through the ecological mitigation hierarchy of: Information; Avoidance; Mitigation; Compensation; and New Benefits. This SPD highlights the importance that applicants protect and enhance existing nature conversation features within proposed developments, following best practice guidance and the mitigation hierarchy.

3.8 Historic Environment SPD (2015)

3.8.1 This Supplementary Planning Document (SPD) provides further detail to the policies relating to the historic environment and achieving high quality development within Lichfield District. It provides information on the aspects which should be considered when undertaking works that may affect the historic environment. This SPD recognises the importance of the historic environment and its contribution to creating distinctive and desirable places.

3.9 Shenstone Conservation Area Appraisal (2010)

3.9.1 Para 1.1 indicates Shenstone Conservation Area is significant for the following reasons:

- It has a relatively complete and unspoilt historic core concentrated in Main St, Church Rd and parts of Pinfold Hill.
- It contains a range of buildings from different historic periods and in different architectural styles reflecting a wide range of social status in the historic village.
- Its layout illustrates clearly its origins as an agricultural settlement with surrounding and being farmed from the village.
- There is a consistency to the building materials which are chiefly local red brick and Staffordshire blue clay roof tiles.
- In spite of considerable 20th century development, the heart of the village retains a rural character - the result of its

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cottage style dwellings but also of the presence of a significant amount of mature trees and hedgerows. The latter are of key importance to the character of the conservation area.

Para 9.2 refers to trees and makes reference to Haddon House:

The core of Shenstone is characterised by mature trees. The bulk of these trees was planted during the Victorian and Edwardian eras and is now fully mature. Fotherley Rd is a particularly good example with large horse chestnut, sycamore and beech trees planted within the front gardens of the houses and thus lining the road. Other large specimens include a very large sycamore on Richard Cooper Rd, a large beech within the grounds of Haddon House, the trees found along Holly Hill Rd and the very prominent trees within the churchyard of St John the Baptist. In addition there are many parkland trees within the grounds of Shenstone Court which form a very distinctive landscape.

3.10 Shenstone Conservation Area Management Plan

3.10.1 This document sets out mid to long term strategy for the management of a conservation area. This document is informed by the recent Shenstone Conservation Area Appraisal which identified its special character and concluded by outlining some of the issues it faces. Policy Action 7a indicates The Council will seek to ensure that development on the edges of the conservation area preserves or enhances the special interest of the conservation area and causes no harm to that special interest.

Policy Action 7b indicates the Council will seek to ensure that (these) important views remain protected from inappropriate

forms of development and also that due regard is paid to them in the formulation of public realm works or enhancement schemes.

Policy Action 9 seeks to ensure new development does not have an adverse impact on the existing buildings or important landscape features of the conservation area.

3.11 Trees, Landscaping & Development SPD (2016)

3.11.1 The document provides guidance on trees, woodlands, hedgerows and other landscape features or habitats where trees and shrubs play an important part - such as orchards, parks and gardens, amenity spaces and green infrastructure.

3.12 National Planning Policy Framework

3.12.1 The National Planning Policy Framework (NPPF) is a material consideration in the determination of any planning application (Paragraph 2). The NPPF sets out the Government's planning policies for England.

3.12.2 Paragraphs 7 and 8 emphasize the purpose of the planning system to contribute to the achievement of sustainable development. There are three overarching objectives dimensions to sustainable development; economic, social and environmental, which should not be considered in isolation. Paragraph 8 indicates achieving sustainable development means that the planning system has three overarching objectives, which are interdependent and need to be pursued in mutually supportive ways (so that opportunities can be taken to secure net gains across each of the different objectives) relating to economic, social and environmental objectives.

3.12.3 Paragraph 11 indicates plans and decision should apply a presumption in favour of sustainable development. This means approving development proposals that accord with an up-to-date development plan without delay.

3.12.4 Paragraph 38 states local planning authorities should approach decisions on proposed development in a positive and creative way... and work proactively with applicants to secure developments that will improve the economic, social and environmental conditions of the area.

3.12.5 Paragraphs 39 and 40 encourages pre-application consultation between LPAs and applicants to improve the efficiency and effectiveness of the planning application system for all parties.

3.12.6 Paragraph 47 indicates Planning law requires that applications for planning permission be determined in accordance with the development plan, unless material considerations indicate otherwise.

3.12.7 Section 5 seeks to ensure the delivery of a sufficient supply of homes.

3.12.8 Section 9 promotes sustainable transport with paragraph 111 indicating development should only be prevented or refused on highways grounds if there would be an unacceptable impact on highway safety, or the residual cumulative impacts on the road network would be severe.

3.12.9 Section 11 seeks to ensure an effective use of land in meeting the need for homes in a way that makes as much use as possible of previously-developed land.



22 & 23 Artist's impression of contemporary replacement dwelling currently under construction in a conservation area, Kings Bromley, Lichfield, designed by STUDIOGÖTZ.

24 Recently approved contemporary replacement dwelling, located on the nearby Church Road. Designed by STUDIOGÖTZ

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3.12.10 Paragraph 124 seeks to ensure development makes efficient use of land taking into account relevant criteria.

3.12.11 Section 12 seeks the creation of high quality, beautiful and sustainable buildings. Paragraph 126 indicates good design is a key aspect of sustainable development. Paragraph 130 seeks to ensure that developments:

- a) will function well and add to the overall quality of the area, not just for the short term but over the lifetime of the development;
- b) are visually attractive as a result of good architecture, layout and appropriate and effective landscaping;
- c) are sympathetic to local character and history, including the surrounding built environment and landscape setting, while not preventing or discouraging appropriate innovation or change;
- f) create...a high standard of amenity for existing and future users...

3.12.12 Paragraph 131 indicates opportunities should be taken to incorporate trees in developments, appropriate measures are in place to secure the long-term maintenance of newly-planted trees, and that existing trees are retained wherever possible.

3.12.13 Paragraph 134 indicates significant weight should be given to:

- a) development which reflects local design policies and government guidance on design, taking into account any local design guidance and supplementary planning documents such as design guides and codes; and/or
- b) outstanding or innovative designs which promote high levels of sustainability, or help raise the standard of design more generally in an area, so long as they fit in with the overall form and layout of their surroundings.

3.12.14 Section 14 sets out guidance on meeting the challenge of climate change, flooding and coastal change.

3.12.15 Section 15 seeks to ensure the natural environment is conserved and enhanced. Paragraph 174 indicates Planning

policies and decisions should contribute to and enhance the natural and local environment by:

- d) minimising impacts on and providing net gains for biodiversity, including by establishing coherent ecological networks that are more resilient to current and future pressures;
- e) preventing new and existing development from contributing to, being put at unacceptable risk from, or being adversely affected by, unacceptable levels of soil, air, water or noise pollution or land instability.

3.12.16 Paragraph 179 seeks to protect and enhance biodiversity. Paragraph 180 indicates opportunities to improve biodiversity in and around developments should be integrated as part of their design, especially where this can secure measurable net gains for biodiversity.

3.12.17 Paragraph 183 indicates ground conditions and pollution should be adequately addressed by development proposals.

3.12.18 Section 16 sets out guidance on conserving and enhancing the historic environment

3.12.19 Paragraph 194 of the NPPF directs that that local planning authorities should require an applicant to describe the significance of any heritage assets affected, including any contribution made by their setting. The level of detail should be proportionate to the assets' importance and no more than is sufficient to understand the potential impact of the proposal on their significance.

3.12.20 Paragraph 200 of the NPPF notes that the significance of a heritage asset can be harmed or lost through alteration or destruction of the heritage asset, or development within its setting.

3.12.21 Paragraph 202 of the NPPF directs that less than substantial harm should be weighed against the public benefits of the proposal.

3.12.22 Paragraph 203 relates to non-designated heritage assets, again directing that "in weighing applications that directly or indirectly affect non-designated heritage assets, a balanced judgement will be required having regard to the scale of any harm or loss and the significance of the heritage asset."

3.12.23 Paragraph 207 relates to conservation areas, stating that "not all elements of a Conservation Area or World Heritage Site will necessarily contribute to its significance. Loss of a building (or other element) which makes a positive contribution to the significance of the Conservation Area or World Heritage Site should be treated either as substantial harm under paragraph 195 or less than substantial harm under paragraph 196, as appropriate, taking into account the relative significance of the element affected and its contribution to the significance of the Conservation Area or World Heritage Site as a whole."

3.13 The Planning (Listed Buildings and Conservation Areas) Act 1990

3.13.1 Section 66 of the Act indicates, in considering whether to grant planning permission for development which affects a listed building or its setting, the local planning authority shall have special regard to the desirability of preserving the building or its setting or any features of special architectural or historic interest which it possesses.

3.13.2 Section 72 of the Act provides "General duty as respects to conservation areas in exercise of planning functions" part (1) states that "In the exercise, with respect to any buildings or other land in a conservation area...special attention shall be paid to the desirability of preserving or enhancing the character and appearance of that area"

3.14 Planning Practise Guidance

3.14.1 The planning practise guidance set outs detailed guidance on interpreting the policies of the National Planning Policy Framework.



25 Artist's impression of dwelling showing south-east corner



26 Artist's impression of dwelling showing proposed rear extensions.

4 PLANNING ASSESSMENT

4.0.1 An assessment of the proposals has been made against the adopted development plan in accordance with Section 38(6) of the Planning and Compulsory Purchase Act 2004 which states that *"the determination must be made in accordance with the plan unless material considerations indicate otherwise."* The assessment considers the following key issues:

- Principle of development
- Design and Access
 - Objectives
 - Access
 - Appearance
 - Layout
 - Scale
 - Landscaping
- Historic Environment
- Ecology
- Residential amenity
- Flood risk
- Sustainable construction
- Conclusion

4.1 Principle of Development

4.1.1 The application site comprises an existing dwelling within the built-up area development boundary of Shenstone where new residential development is generally considered acceptable by the LPA in principle subject to compliance with the policies of the statutory development plan, guidance set out within The National Planning Policy Framework, and other material considerations as set out below.

4.2 Design and Access

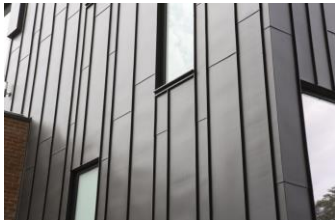
4.2.1 The design objectives and description of the proposal are explained in detail in section 2 of this statement. The following part of the report explains how the proposed development is a suitable response to the application site and its setting. Details are provided under the required headings of access, appearance, layout, scale and landscaping.

4.3 Access

4.3.1 The site has an existing main vehicular driveway access from St Johns Hill which would be widened with new gates and boundary walls. A new 1-way vehicular access would be



27 Artists Impression of proposed rear extensions including upper terrace in foreground.



28 Proposed standing seam cladding.



29 Combination of timber and standing seam cladding.



30 Proposed light grey facing brick, Vande Moortel Linea 7035, or similar approved.



31 Vande Moortel Linea 7035 facing brick.



33 & 34 Proposed deep canopies with flat panel cladding (Equitone) & timber soffits.



32 Proposed flat panel cladding.



created from Holly Hill Lane to provide access to the undercroft garage. An internal car lift is proposed within the existing annexe so that egress would be via the St Johns Hill access. The site would retain ample car parking and off-road turning areas to serve the needs of future occupiers. The proposal is supported by a transport note prepared by Lennon Transport Planning which considers highways matters in more detail.

4.3.2 As part of the comprehensive works, a range of new access steps and routes would be created around the dwelling. The proposal would also be designed to be compliant with part M of the building regulations. The proposed installation of a lift to access all levels has been a key consideration to the remodelling of the internal layout.

4.3.3 As such, the proposal would not have an adverse impact on highway safety within the local highway's infrastructure and would include sufficient off-road parking to serve the development.

4.4 Appearance

4.4.1 Elevational drawings, floor plans and visualisations for the proposed dwellings have been prepared by Architects STUDIOGÖTZ. The proposal would create a high-quality family home of contemporary design commensurate to status of this substantial residential corner plot. (See proposed floor plans on pages 25 to 28). The front elevation would include a new double height feature entrance with metal door and fixed side lights (see fig 25, p11 and elevation drawing on p29). To the side (south elevation) there would be a new single story side canopy to replace the existing. To the north elevation would be a side extension between the main dwelling and annexe to replace the conservatory, to provide a home office and new conservatory (see elevation drawing on p30). To the rear there would be a rear extension to accommodate kitchen, lounge and bedroom within 2-storey colonnade with canopy (see figs 26 & 27, pp11 & 12). In responding to the topography of the site, at the lower ground floor is the garage (see fig with a ground floor link between the main dwelling which includes accommodation, above which is a first-floor terrace BBQ canopy.

4.4.2 The proposals would include a loft dormer and an increase in the roof pitch to accommodate a proposed lift for accessing all levels, with the added benefit of improving the elevational proportions of the dwelling. There would also be significant internal re-modelling. All windows to be re-shaped and installed with metal framed double glazed windows with ppc finish in colour black.



35 Extract of Proposed Site Plan. See p23 for full drawing.



36 Proposed Street Scene illustrates dense tree/shrub screening that shields views of the development. Height and scale of development sit comfortably within the context.

4.4.3 The proposed elevations would consist of upgrading the existing render finish of the main dwelling and annexe with light grey facing brick of long, slender proportions (see figs 30 & 31, p12) The brickwork is also to be used for garden walls and the lower ground extensions, to provide a solid, masonry base. The light colour maintains Haddon House's light, bright appearance, with the added textural enhancement of brick. Flat panel (metal/equitone) and standing seam cladding combine with metal framed windows/doors and metal shading/privacy screens, all with black ppc finish, to provide a crisp, engineered aesthetic for the contemporary extensions, softened with the warmer hues of timber cladding to soffits and internal reveals. These elements hang from the solid structure of the existing dwelling, and hover over the new lower ground masonry base. The pitched roofs would comprise of slate roof tiles with metal rainwater goods finished in black (also for the annexe). The balconies would include glass balustrades and standing seam. The proposed entrance gates would be timber with light grey brick to coordinate with the dwelling. The proposal would incorporate a blend of modern materials that emphasize its contemporary design and form.

4.4.4 Other elements of the scheme include a new 1-way vehicular entrance to Holly Hill Road and widening of the existing access to St John's Hill which would also be designed to match the contemporary design and appearance of the house, new feature garden steps, new porcelain tiled pathways, permeable resin driveways, new fishpond, new soft and hard landscaping, and the retention of the majority of existing trees, which would further result in an enhancement to the appearance of the scheme overall. (See fig 35 for site plan, opposite, and p33 for Landscape Masterplan).

4.4.5 Overall, the proposal would deliver a scheme of high-quality contemporary appearance that would make a positive addition to the varying architectural forms found within the locality. A precedent has been set by the recent planning approval for a contemporary replacement dwelling on Church Road, also within the Shenstone Conservation Area and designed by STUDIOGÖTZ (see fig 24, p9).

4.5 Layout

4.5.1 The wider surrounding pattern of development shows a variation in building lines, plot shapes and sizes. However, the existing dwelling is set back further from St Johns Hill and Holly Hill Road than the adjacent properties to the north and west. The topography of the site slopes east to the west with the rear part of the garden being set out at a lower level.

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4.5.2 The proposed external layout has therefore been designed to be responsive to this context with proposed extensions being sited to ensure ample separation distance from the St Johns Hill and Holly Hill Road frontage, behind tree lined boundaries.

4.5.3 As shown on the supporting plans, the proposal would respond to the plot size and topography of the site by providing a 6 bay garage, gym, workshop, wine cellar plant room, internal car lift, fish pond, shower and w/c, amongst other facilities at the proposed lower ground floor level (see Proposed Lower Ground Floor Plan, p 25). At ground floor, the proposal show living and sitting areas at ground floor, including a terrace area (see Proposed Ground Floor Plan, p 26). At 1st floor level, the proposal shows 4-bedrooms with associated facilities, void over double height lounge and annexe accommodation (see Proposed First Floor Plan, p27). Within the proposed loft there would be the master bedroom (no.5), new internal lift, loft gallery, balcony and other associated facilities (see Proposed Loft Floor Plan, p 28).

4.5.4 The position of the proposed new access to Holly Hill Road is located to ensure the most efficient access to the Lower Ground Floor garage with innovative internal car lift to ensure safe exit for vehicles via St Johns Hill.

4.5.5 The layout has been designed to integrate with existing landscape features to ensure a carefully considered layout for the building that respects root protection areas for retained trees and provides sufficient areas for new hard and soft land-

scaping. The internal layout of the dwelling provides significant glazing that allow future occupiers to have access to substantial natural light and to experience existing trees around the site.

4.5.6 The layout is considered responsive to the spatial constraints of the site, ensures the more efficient and effective use of the application site whilst harmonising with the surrounding pattern of development.

4.6 Scale

4.6.1 As noted above, the surrounding built form includes development of varying scale, heights and plot sizes which include large houses set in their own spacious plots. As shown on the supporting plans, whilst the scale of the proposed remodelling and extensions are not insignificant, taking into account the size of the plot, a large proportion of the extensions being below ground level, the extensions retaining ample set back from the St Johns Hill and Holly Hill Road frontages, the overall high quality contemporary design proposed and the presence of other large detached dwellings within spacious plots within the locality, it is considered that the overall scale of the proposal can be assimilated into the site, and with the surroundings overall.

4.7 Landscaping

4.7.1 There are several trees within and around the boundaries of the site as shown within the supporting tree survey plan

including category A, B, C and U class trees as set out in the summary table below. These form part of the character of St Johns Hill and Holly Hill Lane where they help soften the appearance of existing housing development, creating a semi-rural feel to the street frontage.

BS Category	No of Trees (T)	No. of Groups (G)	Total
A	4	1	5
B	2	4	6
C	1	2	3
U	2	-	2
Total	9	7	16

4.7.2 As explained in the supporting Arboricultural Impact Assessment, the proposed development has been carefully considered to minimise the extent of tree/vegetation loss and allow suitable protection of the retained trees. Where tree removals are required to accommodate the proposed development, comprehensive replacement tree planting is to be introduced, to mitigate such losses and improve both the tree species diversity and age structure of trees on site (see Landscape Masterplan drawing, p33).

4.7.3 The supporting AIA indicates the two Cherry trees T14 and T16 are internally located and are considered unsuitable for retention, regardless of the proposed development.

4.7.4 The proposed improvements to the existing access point off St John's Hill, towards the northeast corner, would slightly widen the access at the point where it meets St John's Hill and after the location of the security gate and retaining walls. The aims of these proposals are to improve access and allow



37 Artist's impression of proposed site entrance on Holly Hill Road. Relatively small gap would be created in the dense screening.



38 Artist's impression showing a glimpse of the refurbished dwelling with its grand double height entrance feature.

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vehicles to wait off St John's Hill, prior to entering the site through the security gate. These works will require the removal of a small section of G2, which will include several (previously topped) Leyland Cypress stems and Laurel. Removal of this vegetation is considered likely to have minimal impact on the amenity of the locality, restricted to views directly outside the access point, with views up and down St John's Hill largely unaffected. The proposed alterations are at the periphery of the theoretical root protection area (RPA) of Silver Birch T9 and are considered unlikely to have any effect on its health or stability. It is recommended that alteration of the existing retaining wall and repositioning of security gate pillars, in the vicinity of G1 and Silver Birch T9, be undertaken with hand tools only, with care to retain and protect tree roots.

4.7.5 The proposed new entrance off Holly Hill Road, towards the southwest corner, is required to access the proposed garages. The proposed entrance has been carefully considered to minimise tree/vegetation loss and is specifically outside of the RPA of Beech T13. These works will require the removal of a small section of G4, which will include a small section of rough hedgerow of predominantly Holly and Cypress T12. Removal of this vegetation is considered to have

minimal impact on the amenity of the locality. Replacement tree and shrub planting is considered sufficient to mitigate such losses. However, if necessary, the existing access point towards the southeast corner of the site might be closed and replacement planting introduced as like-for-like replacement.

4.7.6 The proposed alterations to the west of the existing building footprint, include the creation of garages and terraced areas. Given the extent of development in the vicinity of Lime T15, its retention is not considered feasible. Whilst Lime T15 is a large, healthy tree, it is in close proximity to the existing retaining wall and has suffered some historic damage to its buttress roots. Given its internal location, it currently provides only limited public visual amenity, with glimpsed restricted views of its upper canopy from outside the site. Replacement tree planting is proposed within the development scheme, of large sized specimens, to be planted in the vicinity of Lime T15 to mitigate its loss.

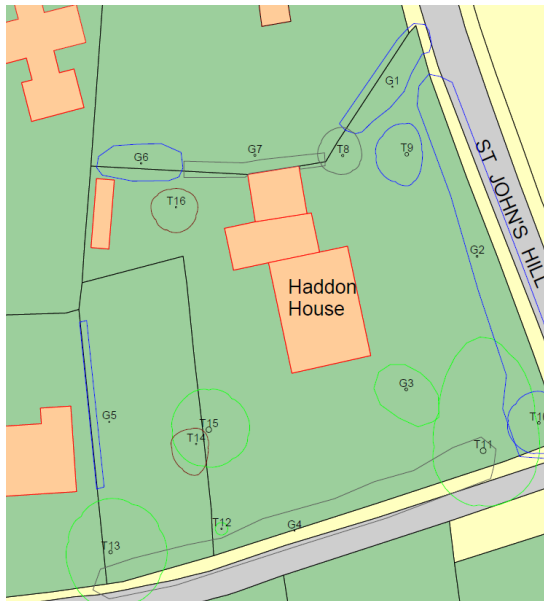
4.7.7 The proposed redevelopment of the northern section of the existing property, adjacent northerly boundary, broadly forms the same footprint as the existing building. As such there should be no significant impact on the third-party hedgerow

group of Cypress G7 (subject to past regular canopy reduction), given the existing foundations are to be utilised.

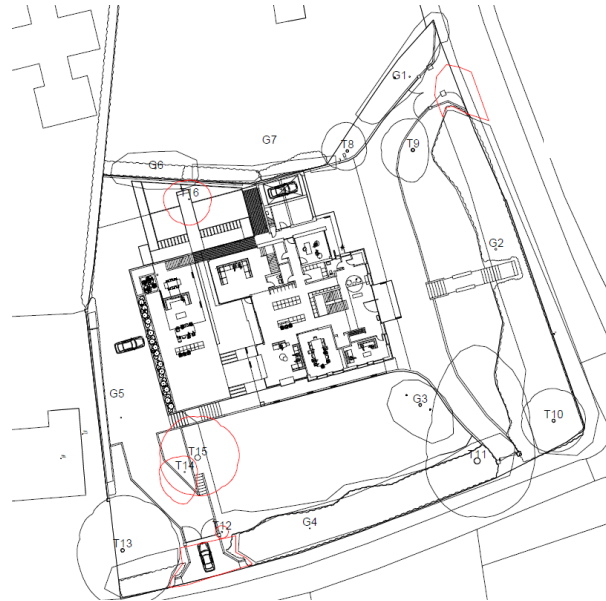
4.7.8 It is recommended that the large dead branches, within the canopies of Robina T8 and Beech T11 be removed, for safety reasons.

4.7.9 All other trees would be retained with the development being designed to integrate with them. Replacement planting is to be introduced to mitigate the loss of trees T15 and T12, to improve the species diversity, to provide screening and improve the general amenity of the locality as shown on the indicative landscape masterplan (See p33).

4.7.10 Furthermore, planning conditions can be imposed to ensure appropriate tree protection measures such as protective fencing are installed to protect retained trees during the construction period as illustrated on the tree protection plan below. The site layout also provides ample space and opportunities for additional soft landscaping to help ensure the development harmonises with the surrounding landscape environment.



39 Tree Survey Constraints Plan extract.



40 Tree Retention and Removal Plan extract.



41 Tree Protection Plan extract.



42 Artist's impression of the lower court with proposed garage housed beneath upper terrace.



43 Artist's impression of view across upper terrace from under podium canopy.

4.7.11 In terms of the hard landscaping, the proposal would be supported by a comprehensive hard landscaping plan to create a high-quality landscape environment which includes a contemporary blend of materials including, new permeable resin bound gravel driveway, porcelain tiles, new granite steps/paving, loose gravel path, new garden walls in light grey brick to match the dwelling and proposed extensions.

4.7.12 Overall, the proposal would harmonise with the surroundings in terms of soft and hard landscaping and trees.

4.9 Historic Environment

4.9.1 As set out in the supporting heritage statement prepared by Price Planning Associates, Haddon House itself is of no particular significance and it consists of a neutral element within the Conservation Area. The application site is of some minor historic interest that is considered to make a minor but positive contribution to the significance of the Conservation Area.

There is a current view of the grade II listed building the Church of St John from within the application site which demonstrates the importance of the church within the wider landscape and its setting. However, from the application site only a minor appreciation of the significance of the Church of St John can be obtained due to the distance and limited extent of its visibility.

In terms of the impact of the proposal upon the significance of the Shenstone Conservation Area and the Church of St John, the effect from the change resulting from the proposed extensions upon important views and the visual effect from the new development are both considered to be neutral. The impact of the proposal upon the historic interest of the Conservation Area is therefore neutral and consequently the significance of the conservation area will be preserved.

As the application site only allows for a minor appreciation of the significance of the Church of St John due to its limited extent and intervening distance it is considered that the effect of removing the view from the application site as a result of the proposed development would be negligible. There would be no discernible change from the development and therefore no effect in views from the church towards the application site. The impact of the proposal upon the special interest of the church is therefore neutral and consequently the significance of this grade II listed building the Church of St John will be preserved.



44 Artist's impression of rear extensions with upper terrace and podium canopy in foreground.



45 Artist's impression of view across side court from annexe, looking at the proposed gym, conservatory and podium canopy.

The proposal will preserve the special interest and significance of the Shenstone Conservation Area and the Church of St John thus complying with legislation, national and local policies which seek to preserve the historic environment. The proposal is of high quality but contemporary design, being influenced by local character and distinctiveness, therefore the proposal complies with national and local policies which seek to ensure good design

In respect of archaeological considerations, the effect on any present archaeology can be mitigated through the imposition of planning conditions.

4.10 Ecology

4.10.1 The application is supported by ecological report prepared by Weddle Landscape Design that demonstrates the proposal is expected to have no impact on ecology & biodiversity subject to further surveys, avoidance, mitigation and/or compensation measures being secured via planning condition.

4.10.2 It is also considered that the imposition of provision of ecological enhancements secured through planning conditions would ensure a net gain in biodiversity within the site overall. The finer details of the biodiversity net gain can be secured via planning condition.

4.11 Residential Amenity

4.11.1 As illustrated on the supporting plans, the proposal would provide a high-quality living environment for future occupiers with ample internal and external amenity space. The extended dwelling includes carefully designed glazing, including to the south facing elevations, ensuring substantial natural light to the internal accommodation.

4.11.2 In terms of neighbouring residential amenity, the proposal has been designed to ensure there are no issues regarding privacy, outlook or loss of light for occupants of neighbouring dwellings. Where any concerns are identified in relation to privacy, timber privacy screens have been incorporated, as well as additional boundary soft landscaping and other planting. The two neighbours on the western boundary have been consulted regarding the proposals. At the time of consultation, no objections to scheme were raised.

4.11.3 Overall, the proposal would create a high-quality living

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environment for future occupiers and would preserve neighbouring residential amenity.

4.12 Flood risk

4.12.1 The proposal would extend an existing residential dwelling within flood zone 1 (lowest risk of flooding) and therefore subject to the imposition of planning conditions requiring the approval of the Lead Local Flood Authority on the detailed drainage design, the proposal would not increase the risk of flooding within the site or locality. Furthermore, adequate means of foul water drainage would be provided to meet the needs of the development.

4.13 Sustainable Construction

4.13.1 The energy performance of a building is affected by its design, construction and use. Better design and construction methods can significantly reduce the life cycle emissions of a building and assist the occupant to reduce consumption.

4.13.2 Sustainable design is not just about incorporating renewable technologies; buildings should be designed at the outset to provide suitable environmental conditions for the occupants whilst also consuming as little energy as practical. It is possible to exceed Building Regulations requirements (Part L 2013) through demand reduction measures, which typically include a combination of passive design measures (e.g. building design and efficient building fabric) and active design measures (e.g. Building services).

4.13.2 Passive design is a key principle of sustainable design, and can be used to reduce the building's energy demand. Passive design responds to local climate and site conditions to maximise the building users' comfort and health while minimising energy use.

4.13.2 The planned extensive renovation of the existing dwelling gives opportunity for upgrading its building fabric. The extension elements have also been designed using a fabric first approach as to initially minimise energy and resulting CO2 emissions. Particular attention will be paid to thermal envelope and a high level of insulation will be specified to all thermal elements to minimise heat losses. Passive solar gain reduces the amount of energy required for space heating during the winter months.

4.13.3 The development has been designed to improve daylighting in all habitable spaces, as a way of improving the health and wellbeing of its occupants. The majority of the habitable rooms, will benefit from large windows to increase the amount of daylight within the internal spaces. Deep overhangs and external shading/ privacy screens will be installed for minimizing glare and regulating solar gains during hottest summer months.

4.13.4 The existing dwelling and proposed extensions will be constructed in over and above the requirements of the Building Regulations to ensure the highest sustainability standards are met. Whilst the finer details would be agreed with the Local Planning Authority via planning condition(s), further design measures to be incorporated could include the following:

- Low energy lighting will be specified
- Electric vehicle charging points.
- Cycle storage.

Garden design:

- Soft landscaping will continue to dominate the plots.
- Existing trees will be and planting will be retained generally. Where tree removals are required to accommodate the proposed development, comprehensive replacement tree planting is to be introduced, to mitigate such losses and improve both the tree species diversity and age structure of

- trees on site.
- Bat and bird boxes as well other ecological enhancement measures will be provided to promote natural species and biodiversity.

Heating/Ventilation strategy:

- High air tightness design to better manage the internal environment
- Ground source heat pump that uses the heat stored in the air/ground to provide heating.

Power :

- Given the sites location in the Shenstone Conservation Area, careful consideration of the forms of renewable power generation would be needed. Solar panels could be considered amongst other technologies subject to sensitive integration within the scheme to provide at least 10% of its energy demand through renewable energy sources.

Foul Water:

- The foul water strategy is via existing public sewer system in the public highway.

Storm water:

- Soakaways to address surface water drainage sustainably
- Permeable surfacing is proposed to reduce surface water run-off.
- Nature infiltration landscaped areas where appropriate.
- Rain water butts located in the side court at lower ground floor.

Water Resources:

- Use of highly efficient water fittings on toilets/showers/taps



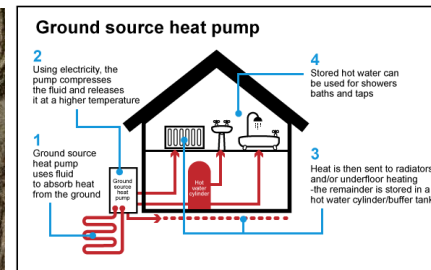
46 Permeable resin bound drive



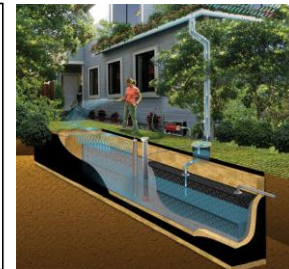
47 Abundant planting proposed.



48 Bird & bat boxes.



49 It is intended to instal ground source heat pump.



50 Rainwater harvesting tank/ water butts.



51 Electric vehicle charging points

5 CONCLUSION

5.1 As demonstrated within this statement and accompanying assessments the proposal is appropriate in planning terms and will deliver a development that is sustainable in accordance with the development plan when considered as a whole and the overarching objectives of the National Planning Policy Framework (NPPF).

5.2 Accordingly, the presumption in favour sustainable of the development applies and the proposal should be approved without delay.

6 LIST OF ARCHITECTURAL DRAWINGS

1236 - 100 Location Plan

0432_01 Survey – Topography Plan

0432_01 Survey – Measured Building Survey

1236 - 101 Existing Site Plan and Context

1236 - 110 Proposed Site Plan

1236 - 111 Proposed Lower Ground Plan

1236 - 112 Proposed Ground Plan

1236 - 113 Proposed First Floor Plan

1236 - 114 Proposed Loft Floor Plan

1236 - 120 Proposed Elevations Sheet 1

1236 - 121 Proposed Elevations Sheet 2

1236 - 125 Proposed Street Scenes

1236 - 130 Proposed 3D Sketch Views

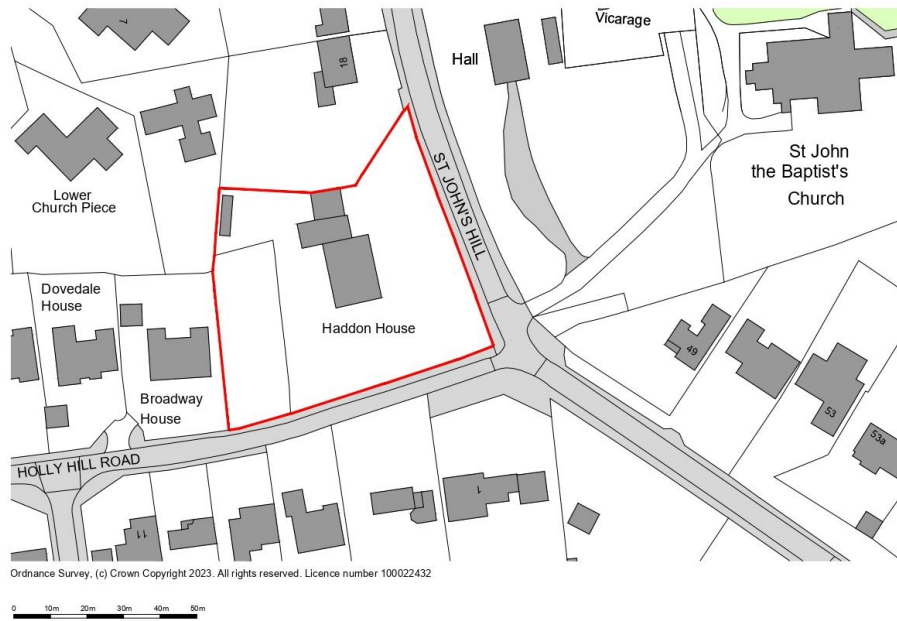
1533 - 001 Landscape Masterplan



52 Artist's impression of proposed open plan kitchen.



53 Artist's impression of proposed lounge in foreground and dining in background.



location plan



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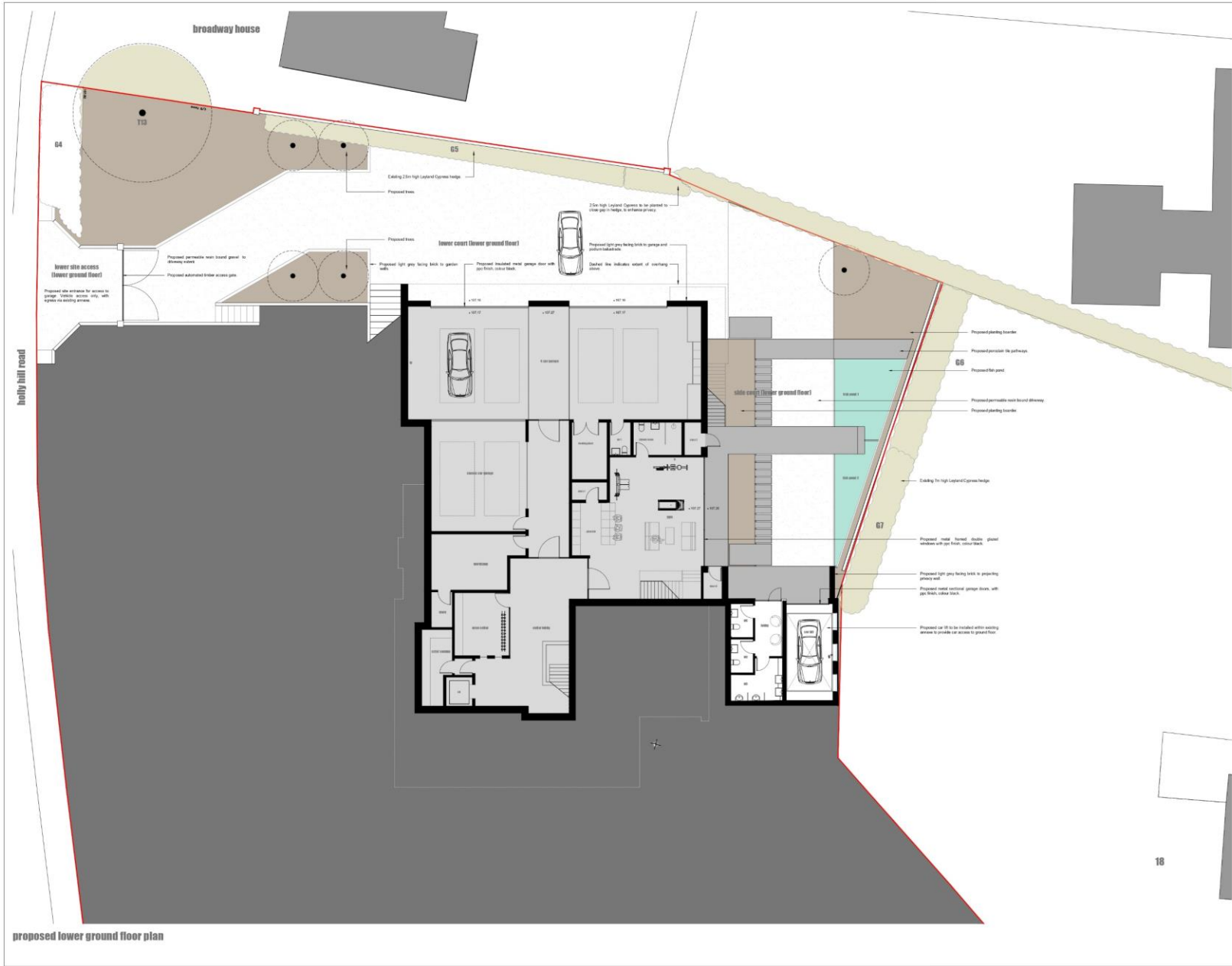
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Drawing
Location Plan

Project No.	Drawing No.	Issue	Status
1236	100	-	P

Issue date: August 2023
 Drawn by: VG
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Drawing
Proposed Lower Ground Floor Plan

Project No.	Drawing No.	Issue	Status
1236	111	-	P

Issue date: June 2023
 Drawn by: VG
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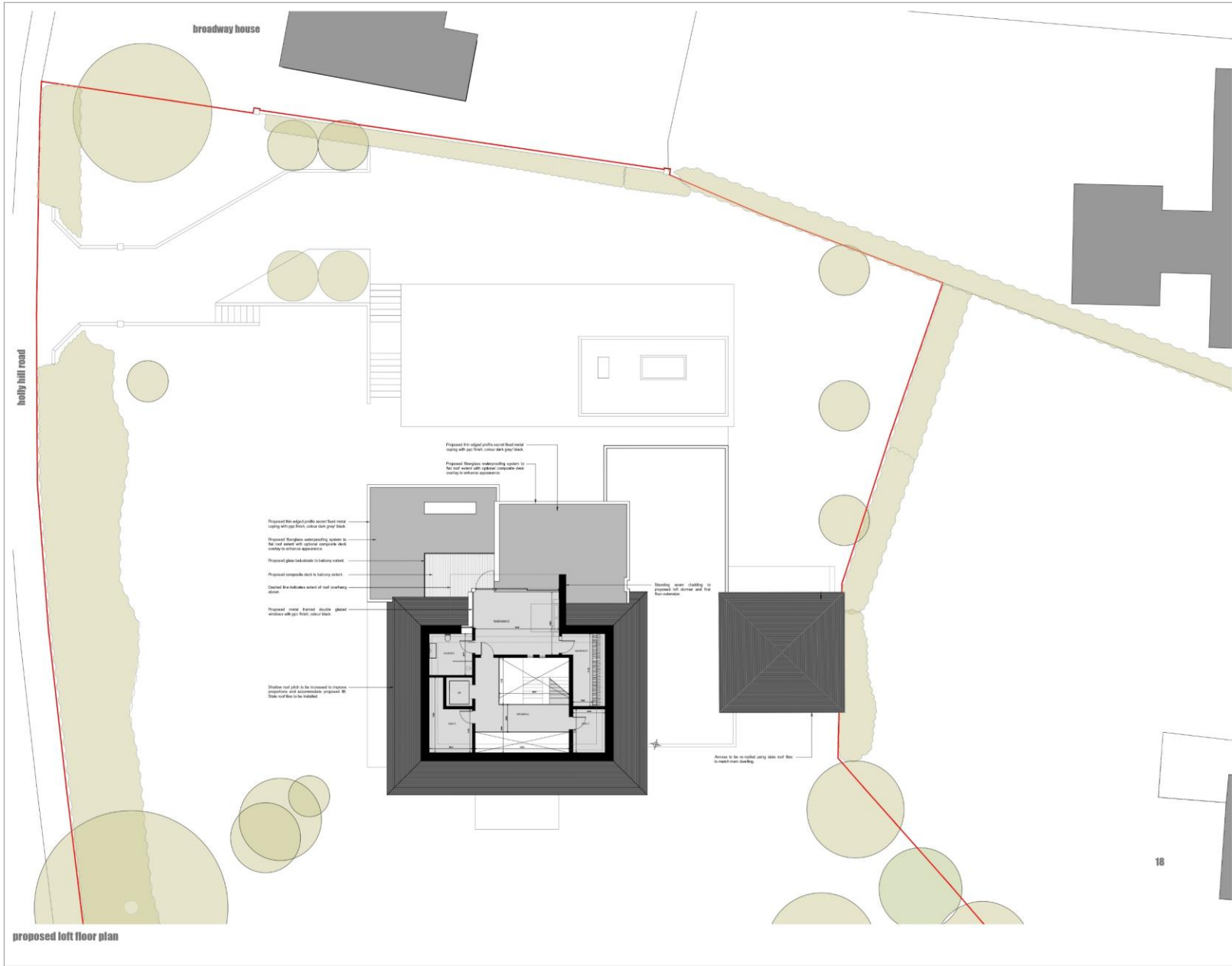
Project: **Haddon House, St. John's Hill, Shenstone, WS14 0JB**

Drawing: **Proposed Ground Floor Plan**

Project No.	Drawing No.	Issue	Status
1236	112	-	P

Issue date: June 2023
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Project
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Drawing
Proposed Loft Floor Plan

Project No.	Drawing No.	Issue	Status
1236	114	-	P

Issue date: June 2023
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proposed east elevation

All windows to be re-glazed and installed with new framed double glazed windows with argon filled inner pane.
 Proposed radiator cover door with flush side light.
 Proposed metal sliding primary screen, with oak finish, colour black.
 Side extension roof to be clad in flat panel cladding (metal equivalent) with linear cladding to soffits.
 Proposed radiator cover door with oak finish, colour black.
 Proposed radiator cover door with oak finish, colour black.



proposed south elevation

Proposed light grey brickwork to garage and porch sub-base.
 Proposed light grey brickwork to outside steps.
 Conservatory roof and lounge extension to be clad in flat panel cladding (metal equivalent) with linear cladding to soffits.
 Proposed glass balustrade in factory white.
 Standing screen cladding in proposed left screen.
 Shallow roof pitch to be increased to improve appearance and accommodate proposed 400mm roof rise to be installed.
 Side lamps to be clad in flat panel cladding (metal equivalent) with linear cladding to soffits.
 All windows to be re-glazed and installed with new framed double glazed windows with argon filled inner pane.
 Proposed double height entrance canopy clad in flat panel cladding (metal equivalent) with linear cladding to soffits. Also include stone screen in ground region with oak finish, colour black.

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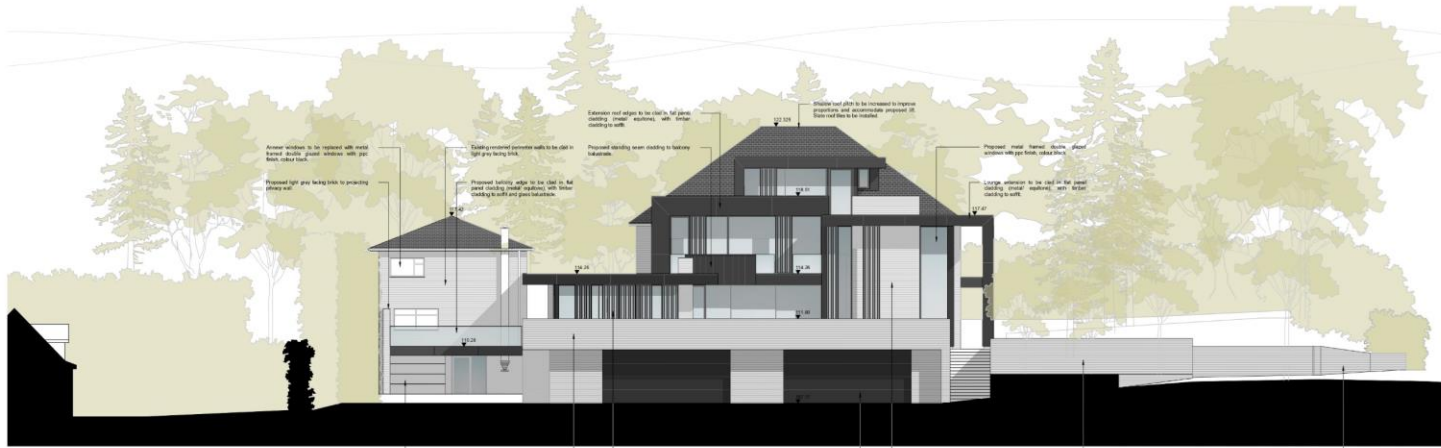
Project: **Haddon House, St. John's Hill, Shenstone, WS14 0JB**

Drawing: **Proposed Elevations Sheet 1**

Project No.	Drawing No.	Issue	Status
1236	120	-	P

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proposed west elevation



proposed north elevation

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**Haddon House, St. John's Hill,
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Drawing:
**Proposed Elevations
Sheet 2**

Project No.	Drawing No.	Issue	Status
1236	121	-	P

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st john road street scene



holly hill road street scene

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Project
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Drawing
Proposed Street Scenes

Project No.	Drawing No.	Issue	Status
1236	125	-	P
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artist's Impression 1



artist's Impression 2



artist's Impression 3



artist's Impression 4



artist's Impression 5



artist's Impression 6

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Project
Haddon House, St. John's Hill, Shenstone, WS14 0JB

Drawing
Proposed Artist's Impressions

Project No.	Drawing No.	Issue	Status
1236	130	-	P

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