



The Forge
Ropley SO24 0DS

COMBINED
DESIGN AND
ACCESS &
HERITAGE
STATEMENT

June 2023

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FOREWORD

This Heritage Statement has been produced to accompany the Planning and Listed Building Consent Application seeking approval from East Hampshire District Council for the proposed internal and external alterations to a private dwelling at:

The Forge, Church Street, Ropley, Alresford, East Hampshire SO24 0DS

Issue/ Revision	Date	Description
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1. INTRODUCTION

Introduction

This Heritage statement has been written to support the house holder planning and listed building consent application for proposals at The Forge, Ropley.

The Forge is a Grade II listed property in Ropley; approximately 10 miles east of Winchester.

The proposals for the property are:

- Listed Building Consent for removal of a modern block wall to accommodate the conversion of the existing barn to a kitchen.
- Listed Building Consent for repairs for internal and external upgrade works, including roof and rainwater goods, and renovation works to the Forge including necessary structural intervention works, brick repair and restoration.



Requirements of the Heritage Statement

The proposed scheme has the potential to impact the heritage asset through change upon the setting of the site and through alteration and repair works. However, we consider that the scope and nature of the proposed kitchen alteration and internal alterations, retains the original character and appearance of the building within the site. As such, the proposed scheme will preserve the significance of the Listed Building and accords with section 66(1) of the 1990 Act and section 16 of the NPPF.

This Built Heritage Statement meets the requirements of paragraph 189 of the NPPF and is sufficient to inform the current application.

This assessment refers to the relevant legislative framework contained within the Planning (Listed Buildings and Conservation Areas) Act 1990, as well as national and local planning policy. In addition, relevant Historic England guidance has been consulted to inform the judgements made. It is further based on the findings of detailed historical research, a site walkover survey and assessment conducted from publicly accessible locations around the Site, map studies and the application of professional judgement.

This report should be viewed in tandem with supplementary documents including reports issued by BSF Structural Engineering Ltd, and The Ash Partnership Ltd (Bat Surveys)

2. THE SITE: Overview

The Site

The site amounts to 0.3 acres in total and the footprint of the property covers 219m². The original house has clearly been subjected to multiple extensions over time, as outlined in the listing and explored in further depth within this supporting statement..

The site falls within Ropley Conservation Area, which was first designated in 1976. There are two areas of Ropley Conservation Area, one centred on Church Street and one on South Street. The Forge falls within the Church Street area.

Ropley is a village and civil parish approximately 10 miles East of Winchester. Church Street borders the site to the North; School Lane borders the edge of the site to the East and Hammonds Lane borders the West of the site. There is an agricultural field with beautiful views out to the South.

The property sits along the Northern boundary of the site; the principle elevation adjoins Church Street so greatly contributes the overall aesthetic of the conservation area. There is a small area for parking to the East which is also accessed from Church Street.



3. THE LISTING-DESIGNATION

Heritage Category: Listed Building
Grade: II
List Entry Number: 1179655
Date first listed: 11-Oct-1985
List Entry Name: THE FORGE
Statutory Address 1: THE FORGE, CHURCH STREET

Location

Statutory Address:
THE FORGE, CHURCH STREET

The building or site itself may lie within the boundary of more than one authority.

County: Hampshire
District: East Hampshire (District Authority)
Parish: Ropley
National Grid Reference: SU 64359 31930

House. C15, early C17, C18, and early C19. Red brick walls in Flemish bond with blue headers, 1st floor band, cambered arches to the ground-floor, and stepped plinth; a former doorway has been filled and 2 small windows have been formed (C20) on either side of the entrance. Tile roof, ½-hipped to the rear wing, catslide at rear, with a hipped slate roof over the narrow west wing. A late-medieval 2-bay timber-framed hall, with a fireplace attached at one end (early C17) together with 1st floors and a staircase wing, with C18 extensions (to west end and rear), and a forge at the east end (probably a timber-framed barn at an earlier stage) with C19 industrial windows, and a narrow early C19 wing at the west end. The north front: (refacing of the timber-frame) symmetrical of 2 storeys, 3 windows. Leaded casements. C20 open timber-framed porch with gabled tile roof, and boarded door. The single-storeyed east wing (former forge) has 3 windows with narrow vertical panes, and a plain doorway. The single-storeyed west wing has 2 plain doors and a casement. The rear elevation has a gable with a tiled front to the staircase block. Interior: the exposed framing, and other details, indicate the several phases of construction, which includes a cellar beneath the western (C18) bay.

Nearby Heritage Assets

A 1km radius was used to identify potentially affected built heritage assets within the vicinity of the Site. Within this search area, one listed building and one conservation area was identified as per below map:



Fig. 1 Historic England (Historic England 2023)

4. LEGISLATIVE FRAMEWORK- PLANNING POLICY - HERITAGE

NATIONAL - Heritage Considerations

Where any development may affect certain designated heritage assets, there is a legislative framework to ensure proposed works are developed and considered with due regard to their impact on the historic environment. This extends from primary legislation under the Planning (Listed Buildings and Conservation Areas) Act 1990.

The relevant legislation in this case extends from Section 66 of the 1990 Act which states that special regard must be given by the decision maker, in the exercise of planning functions, to the desirability of preserving or enhancing listed buildings and their setting.

Section 66 of the Planning (Listed Buildings and Conservation Areas) Act 1990 provides a statutory duty with respect to Listed Buildings for the decision maker to “have special regard to the desirability of preserving the building or its setting or any features of special architectural or historic interest which it possesses”.

Section 38(6) of the Planning & Compulsory Purchase Act 2004 states that planning applications should be determined in accordance with the Development Plan unless material considerations indicate otherwise.

Issues for LBC and planning permission are judged against the content of the National Planning Policy Framework (July 2021) - the NPPF. The concepts which underpin consideration of the historic environment under the NPPF are applicable to all heritage assets.

The NPPF at paragraph 197, states that an application that affects a heritage asset should be determined by taking account of the following: the desirability of sustaining or enhancing the significance of the asset; the positive contribution that conservation of the asset can make to a sustainable community; and the desirability of new development making a positive contribution to character and distinctiveness.

Paragraph 199 of the NPPF states that “When considering the impact of a proposed development on the significance of a designated heritage asset, great weight should be given to the asset’s conservation (and the more important the asset, the greater the weight should be). This is irrespective of whether any potential harm amounts to substantial harm, total loss or less than substantial harm to its significance.”

Paragraph 202 of the NPPF advises that “Where a development proposal will lead to less than substantial harm to the significance of a designated heritage asset, this harm should be weighed against the public benefits of the proposal including, where appropriate, securing its optimum viable use.”

Paragraph 190 of the NPPF states:

- (a) *the desirability of sustaining and enhancing the significance of heritage assets, and putting them to viable uses consistent with their conservation;*
- (b) *the wider social, cultural, economic and environmental benefits that conservation of the historic environment can bring;*
- (c) *the desirability of new development making a positive contribution to local character and distinctiveness; and opportunities to draw on the contribution made by the historic environment to the character of a place.*
- (d) *The proposals retain the historic character, significant features and heritage values attributed.*

NATIONAL- The National Planning Policy Framework - NPPF (July 2021)

The NPPF sets out the Government's planning policies for England and puts "the presumption in favour of sustainable development" at the heart of the planning system.

The NPPF defines a heritage asset as a: 'building, monument, site, place, area or landscape identified as having a degree of significance meriting consideration in planning decisions, because of its heritage interest'. This includes both designated and non-designated heritage assets.

Section 16: Conserving and Enhancing the Historic Environment relates to the conservation of heritage assets in the production of local plans and decision taking. It emphasises that heritage assets are '*an irreplaceable resource and should be conserved in a manner appropriate to their significance*'.

For proposals that have the potential to affect the significance of a heritage asset, paragraph 189 requires applicants to identify and describe the significance of any heritage assets that may be affected, including any contribution made by their setting. The level of detail provided should be proportionate to the significance of the heritage assets affected. This is supported by paragraph 190, which requires LPAs to take this assessment into account when considering applications.

Under 'Considering potential impacts' the NPPF emphasises that 'great weight' should be given to the conservation of designated heritage assets, irrespective of whether any potential impact equates to total loss, substantial harm or less than substantial harm to the significance of the heritage assets.

The following chapters are relevant to the proposal:

- Chapter 12 - Achieving well-designed places
- Chapter 15 - Conserving and Enhancing the Natural Environment
- Chapter 16 - Conserving and enhancing the built environment

National Planning Practice Guidance (NPPG)

The National Planning Practice Guidance (NPPG) builds on principles within the NPPF and provides further detailed technical guidance.

Key elements of the guidance relate to assessing harm. It states that substantial harm is a high bar that may not arise in many cases and that while the level of harm will be at the discretion of the decision maker, generally substantial harm is a high test that will only arise where a development seriously affects a key element of an asset's special interest. It is the degree of harm, rather than the scale of development, that is to be assessed.

Local Plan - Heritage

East Hampshire District Local Plan: Joint Core Strategy Adopted 2014

East Hampshire 2020

Heritage Policies Applicable

Policy CP30 - Historic Environment

Development proposals must conserve and, where possible, enhance the District's historic environment.

All new development will be required to:

- a) conserve and enhance the cultural heritage of the South Downs National Park if in the National Park and take account of this cultural heritage where the National Park's setting is affected.
- b) reflect national policies in respect of design, landscape, townscape and historic heritage.
- c) conserve, enhance, maintain and manage the district's heritage assets and their setting including listed buildings, conservation areas, Scheduled Ancient Monuments, archaeological sites and Historic Parks and Gardens.
- d) ensure that the development makes a positive contribution to the overall appearance of the local area including the use of good quality materials of appropriate scale, profile, finish, colour and proven weathering ability;
- e) take account of local conservation area appraisals and town and village design statements where they exist.

Sections 7.80 and 7.81 below are relevant:

- 7.80 The historic environment is made up of individual buildings, groups of buildings, conservation areas, historic parks and gardens, archaeological sites and other features, both designated and un-designated, that are important to the overall character of the countryside, towns and villages. East Hampshire has a rich and diverse historic environment which is an important asset. It is also part of the wider environment which draws people to the area either to live, visit or for investment. It is important to recognise that this environment is sensitive to change and requires protection. The challenge for the District is managing changes so that it continues to meet the needs of the future population, while protecting the historic environment.
- 7.81 Government guidance states that the historic environment and its heritage assets should be conserved and enjoyed for the quality of life they bring to this and future generations. Imaginative policies can help to reduce threats to the historic environment and contribute to the fabric of the community and its local distinctiveness. The historic environment provides an irreplaceable record of our cultural heritage, adds to the quality of life by enhancing the local scene and sustains the sense of local distinctiveness that is such an important aspect of the character and appearance of towns, villages and countryside. The inclusion of heritage within Green Infrastructure is an important contribution to this. In addition, it can also be of immense importance for leisure and recreation. The Council and National Park Authority recognise the need to continue to embrace change through sensitive adaptation and new development. This must be based on a full understanding of the significance of and impact on the heritage assets, both currently known and potential, and historic environment of the place. Where development will result in the removal or alteration of a heritage asset, this should be recorded, and the results made available to the community. The results should make a positive contribution to the public understanding of the historic environment, local distinctiveness and its contribution to the fabric of the community.

5. METHODOLOGY FOR ASSESSMENT OF SIGNIFIANCE

Heritage significance has been articulated in accordance with the heritage values set out in Historic England's Conservation Principles, Policy and Guidance (HE, 2008), published by Historic England. It also considers if, how and to what extent the site relates to that significance. The description of significance is accompanied by an assessment of the level of that significance as defined in Table 1.

Table 1- Levels of Significance

Heritage significance	Criteria
High	Designated heritage assets of national or international significance: world heritage sites, scheduled monuments, listed buildings, registered parks and gardens, registered battlefields and protected wrecks. May be: conservation areas of demonstrably national / international significance (usually found in conjunction with one or more of the above mentioned asset types). Non-designated heritage assets that meet the criteria for statutory designation or are of equivalent significance.
Medium	Conservation areas and non-designated heritage assets of regional significance. May be: locally listed buildings or locally listed parks and gardens, sites of archaeological interest as noted on the HER, previously unidentified non-designated assets of demonstrably regional significance.
Low	Non-designated heritage assets of local significance. May be: key features in a conservation area, buildings / areas / parks and gardens identified on the HER or historic maps, isolated archaeological finds as identified on the HER, previously unidentified non-designated assets of demonstrably local significance.
Uncertain	Non-designated heritage assets whose significance could not be ascertained.



Historic England

Methodology- Potential Harm to the Asset or Setting

The heritage significance of the Forge is considered High given the statutory designation. It is considered the detail of the proposed works represents a neutral impact upon the heritage asset and setting, given the carefully considered scheme.

The potential level of harm to the significance of the asset and setting has been assessed in accordance with step 3 of **Historic England's HEAN 3 Guidance (2015)**. This level was assigned in relation to the harm that an asset or setting might experience, but the descriptive assessment also identifies any neutral or beneficial changes where applicable.

Table 2 - Potential Harm Relating to Asset

Potential harm to asset	Criteria
High	The significance of the heritage asset would be lost or substantially harmed by the development.
Medium	The significance of the heritage asset would be harmed but not substantially.
Low	The significance of the heritage asset may be harmed but that harm would be minor.
None	The significance of the heritage asset will not be harmed.



Historic England

Methodology- Assessment of Significance- Level of Effect

This final step in the assessment takes the potential harm to the asset/setting and considers that against its relative significance level in order to establish a proportionate level of effect on the historic environment overall. The criteria for these levels are as follows:

Level of effect	Criteria
High	Asset is of high or medium significance and the magnitude of change is likely to be of such a scale that the significance of the heritage asset would be substantially harmed.
Medium-high	Asset is of high or medium significance and the magnitude of the change is likely to be of such a scale that the significance of the asset would be harmed but not substantially.
Medium	Asset is of low significance and the magnitude of change is likely to be of such a scale that the significance of the asset would be substantially harmed.
Low-medium	Asset is of low significance and the magnitude of change will be of such a scale that the significance of the asset would be harmed but not substantially; or Asset is of high or medium significance and the magnitude of change is likely to be of such a minor scale that the significance of the asset will only be marginally affected.
Low	Asset is of low significance and the magnitude of change is likely to be of such a minor scale that the significance of the asset will only be marginally affected.
None	Asset of high, medium, or low significance where the development of the site does not interact with the asset or its significance. The development may still be perceptible as a change to the asset's setting, but this change would not harm the significance of the asset.



Historic England

CRITERIA FOR ASSESSING SIGNIFICANCE

In heritage terms, significance is defined as a place that 'embraces all the diverse cultural and natural heritage values that people associate with it, or which prompt them to respond to it.

These values tend to grow in strength and complexity over time, as understanding deepens, and people's perceptions of a place evolve. '(Historic England, Conservation Principles Policies and Guidance, 3.2, 2008). Therefore, significance encompasses not just the physical fabric, but also the setting, contents, use, history, tradition, and heritage context of a place. Consequently, cultural significance is unique to each place and the relative significance can vary from element to element and building to building.

This element of heritage values is separated into four categories- *Evidential, Historic, Aesthetic, Communal*

Evidential Value: A measure of heritage significance derived from "the potential of a place to yield evidence about past human activity" - that is, the physical fabric of an asset and its capacity as the main source of information on the place and its past. Age and rarity are important indicators of the degree of significance but are not always paramount. The less historic fabric there is (e.g., where it has been removed or replaced) the less it can be used to evaluate significance and so the less it can contribute to our overall understanding of significance; however, sometimes incomplete physical remains are all that is left to judge significance - such as archaeological deposits - and when they are the only source of information their importance is paramount.

Historical Value: A measure of heritage significance derived from "the ways in which past people, events and aspects of life can be connected through a place to the present" - that is, what the place can tell us about the past either by illustrating it or by association. ILLUSTRATIVE significance is how the place visually reveals the past, helping us to understand and interpret it. Significance can be increased if the place is still in its historic use and its historic context. ASSOCIATIVE significance is where a place is linked to important people or events, or to movements or cultural expression (e.g., in art or politics). Here, rarity, authenticity and completeness are important, but a place can still have historical significance even when altered - indeed, the evolution of a place over time and the story this demonstrates can be central to a place's significance.

Aesthetic Value: A measure of heritage significance derived from "the ways in which people draw sensory and intellectual stimulation from a place" - that is, our experience and reaction to a place. It is primarily visual but can also relate to the other senses. It can be influenced by conscious DESIGN, such as the proportions or detailing of a building or the layout and planting of a landscape, or it can relate to a specific style, movement, patron or designer. Here, quality, craft, innovation and influence are important.

Communal Value: A measure of heritage significance derived from "the meanings of a place for those who draw part of their identity from it, or for whom it figures in their collective experience or memory" - that is, our emotional attachment to a place and how we relate to it.

6. HISTORICAL DEVELOPMENT, PHASING & SIGNIFICANCE

- *Historical Development & Significance*

The Forge dates to possibly the 15th century, based on the extant medieval oak joinery, suggesting an original medieval timber bay structure. The early use would have served as a worker's house serving agricultural use. The House today, is most definitely essentially a brick building with the advent of the early modern period, where bricks were readily available and the chosen idiom of the day.

The re-facing of the building occurred during the C18 and C19, where some of the earlier brick work is incorporated within the main structure.

The roof structure is clearly a reconstruction, and three phases can be conjectured as identified by Duncan Philips within his rich and helpful Buildings Report commissioned by the current custodians as a Historic Building Survey, published in 2016.



Fig. 2, Historic Photo from 1942 (Ropley Archives)

The earliest section of the structure is to the rear wing, where the majority of fabric remains in situ. This section is believed to be a C17 construction and contains the living room and bedroom above. This area looks to have been re-roofed in the C19 construction. It is conjectured that the entire roof form was rebuilt at some stage during the mid C19 including the top parts of the chimneys and the majority of the facing brickwork to the road is of C19 origin.

The majority of the windows are later C20 replacements where the double-glazed units are most

probably 1980's, prior to the Listing in 1985. Some of the windows with metal bars are of earlier origin, possibly 1920's.

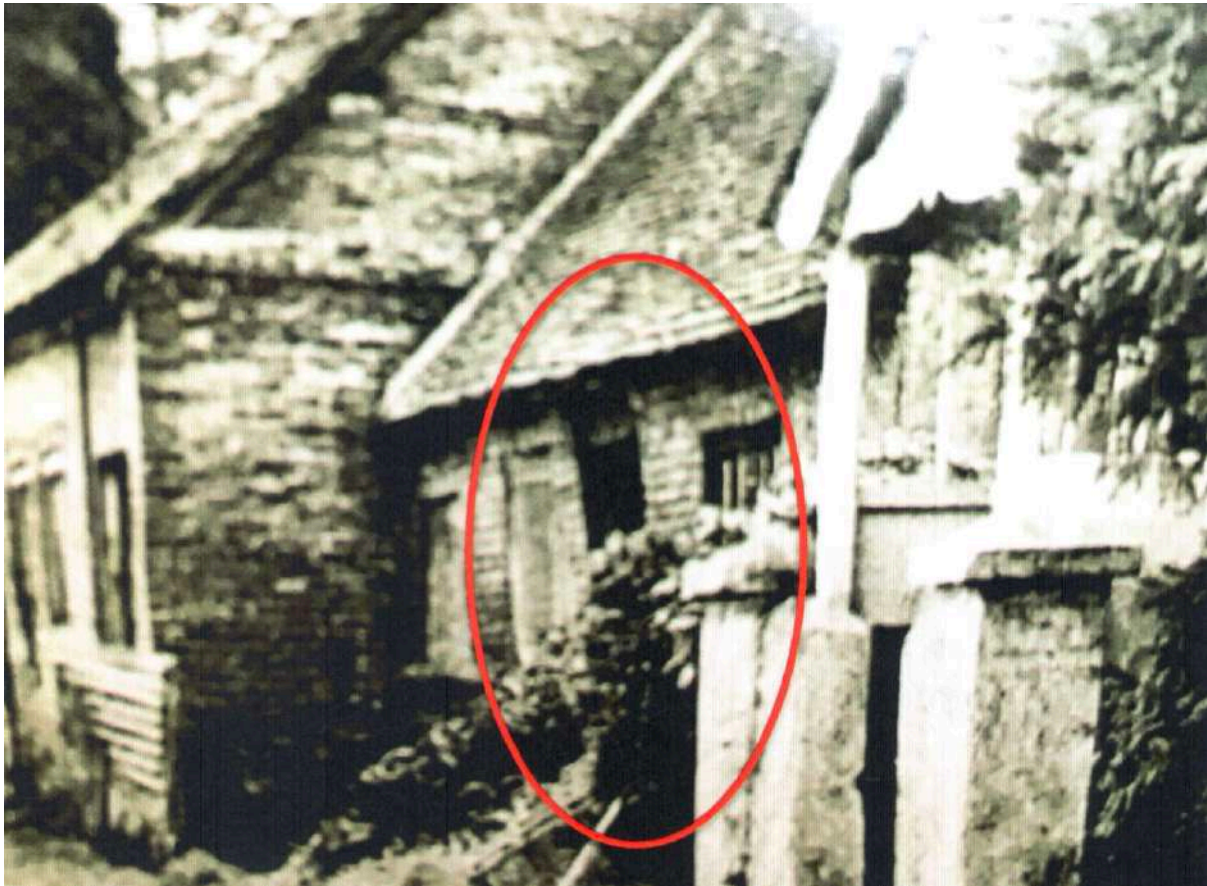


Fig. 3, Historic Photo from circa 1942 (Ropley Archives)

The absence of exposed timber frame seen in the rear of the house as opposed to the roadside (earlier fabric), suggests a serious rebuild and transformation within the structure dating to the C19. It is likely, the timber frame within the brick construction was removed.

The architectural evidence suggests as identified within the listing substantial C18 extensions to the west end and to the rear, and a well-constructed forge at the east end (this area again would have probably served as a timber-framed barn at an earlier stage).

It is during the late C19 that the adjoining barn (perhaps an earlier timber frame structure) is completely rebuilt in brick with a slate roof as we see today (See Figs and Historic Maps). The structure has undergone two important transformations, the timber purlins and roof was re-built during the 1960's-1970's, and a block wall made from modern C20 breeze blocks was constructed to create a separation from what is the current kitchen to the workshop.

Further C20 alterations include several window and door replacements.

The Forge remains today in private residence, where although it served the village as a Forge until the 1960's and thus serving the community, it holds little communal value today.

Significance of The Forge

The Forge Ropley holds significant historical and cultural importance, both locally and within the broader context of industrial heritage. Here is an overview of the forge's significance:

1. **Historical:** The Forge Ropley stands as a tangible link to the village's industrial past. It represents a bygone era when blacksmiths played a vital role in supporting the local agricultural and construction industries. By preserving and restoring the forge, it allows present and future generations to gain insight into traditional blacksmithing techniques and appreciate the craftsmanship of the past.

Historic & Aesthetic: The site represents a melange of historical phasing, ranging from its early C15 medieval timber frame structure to the later Georgian brick facing alterations, and its significant Victorian adaptation and extensions when the site served as an active Forge. The historical significance is high given its architectural and historical contribution to Ropley and that the clear phasing of the site in terms of its historic footprint, remains largely intact. The evidential high quality of architecture that survives is of high significance.

2. **Evidential: Industrial Heritage:** The forge is a testament to the broader industrial heritage of Hampshire and England. It showcases the significance of blacksmithing as a skilled trade and highlights the role of small-scale forges in supporting local economies during different periods of history. The Forge Ropley serves as a reminder of the region's industrial roots and the skills and craftsmanship that contributed to its development.
3. **Communal:** The site has limited communal value, given it has never been opened to the public. Its communal value is within the architectural fabric that continues to provide an example of the past traditional crafts and economies.

The Forge Ropley's significance lies in its ability to preserve history, foster education and cultural exchange. It stands as a living testament to the importance of traditional crafts and the resilience of heritage in an ever-evolving world.

Wider Historic Context of Ropley-Setting

The original part of the village developed around the church of St Peter in the 12th Century. Hamlets then became established around North Street, South Street and Gilbert Street. In 1882, Ropley became a parish in its own right with Church Street remaining the focal point of the area.

The Forge is one of many buildings within the area which holds Architectural and Historic interest. Another prime example of such a structure is the Church of St Peter, located 160m to the East of The Forge along Church Street. Constructed in the 12th Century, it has a 13th Century chancel and 14th Century timber framed Bell tower.



Fig. 4, Historic Photo from circa 1900 (Ropley Archives)

Significance of Ropley:

1. Rural Charm and Natural Beauty: Ropley is situated in the picturesque Hampshire countryside, surrounded by rolling hills, meadows, and woodlands. The village's rural charm and scenic landscapes make it a desirable destination for nature lovers and those seeking a peaceful retreat. Ropley's natural beauty contributes to the overall appeal of East Hampshire as a region known for its idyllic countryside.
2. Historic Heritage: Ropley boasts a rich historical heritage that adds to its significance. The village features several historic buildings, including St. Peter's Church, which dates back to the 12th century. These architectural treasures provide glimpses into Ropley's past and evoke a sense of historical continuity and cultural identity within the community.
3. Preservation of Rural Character: Ropley exemplifies the preservation of a traditional English village character. Its well-preserved historic buildings, thatched cottages, and narrow lanes contribute to a sense of timelessness and authenticity. Ropley's commitment to preserving its rural character is evident through local planning policies and community initiatives that aim to protect the village's unique identity.
4. Historic centre as a transportation hub: Ropley's significance as a transportation hub cannot be overlooked. The village is home to the Ropley railway station, which serves as a stop on the Mid Hants Railway, also known as the Watercress Line. This preserved steam railway attracts railway enthusiasts and visitors from across the region, providing a unique tourist attraction and contributing to the local economy.
5. Agricultural and Farming Heritage: Like many villages in East Hampshire, Ropley has a strong connection to agriculture and farming. The surrounding countryside is dotted with farms and agricultural fields, highlighting the village's agricultural heritage. Ropley's agricultural significance extends to the local economy and contributes to the region's reputation for high-quality produce and rural sustainability.

Overall, Ropley's significance lies in its rural charm, historical heritage, preservation of rural character, vibrant

community, transportation links, and agricultural connections. As a quintessential English village, Ropley enhances the appeal and diversity of East Hampshire, offering a glimpse into the region's natural and cultural treasures.

Ropley Conservation Area:

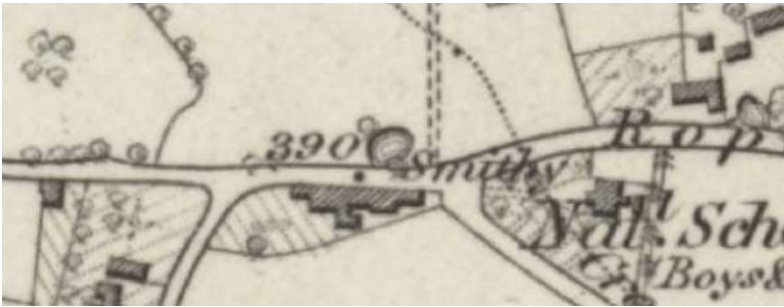
Ropley Conservation Area is a designated area. It holds significant importance for its historical and architectural heritage. Here is an overview of Ropley Conservation Area:

1. **Historical Significance:** Ropley Conservation Area encompasses the heart of the village, which has a long history dating back to medieval times. The area showcases a rich historical tapestry, with buildings and structures that span several centuries. It provides a glimpse into the village's past and the evolution of its architecture and urban layout over time.
2. **Architectural Heritage:** The conservation area is characterized by a diverse range of architectural styles, reflecting the village's development and growth through different eras. It features buildings constructed with local materials, such as timber-framed houses, thatched cottages, and brick and flint structures. These architectural styles contribute to the unique character and charm of the area.
3. **Preservation of Rural Character:** Ropley Conservation Area plays a vital role in preserving the rural character and traditional English village ambiance of Ropley. The area encompasses the village green, narrow lanes, and historic buildings that contribute to a sense of timelessness and authenticity. The preservation efforts ensure that the village retains its distinct identity and cultural heritage.
4. **Landscape and Green Spaces:** The conservation area also includes the surrounding landscape, which comprises scenic views, open green spaces, and areas of ecological importance. The rural landscape, with its meadows, woodlands, and hedgerows, adds to the overall beauty and natural value of the area. It provides a tranquil setting and enhances the quality of life for residents and visitors alike.
5. **Planning and Development Control:** The designation of Ropley Conservation Area brings with it specific planning regulations and development controls aimed at preserving and enhancing the area's unique character and heritage. These regulations help safeguard the historic buildings, architectural features, and landscape elements within the conservation area. They ensure that any proposed changes or new developments are in harmony with the area's character and do not compromise its significance.
6. **Tourism and Cultural Heritage:** Ropley Conservation Area acts as a magnet for heritage tourism, attracting visitors who appreciate the village's historical and architectural treasures. The area's well-preserved buildings and picturesque landscapes provide an immersive experience into the past, contributing to the local economy and promoting cultural heritage.

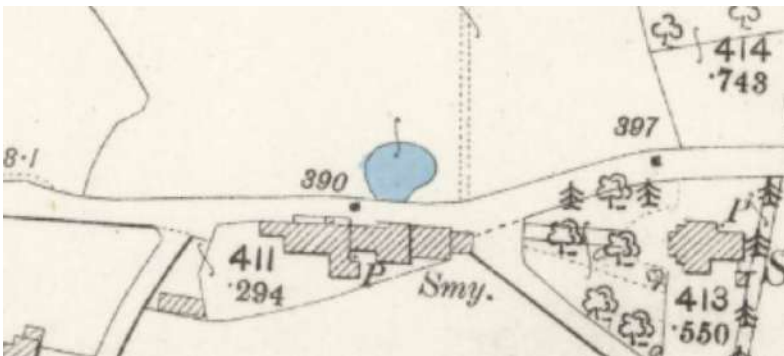
Overall, Ropley Conservation Area's significance lies in its role as a custodian of Ropley's historical and architectural heritage, the preservation of its rural character, and the promotion of sustainable development. It serves as a focal point for community pride, attracting visitors and showcasing the region's unique cultural and natural assets.

Historic Map Development

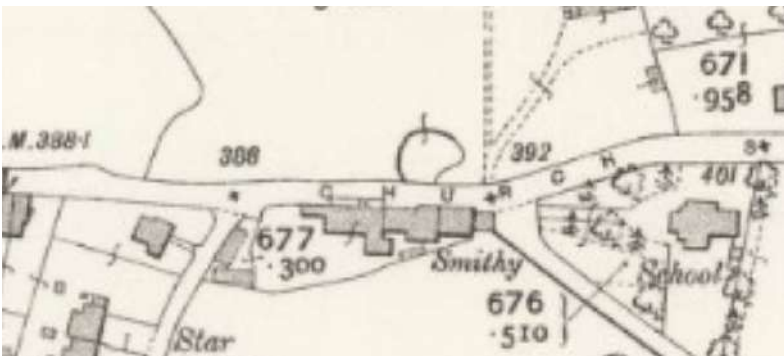
As illustrated by the historic maps below, there has been very little change to the footprint of the property since the 1800s. Although it is evident the property has been extended, these alterations took place prior to these dated maps.



Circa. 1870-1873



Circa. 1895-1896



Circa. 1908



Circa. 1910



Circa. 1930

7. HERITAGE IMPACT ASSESSMENT OF PROPOSED WORKS

Proposed Works

This Heritage Statement covers the proposed works and their associated level of impact upon the Listed Building and Setting. The proposed works can be broadly separated into two categories:

1. *The Barn Restoration and Alteration (Planning & Listed Building Consent)*
2. *Architectural Intervention & Restoration works to the House (Listed Building Consent)*

This statement is supported by a Structural Appraisal Report by BSF Structural & Civil Engineers, along with a full drawing package. The BSF Report (Rev A) details observations made, draws conclusions, and makes recommendations for intervention works.

This Statement outlines the areas of intervention works and assigned impact.

DESCRIPTION OF PROPOSED WORKS AND THEIR EFFECTS ON SIGNIFICANCE

1. Barn Restoration & Conversion

Approach & Objective

The brief for this scheme was to improve the quality and size of the kitchen through utilising underused space. The current kitchen is in urgent need of refurbishment and renovation, alongside general repairs and upkeep that is required throughout the property.

On the west side of the property is an extension which is conjectured to have been constructed during the mid C19 with internal separation dating to the 1960's.

This area was formerly a barn. Half of this extension houses the current kitchen, and the remainder is not in use other than for occasional storage. Areas of this uninhabitable space are falling into disrepair; and the occupants are very keen to restore and make use of the entire existing structure. The two areas are divided by a modern blockwork wall (See Site Photos-Plates).

Given the state of the current kitchen, removing the modern-day block work wall and restoring the barn allows the whole space to be fully utilised as a decent kitchen that would be in proportion to the scale of the property and function for modern living standards.

Works Required & Associated Impact

The barn restoration would require the removal of the existing kitchen and modern partition that currently divides the structure (See Drawing Package). The current ceiling would be removed to create a new vaulted ceiling. The revealing of the ridge collars, represents a heritage gain in providing a greater readability of the historic building over its current boxed in form of the 1960's. As part of the works, a thermal upgrading between the rafters is proposed (methodology set out in the following text)

The scheme seeks permission for the installation of three conservation style roof lights on the South facing roof slope of the barn (See Drawing Package).

The roof lights will not be visible from Church Street and therefore there is no change to the public view of the Listed Building and no change upon the setting and conservation area.

The design, scale and appearance are visually acceptable to the rear setting, where the careful insertion between timber rafters avoids harm to the Listed Building.

There are currently three structural openings along the north (principle) elevation within the barn. Two of these are doors and one is a window. The door to the right (viewed on the plan) would be retained (see proposed drawings). The central window will be replaced with a timber framed obscured slimline 12mm double-glazed window (structural opening will be the same as existing apt from the lower level, this will be raised slightly to accommodate the kitchen counter), and the second door would be removed and replaced with a new door to be fixed shut (See Drawings).

The existing door is in need of replacement, however there is no requirement to keep this as a useable door. In order to reduce the impact on the principal elevation (through removal), the door will appear as a door externally, hence a jib door. There will be minor change from the public view of the front elevation, however, the impact on significance neither detracts or enhances the Listed Building.

The replacement windows are required given the current state of degradation and to improve the quality of the kitchen space. The timber joinery and details will be like for like in material and form (See Drawing Package). Given the house adjoins the road, the replacement slimline 12mm double glazed windows would help reduce the noise from Church Street and the obscured glazing allows light into the space whilst providing privacy. The current windows to be replaced are not of historic merit (see photos) and date from the late C20.

The two windows on the far west elevation of the barn are to be retained fully.

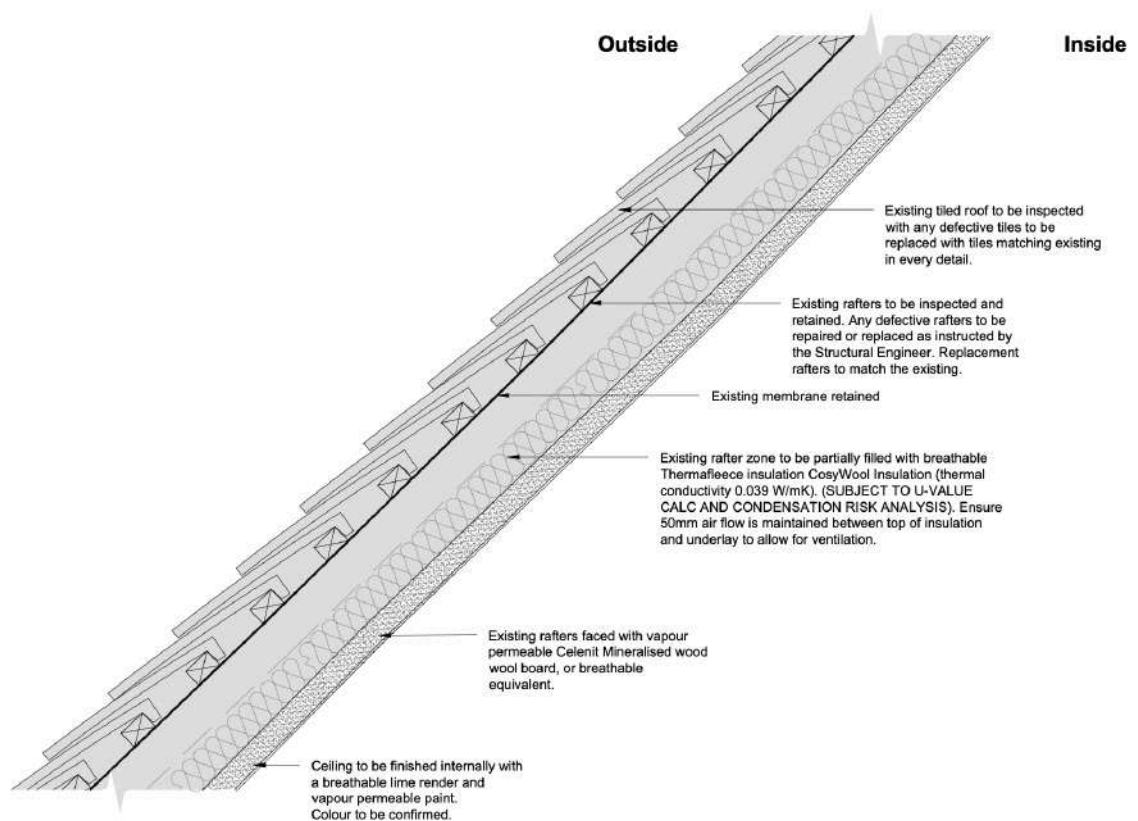
On the south elevation, there are currently three openings. The set of barn style doors are to be removed and replaced with a set of oak framed double doors. The door and window to the right are to be removed and the cill level is to be dropped. The narrow portion of fabric between the two openings is also to be removed to accommodate a set of double doors to match the adjacent set. Although the barn dates to the mid C19 the brick infill in question is identified as dating to the Post

War era as repair works with incorrect cement-based mortar. The minor removal of fabric avoids harm as it is not of high significance and its removal is limited.

The proposed doors will be oak framed where the materials will naturally be respectful to the principal structure. The provision of the two sets of doors greatly improves the connection to the garden and provides further opportunity for natural light and ventilation along with a sensitive visual enhancement to the rear.

Overall, the works to the Barn represent a heritage gain to the structure to secure its long-term viable use restoring, repairing, and better revealing the historic structure to the user.

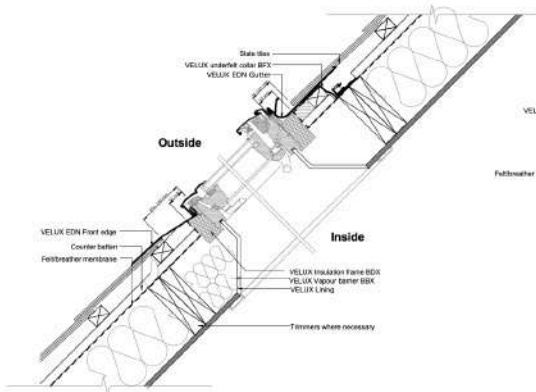
Repair and Thermal Upgrades to the Roof



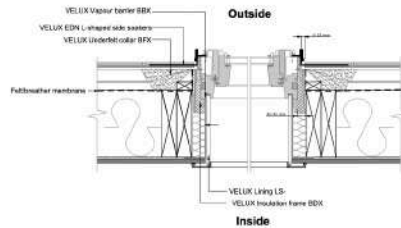
Heritage Impact- Neutral

Like for like Repair- The works neither detracts nor enhances the Listed Building's Significance. Harm can be avoided through careful workmanship and the long-term protection of the Listed Building will be secured. Ventilation will be continued through the use of breathable insulation and cork ensuring any historic timbers are preserved for the long-term use.

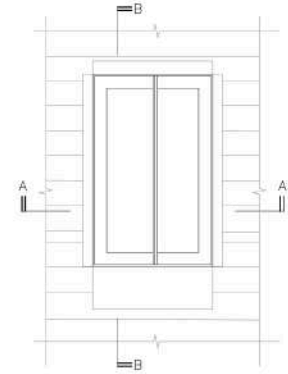
Conservation Rooflights



Proposed Conservation Rooflight Detail Section BB



Proposed Conservation Rooflight Detail Section AA

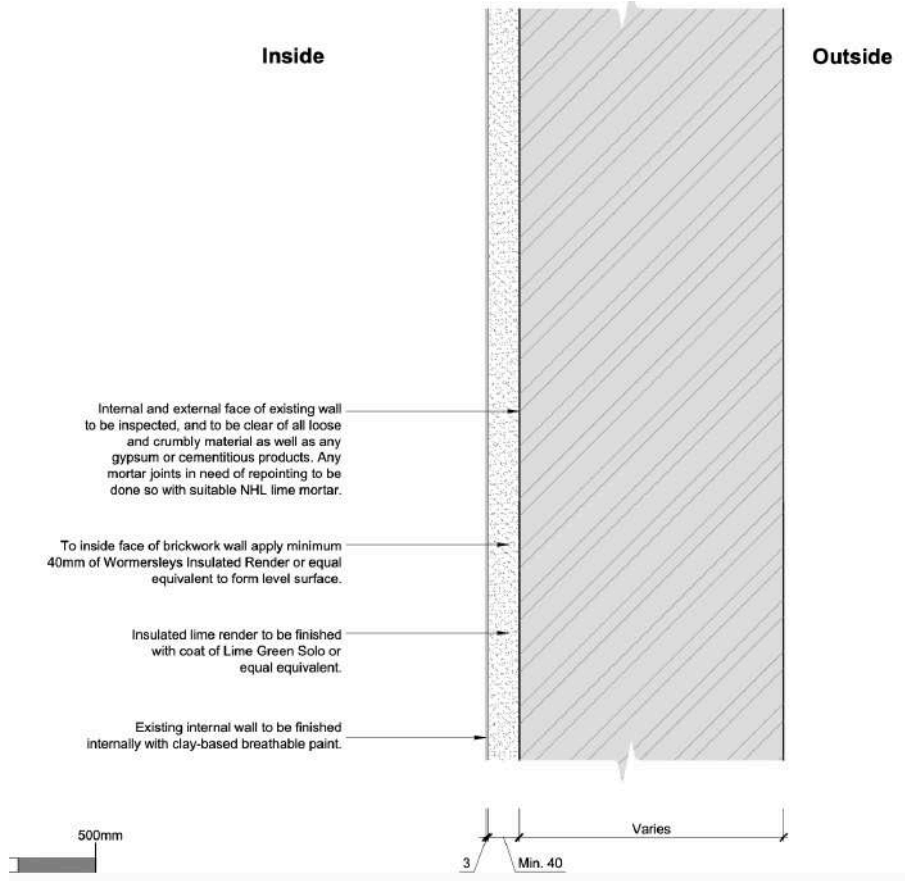


Proposed Conservation Rooflight Detail Typical Elevation (not to scale)

Heritage Impact- Neutral

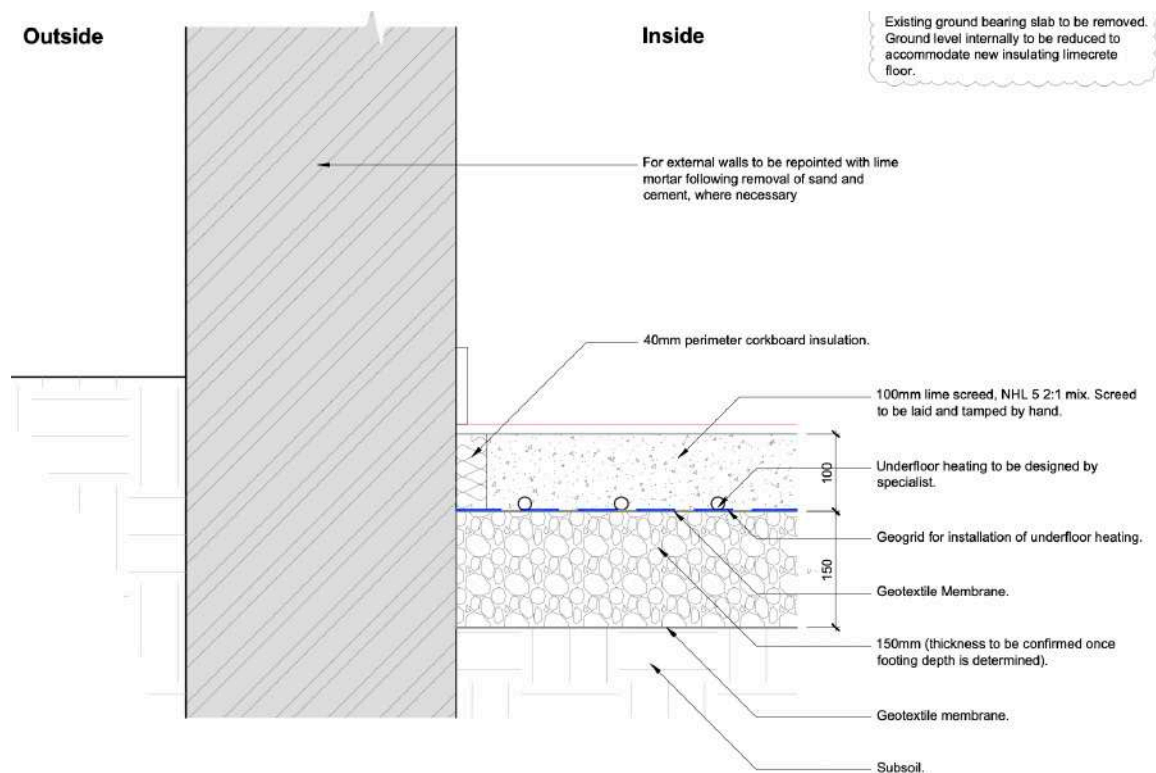
The works neither detracts nor enhances the Listed Building' Significance. Harm can be avoided through careful placement of the conservation windows in-between the rafters. The roof tiles are of later significance as these have been re roofed in the 1990's. The appearance of the conservation windows is narrow and raked in form to minimise the visual appearance. The addition of these windows will allow ventilation and light within the building and there is no change in the public view of the building.

Internal Thermal Upgrade to Walls & Floor



Heritage Impact- Neutral

The internal thermal upgrades to the walls neither detracts nor enhances the Listed Building's Significance. Harm can be avoided through careful workmanship and the long-term protection of the Listed Building will be secured. Ventilation of the brick walls will be continued through the use of breathable lime and render (40mm). The visual appearance will be minor.



Heritage Impact- Neutral

The works to install thermal upgrades to the floor neither detracts nor enhances the Listed Building's Significance. The existing floor is 1960's concrete and of no significance. Ventilation of the brick walls will be continued through the use of breathable lime crete.

2. *Architectural Intervention & Restoration works to the House (Listed Building Consent)*

DESCRIPTION OF PROPOSED WORKS AND THEIR EFFECTS ON SIGNIFICANCE

Please refer to the Structural Appraisal Report by BSF Consulting Engineers Ltd for the full reasons identified for architectural interventions.

The external and internal areas of works have been summarised within the following 12 areas:

1. Review and renew where necessary with adequate rainwater goods to the whole property.

Heritage Impact- Neutral

Like for like Repair- The works neither detracts nor enhances the Listed Building's Significance. Harm can be avoided through careful workmanship and the long-term protection of the Listed Building will be secured.

2. The roof above the kitchen requires new flashing where the slate roof joins the gable wall to the main house, new tile flaunch with cut down lead soakers.

Heritage Impact- Neutral

Like for like Repair- The works neither detracts nor enhances the Listed Building's Significance. Harm can be avoided through careful workmanship and the long-term protection of the Listed Building will be secured.

3. The main roof requires a minor overhaul with new tile flashings around both chimneys, again with cut down lead soakers.

Heritage Impact- Neutral

Like for like Repair- The works neither detracts nor enhances the Listed Building's Significance. Harm can be avoided through careful workmanship and the long-term protection of the Listed Building will be secured.

4. (Eastern Extension of the Forge) The gable wall to the main house adjacent to The Forge, requires the cement rendering to be removed and replaced with lime rendering.

Heritage Impact- Neutral

Like for like Repair- The works neither detracts nor enhances the Listed Building's Significance. Harm can be avoided through careful workmanship and the long-term protection of the Listed Building will be secured through correct lime mortar repairs. Please refer to lime mortar repair detail below.

5. (Eastern Extension of the Forge) The lead soakers where the Forge roof meets the gable wall of the main house are adequate, so the flashing can be formed using expanding metal lath render- stop prior to new lime rendering being applied.

Heritage Impact- Neutral

Like for like Repair- The works neither detracts nor enhances the Listed Building's Significance. Harm can be avoided through careful workmanship and the long-term protection of the Listed Building will be secured.

6. A . (Eastern Extension of the Forge) The roof of The Forge needs an overhaul. Ridge tiles needs to be checked and re- bedded where necessary, the moss needs to be carefully removed, any broken tiles replaced and the eaves to both front and back need to be replaced with a new timber fillet. The tiles should be cut so they fit vertically in the centre of the new guttering. The Roof also requires thermal upgrading with adequate breathable insulation.

Methodology for repair works to the Roof.

Carefully remove all existing tiles fitting and battens from roof elevations. Sort out and salvage those tiles and fittings that are sound and set aside for reuse.

Check condition of exposed timbers.

Cover exposed rafters with Tyvek pro semi permeable roofing membrane to tops of rafters. Breathable membrane to be fixed with a minimum 450mm lap vertically and 150mm lap horizontally.

Install 25mm/38mm into position 25/38mm tanalised roofing battens using 65mm galvanised wire nails.

Reclaimed clay plain tiles to match existing and retile roof elevation. Tiles to fixed using 38mm aluminium alloy nails. All tiles at eaves verges and ridges to be bedded using a mortar ratio of 1 part lime, 1 part cement and 6 parts sand.

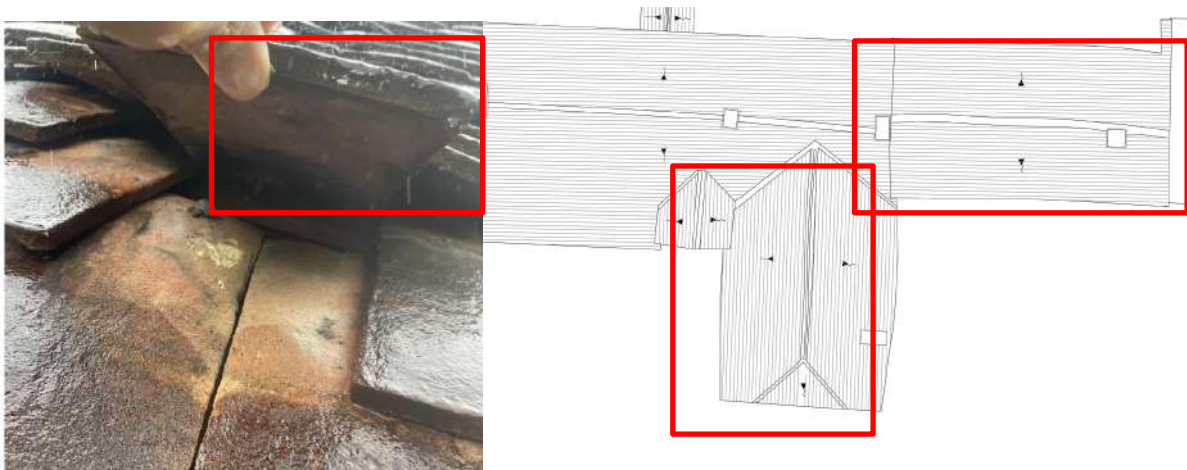
Dress into position code 4/5 lead soakers, aprons and cover flashings to all abutments. Lead to be inserted in lengths not exceeding 1.5m and stepped into brickwork joints not less than 25mm in depth. All leadwork to be treated with patination oil on completion.

Sand to be sharp, well graded, well washed without silt or salt contamination.

Lime putty should be matured for at least 60 days. Preferably lime putty and sand should mature as coarse stuff and fine stuff, which will give a good bond between the putty and the sand grains. Otherwise, the mature lime putty should be well mixed with the appropriate sands and stored as wet plaster with air excluded for a further 30 days minimum before use.

A breathable insulation to be used within the rafters similar to Thermafeece insulation/CosyWool (Thermal conductivity 0.039 W/m2k) or TLX Gold (Thermal conductivity 0.15W/M2k). A 50mm air flow is maintained between top insulation and underlay to allow

ventilation to the historic timber rafters.



Left-Right Peg Tile replaced with iron in the 1960's- The roof structures in red.

Heritage Impact- Neutral

Like for like Repair- The works neither detracts nor enhances the Listed Building's Significance. Harm can be avoided through careful workmanship and the long-term protection of the Listed Building will be secured. Ventilation will be continued through the use of breathable membranes and insulation ensuring any historic timbers are preserved for the long-term use.

- 6 **B** (South Extension Roof) The roof of the southern extension roof needs an overhaul. Ridge tiles needs to be checked and re-bedded where necessary, the moss needs to be carefully removed, any broken tiles replaced and the eaves to both front and back need to be replaced with a new timber fillet. The tiles should be cut so they fit vertically in the centre of the new guttering. The Roof also requires thermal upgrading with adequate breathable insulation.

Heritage Impact- Neutral (As Above)

7. The external wall plate of the rear wall of the forge needs to be removed and replaced with a larger plate or steel, strapped to the inner wall plate which has moved with the timber tie, strapped to arrest any further movement.

Heritage Impact- Neutral

Like for like Repair- The works neither detracts nor enhances the Listed Building's Significance.

It is anticipated a condition of planning will be appropriate for a Repair/Schedule of works for the wall plate to be submitted to the Local Council prior to the commencement of works.

8. The works to the internal fabric of The Forge should consist of propping to the front of the building to temporarily stop the front wall from moving, underpinning of the front of the building to arrest any further movement of the front wall and the wall plate at the rear of the property replaced.

Heritage Impact- Neutral

Like for like Repair- The works neither detracts nor enhances the Listed Building's Significance.

It is anticipated a condition of planning will be appropriate for a Repair/Schedule of works for the intervention to the said wall, to be submitted to the Local Council prior to the commencement of works.

9. The lintel above the window (See Report page 9 issued by BSF) should be replaced with a larger piece of timber, possibly of Oak with the brickwork re-bedded using reclaimed bricks that match in colour and texture, with lime mortar.

Heritage Impact- Neutral

Like for like Repair- The works neither detracts nor enhances the Listed Building's Significance. Harm can be avoided through careful workmanship and the long-term protection of the Listed Building will be secured.

10. The lintel on the other window should also be replaced in the same manner (See Report page 10 issued by BSF).

Heritage Impact- Neutral

Like for like Repair- The works neither detracts nor enhances the Listed Building's Significance. Harm can be avoided through careful workmanship and the long-term protection of the Listed Building will be secured.

11. (Whole Property) Replacement of bricks as well as the repointing with lime mortar where required.

Methodology

The severely damaged bricks should be cut out and replaced with new handmade soft bricks that match the existing ones as closely as possible in size, colour, texture, durability, and hardness. The less eroded bricks should be carefully removed and where possible reversed to hide the decay. Where bricks are weathered but their condition could be determined as satisfactory, they should be left intact, and their condition carefully documented and monitored. In case there are bricks damaged while raking out the cement mortar.

The existing brickwork needs repointing. The existing mortar should be raked out to a depth at least twice the width of the joint; with the back of the cleared joint left as square as is practicable. To avoid damage to the bricks, the mortar should be raked out using appropriate hand tools - no powered tools such as a grinder may be used. All loose material from joints should be brushed away. The masonry must be thoroughly dampened with a hosepipe with a spray nozzle or a pump-action water sprayer, before placing the mortar. The mortar is to be 1:3 mix NHL 2.0 : sharp washed local sand. Water to be added to desired consistency. Pigments to be added, if necessary, in order to match colour of the historic brickwork joints. Work should start after a sample patch is considered acceptable by architects.

The mortar should be packed firmly into the joint using a pointing iron after all the loose material has been flushed out and the joint wetted first to reduce suction. The inside surfaces of the joint need to be damp but not wet. Joints need to be thoroughly filled from the back and compacted to avoid voids and be built up in layers of around 25mm deep. The joint should be filled slightly proud of the intended finished level to allow for slight shrinkage and compaction of the mortar as it firms up. Any mortar that is smeared on the masonry should be sponged off with clean water before it has dried. The joints should be finished by hitting the mortar with a bristle churn brush with a firm pushing action. It is important that the mortar is sufficiently set before this action otherwise the brush will leave a series of pin-holes in the mortar. Once the re-pointing is underway it has to be protected to avoid damage or rapid drying.

Ventilated covers (multiple layers of hessian, thick blankets or carpet underlay could be used) must be placed and regular mist spraying may be needed to maintain damp conditions as the mortar starts to set. Additional plastic sheeting or tarpaulins draped in front of the hessian covers may also be needed if it is very windy or there is driving rain.

Impact- Heritage Gain- Harm is avoided through careful workmanship.

12. (Southern Extension) The crack in the rear wall, externally, requires repointing with lime mortar. Internally, three Helifix bars to be installed across the crack at a height of approximately 500mm, 1000mm and 1500mm above floor level in the mortar joints. The guttering above requires adjustment to stop any overflow.

Impact- Heritage Gain- Harm is avoided through careful workmanship.

8. CONCLUSION

This Built Heritage Statement meets the requirements of paragraph 189 of the NPPF and is sufficient to inform the current application. This professional report describes the significance of the Listed building along with the identified parts of the heritage asset that are affected by works and the associated level of impact.

It has been demonstrated that the proposed works has the potential to impact on the Grade II listed building, by virtue of alteration to the asset and through change within the rear of the setting.

It has been identified the internal works and alterations to the barn are minor, sympathetic in form and visually acceptable to the Listed Building and setting. There is no physical change and view from the public to the Listed building.

The repair and restoration works identified by the supplementary Structural Appraisal Report (BSF) has identified several areas of urgent repairs. Within these areas, the removal of minor sections within the works to facilitate repair is considered low in detriment and limited. This is justified to make way for the much-needed long term protection of the site. The overarching conclusion is that the works are minor in scale and that the majority of the works can, with care, be achieved with a neutral impact upon the significance of the Listed Building. Requirements and intervention informed through the understanding of the historic significance.

Overall, there are clear public benefits to secure the long-term functionality of the Listed Building, where the works will safeguard the site in support of its future and continued optimum use as supported by Local Plan Policy CP30. The proposed works to the Forge will safeguard lost and eroding Architectural features of interest.

9.SITE PHOTOGRAPHS- PLATES



Left side of principle elevation - The Forge



Principle elevation



Right side of principle elevation - The Barn



West side elevation - The Barn



South elevation - barn doors to be replaced with double doors



South elevation - The barn joining the main house



South elevation - The barn door and window to be removed and replaced with double doors

SITE PHOTOGRAPHS



Principle elevation



Interior Roof in the barn

10. REFERENCES

D. Phillips	Listed Building Survey 2 2016
R. W., Brunskill,	Houses and Cottages of Britain, 2000.
S. Goddard	BSF Consulting Engineers Ltd
East Hampshire Council	Core Strategy 2020 East Hampshire Core Strategy (2020)
H. M. Government	National Planning Policy Framework (July 2021) and Planning Practice Guidance (July 2019)
Historic England	GPA2: Managing Significance in Decision-Taking in the Historic Environment (March 2015) GPA3: The Setting of Heritage Assets (Second Edition; December 2017) HEAN2: Making Changes to Heritage Assets (February 2016) HEAN10: Listed Buildings and Curtilage (February 2018) HEAN12: Statements of Heritage Significance: Analysing Significance in Heritage Assets (October 2019)



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