

Our Ref: 230747/KP/gg

Enquiries to

Mobile:

Email:

22 March 2023

Mr N Lambert
St Peter's Cottage
57- 61 Main Street
Aldwinckle
NN14 3EL

by email only: nick.lambert@sky.com

Dear Mr Lambert

Re: ST PETER'S COTTAGE, 57- 61 MAIN STREET, ALDWINCLE NN14 3EL

Further to your recent instruction we confirm that our Mr Ken Porter visited the above property on the morning of Tuesday 14 March 2023, in order to carry out a visual inspection of the property with specific regard to items detailed in your email dated 7 March and as highlighted in the valuation report attached thereto.

This report is based on a visual inspection only with no opening up or exploratory works carried out within the property and is limited to the nature of instruction as stated in the Consultant's Appointment.

1.0 BACKGROUND INFORMATION

- 1.1 St Peter's Cottage comprises a row of three former cottages (57, 59 & 61 Main Street), which have previously been altered internally and combined into a single residence.
- 1.2 The main range of the three cottages is aligned Northwest to Southeast and faces directly onto Main Street, Aldwinckle. (Photo 1).
- 1.3 To the right-hand end of the property, formerly No 61, a rear wing extends perpendicular to the main range.
- 1.4 Similarly, at the junction between the former cottage 57 & 59 an extension links the main building to a former outbuilding which now contains kitchen and boiler room.

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2.0 EXTERNAL OBSERVATIONS

- 2.1 The three former cottages are of similar construction consisting of pitched Collyweston tiled roof over stonework masonry walls.
- 2.2 We understand that the building is approximately 300 years old though the three cottages were clearly built at separate times as evidenced by variation in stonework coursing, quoins, lintels etc.
- 2.3 Viewed from the roadside, and from left to right, the roof over No 57 appeared in very good condition with no obvious sag in either ridge line or the plain of the roof. (Photo 2).
- 2.4 The front elevation stonework was also found to be in good order, with no signs of significant movement or disruption to cause major concern, though it is worthy of mention that the rainwater gutter above this section appears to be defective and is causing severe staining to the stonework and deterioration of timber windows (Photo 3).
- 2.5 The south gable is constructed of relatively modern brickwork which exhibits no signs of movement or disruption, though the presence of ivy both alive and dead was noted.
- 2.6 The chimney above displayed severe weathering to the northerly facing brickwork.
- 2.7 The roof over No 59 exhibited slight undulations to both ridge and plane, together with evidence of historic repairs generally located close to the ridge and the chimneys at either end of this section. (Photo 4).
- 2.8 Chimneys were again constructed of brickwork but, though clearly significant older than that at the south gable, these appeared less damaged by weathering.
- 2.9 With the exception of a small area of minor disruption to the top left of the elevation, the stonework masonry appears in very good condition with no evidence of significant movement.
- 2.10 The disruption noted above has the appearance of impact damage and may perhaps have been caused during previous works to the roof.
- 2.11 The roof over No 61 displays more obvious sagging along the ridge and throughout the plane. Appearing to worsen towards the right-hand end. (Photo 5).

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2.0 EXTERNAL OBSERVATIONS Cont'd.../

- 2.12 Towards the right-hand end the ridge tiles exhibit signs of severe weathering and there is a large patch repair to the roof slates in the same area, together with the worst of the undulation of the roof.
- 2.13 The repair is clearly of some age and from ground level no subsequent disruption could be seen to suggest any significant further movement.
- 2.14 The chimney to the far-right end of the property, also of brickwork, was showing signs of weathering as well as some historical repointing.
- 2.15 As elsewhere the stonework was found to be in good condition with the exception of that below the area of defective guttering where, again, this is causing accelerated weathering and deterioration. (Photo 5).
- 2.16 It was noted that this has caused cracking within the stonework between ground and first floor windows due to the failure of the timber lintel.
- 2.17 The North gable (Photo 6) stonework exhibits minor cracking and many historic phases of repointing throughout.
- 2.18 The elevation contains three windows but, given the workmanship around the window reveals, the presence of precast lintels and the North facing orientation, it seems highly unlikely that any of these are an original feature.
- 2.19 We understand that the bottom left-hand corner was struck by a vehicle in the past and this seems consistent with the localised repointing here.
- 2.20 The nature of existing cracking is not indicative of foundation movement, but rather a combination of weather and use of incompatible mortars associated with historic repairs and modifications. (Photo 7).
- 2.21 Rearward of the north gable is the side wall of a former barn. As elsewhere, the roof appears to be in adequate condition with no signs of significant damage or disruption to cause major concern. (Photo 8).
- 2.22 It should be noted that this section of roof has no gutter at eaves and that this is causing accelerated weathering to the masonry below, particularly at ground level. (Photo 9).
- 2.23 Viewed again from ground level at the rear of the property, (see Photos 10 to 15) roofs and stonework were in similar condition to those viewed at the front in that they were generally free of significant damage/disruption to cause major concern, with the exception of the following.

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2.0 EXTERNAL OBSERVATIONS Cont'd.../

- 2.24 The rearward barn roof exhibited historic repairs, similar to elsewhere, as well as a slipped tile and defective gutter. (Photo 10).
- 2.25 The roof over No 61 displayed less disruption than on the front elevation, probably due to the stabilizing effect of the subsidiary roof over the adjoining barn. (Photo 11).
- 2.26 This section of roof was of slightly steeper pitch to the adjoining roof. It appears that the front elevation eaves were lifted at some point in the past to match that of No 59, but not the rear. (Though it does appear that the first-floor masonry on this rear elevation has been re-built at some point.
- 2.27 The pantile covered roofs over the link and kitchen (Photos 13 & 15) display severe sagging in both ridge and plane.
- 2.28 The link appears to have been constructed beneath an existing pantile roof, originally supported at its rearward end on a gabled stone wall with infill brickwork back towards the main building. There is a slight suggestion here of downward movement of the original stonework. (Photo 13).
- 2.29 Elsewhere, felted flat roofs cover the remainder of the link.

3.0 INTERNAL OBSERVATIONS

- 3.1 Where possible we were able to carry out a head and shoulder inspection inside the roof spaces. This was restricted to No 59 & 61 as within No 67 the large part of the roof is vaulted over the master bedroom and clear to view. (Photo 16).
- 3.2 The roof over No 57 appears to be supported off a central truss, though we would normally expect to see accompanying purlins and ridge beam which may be hidden beyond ceiling finishes. (Photo 16).
- 3.3 There is slight disruption to plastered finishes at rafter feet, but this is considered to be a result of thermal and moisture effects rather than indicative of a significant structural issue. (Photo 17).
- 3.4 Access was gained to the roof space over No 59 by means of a small hatch above the hallway.

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3.0 INTERNAL OBSERVATIONS Cont'd.../

- 3.5 This revealed the presence of rafters supported off purlins which in turn rested on blockwork piers built on the load bearing walls below. A support platform for water tanks was provided to the left of the hatch (see Photo 18),
- 3.6 All timber appeared in good condition and the roof benefited from a relatively modern sarking felt (Photo 19) though daylight could be seen to one or two tears therein.
- 3.7 Ceilings throughout appeared in satisfactory condition for a property of this age with no significant signs of disruption to cause concern.
- 3.8 Such disruption was limited to undulations where original ceilings have been lined or thermal effects have caused hairline cracking or lining paper to detach at joints.
- 3.9 A small stain in the front left corner was indicative of a minor leak in the roof above.
- 3.10 A further loft hatch above the bathroom of No 61 provided access into this section of roof (Photos 20 & 21).
- 3.11 Viewed from the inside this revealed significant amounts of daylight entering through the roof covering throughout, though mainly from the rear slope.
- 3.12 The entire roof benefited from strengthening in the form of additional rafters alongside original rafters and at the Northerly end a number of bracing members were also in evidence.
- 3.13 There was a marked absence of pegs/nails securing the slates to the tile lathes throughout.
- 3.14 First floor ceilings within No 61 were in surprising, good condition given the likelihood of water ingress through the roof covering above.
- 3.15 As elsewhere there was no significant damage or disruption to indicate major structural issue. (Photo 22).
- 3.16 Worthy of note is a large distortion of the doorframe in the hallway at the partition between the stairs and the bathroom, where the internal wall appears to have dropped significantly.

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3.0 INTERNAL OBSERVATIONS Cont'd.../

- 3.17 To the side of this opening is a tear in the finishes (Photo 23). This tear is not reflected in the door frame, or its gloss paint and it appears that this tear has been caused by a combination of thermal/moisture shrinkage and the presence of timber substrate adjacent to masonry and not indicative of structural movement.
- 3.18 The original distortion was most likely a result of historic alterations to the building.
- 3.19 At ground level, the majority of the main range appears to be in satisfactory condition with no obvious signs of damage or disruption.
- 3.20 Within No 61, the ground floor accommodation is in relatively poor condition and in need of general refurbishment in order to bring it up to modern standards. (Photo 24).
- 3.21 In spite of this, and the likelihood of the presence of rising damp, there were no obvious structural issues in evidence.
- 3.22 Passing through the main range into the attached barn, this has been converted into habitable accommodation at some point in the past by means of a relatively modern suspended ceiling.
- 3.23 Above this and viewed through a hatch is the original roof which comprises of common rafters and purlins. This roof is likely under-strength and would benefit from the installation of additional ties at eaves level to prevent potential roof spread. (Photo 25).
- 3.24 At the junction between the barn and the main range, a large crack is visible though this is clearly historic in nature, and not reflected internally, it would benefit from suitable restraining strapping to adequately tie the two leaves together. (Photo 26).
- 3.25 The link and kitchen/boiler house exhibit signs of minor movement particularly at the corner noted externally.
- 3.26 The original parts of these former outbuildings are likely to benefit from little or no significant foundation and hence will probably be prone to seasonal movement, but at present the effects are small and do not appear progressive.

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4.0 CONCLUSIONS AND RECOMMENDATIONS

- 4.1 St Peter's Cottage was found to be generally in adequate structural condition throughout.
- 4.2 Whilst the relative condition appeared to worsen left to right, probably as a result of historic interventions we are satisfied that the roofs throughout are adequately supported and currently stable.
- 4.3 The only section of significant future concern is that over No 61 where there is a potential for water ingress which might lead to further dilapidation.
- 4.4 Hence it would be prudent to strip and replace the roof covering here in the short to medium term in order to forestall future problems.
- 4.5 At the same time the opportunity should be taken to inspect the timber structure exposed by the work to ensure its good condition and treat/replace if necessary.
- 4.6 Externally walls are in good condition throughout with no significant signs of movement or disruption with the exception of those areas being affected by weathering.
- 4.7 We recommend that as part of any roof works in the future, the rainwater gutters be overhauled to ensure that they are running freely to the relevant downpipe.
- 4.8 The timber lintel over the ground floor front window of No 61 will need to be replaced and the associated cracking above repointed.
- 4.9 The cracking to the North gable should be repointed, to prevent further damage due to weathering, as should the North and South chimneys and the small area of stonework at the top left corner of the front elevation No 59.
- 4.10 Restraint straps should be installed on the crack between the barn and the main body of No 61 in order to restore connectivity.
- 4.11 It should be noted that this repointing exercise is regarded as a preventive measure and is not indicative of structural issues.
- 4.12 It should also be noted that this work should be carried out by an experienced stone mason using the correct, sympathetic mortar, failure to do so previously is the likely cause of most of the current cracking.
- 4.13 Consideration should be given to providing the attached barn with appropriate guttering to transport water effectively away from the building. Again, this will mitigate against further disruption to the stonework.

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4.0 CONCLUSIONS AND RECOMMENDATIONS Cont'd.../

- 4.14 With regard to the linked outbuildings, it is likely that these are prone to seasonal movement due to inadequate foundations.
- 4.15 It should be noted that all buildings move to some degree and that this is not necessary indicative of significant structural problems, most commonly leading to minor cracking.
- 4.16 In our view the cracking noted here would not warrant underpinning the building and indeed it is likely that it would be more cost effective to demolish the outbuilding and replace if required.

We trust the above meets with your approval, however, should you wish to discuss matters further, please do not hesitate to contact the writer.

Yours sincerely

GATELEY SMITHERS PURSLOW



KEN PORTER BEng (Hons) CEng MIStructE
Director - Chartered Engineer

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PHOTOGRAPHIC PLATES



Plate 1. General View of St Peter's Cottage



Plate 2. Roof over No.57

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Plate 3. Deterioration due to defective gutter.



Plate 4. General View of No.59

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Plate 5. General View of No.61



Plate 6. View of North Gable

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Plate 7. Typical condition of North gable.



Plate 8. Barn attached rearward of North gable.



Plate 9. Accelerated weathering due to lack of gutter above



Plate 10. Former barn rearward of North gable

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Plate 11. Rear elevation of No. 61



Plate 12. Rear elevation of No. 59

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Plate 13. Rear link to kitchen



Plate 14. Rear elevation No. 57.

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Plate 15. Roof over kitchen (former stable)



Plate 16. Roof over No.57

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Plate 17. Minor disruption at wall plate.



Plate 18. Roof over No. 59

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Plate 19. View of sarking felt.



Plate 20. Roof space over No. 61.

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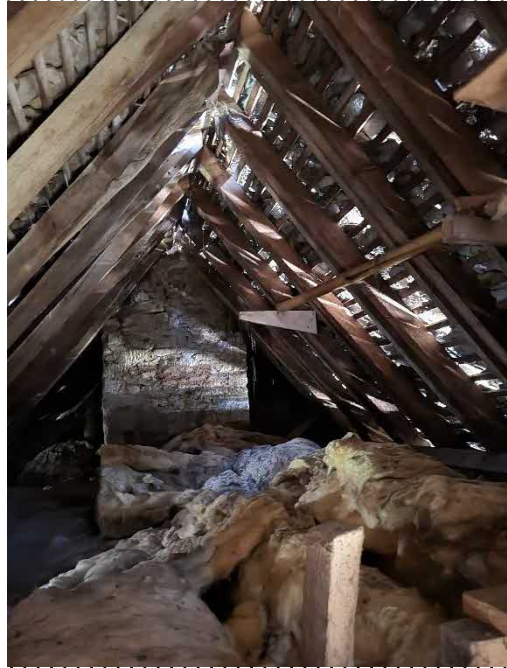


Plate 21. Roof space over No. 61.



Plate 22. Typical view of No.61 1st floor finishes.

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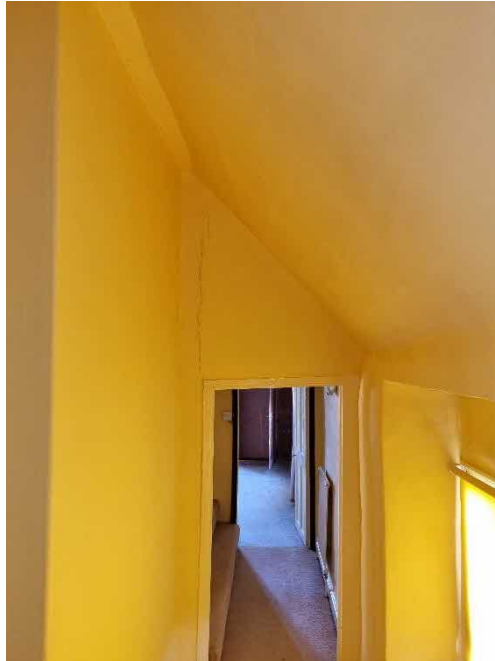


Plate 23. Tear at junction.



Plate 24. Typical view in No.61 Ground floor.

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Plate 25. Barn roof.



Plate 26. Historic crack

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Plate 27. Minor movement within link.