

# Heritage, Design & Access Statement

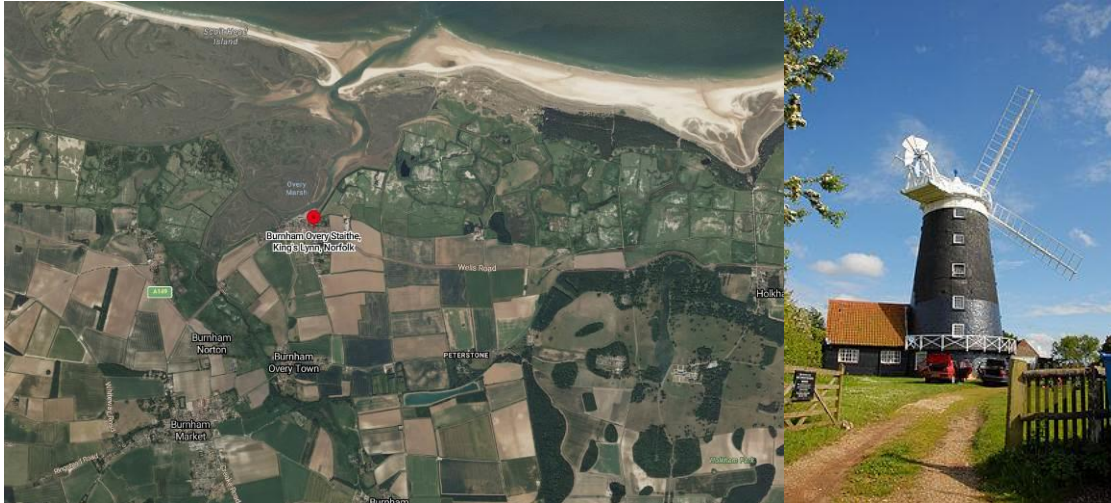
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Proposed Extension & Alterations

2 Post Mill Cottage, New Road, Burnham Overy Staithe,  
Norfolk, PE31 8JD

Mr & Mrs Ashby

## Introduction



**Above: Aerial Map of the area showing the seven Burnhams, Burnham Overy Windmill**

The site is located in Burnham Overy Staithe; one of a cluster of similarly name towns and hamlets known as 'The Seven Burnhams' which share a nebulous connection due to the route of the river Burn.

The hamlet itself is not well served for amenities, and services such as schools, surgery, churches and shops for locals are mainly to be found in nearby Burnham Market. Although there are some small cafes and a highly regarded restaurant, the ferry and harbour are the main commercial focus of the town.

There is a large playground which used to be attached to a school that closed in 1967 that the site overlooks on the East, which is now the village hall.

There are an eclectic mix of styles in the area which include late Georgian built residences and smaller cottages. More recently, several large contemporary houses have been built to high architectural standard to the outskirts. The materials of the area are predominantly brick, flint and chalk with timber cladding, and clay pantile roofs.

To the east of Burnham Overy Staithe, the former salt marshes between dry land and the sand dunes have been reclaimed to form fresh water meadows, part of the Holkham estate which includes the nearest listed building. A 2.4 km long footpath links Burnham Overy Staithe to the sand-dunes and beach, running along the crest of the embankment which protects these water meadows from the creek.

Just outside the village centre are the stunning six storey Burnham Overy Windmill and neighbouring watermill. Today, Burnham Overy Staithe, and the associated harbour, is a recreational sailing centre. It is also the point of departure for seasonal ferries to the Scolt Head Island National Nature Reserve.

## Site History



Burnham Overy Staithe is a coastal hamlet which grew along the waters edge in a roughly linear fashion. It's industrial development peaked in the mid to late 18th century sustaining into the mid-20th century, and then turned to tourism and agriculture.

Its name comes from the Old English for 'Homestead by a stream across the river'. The parish has been in existence for a long while, and was certainly well established by the time of the Norman Conquest, its ownership, population and productive resources being listed in the Domesday Book of 1086. Aerial photography has also identified cropmarks of a Roman settlement or farmstead east of Burnham Overy Staithe. Being on the coast, the parish has in the past been included in defensive strategies at times of conflict particularly during the Napoleonic and Second World War.

Historically, Burnham Overy which lies on the River Burn, was the port for the surrounding villages of the Burnhams. Until the end of the middle ages, trading ships were able to reach that village, however with silting of the river, commercial traffic switched to the downstream Staithe. Burnham Overy Staithe then became a key location for taking the agricultural produce of Norfolk to London, after first processing the corn and barley in mills, granaries and maltings in the area.

The site at Post Mill Cottages is a remainder of that agricultural history; a row of cottages tied to a corn mill which operated nearby off New Road (also known as Mill Road) until 1888. The site is part of a ribbon development along New Road, and are some of the oldest cottages in the hamlet. The tithe map from 1800 and first edition mapping on page 5 (1879- 1886) shows the corn windmill still in use.

### Tithe map from mid-nineteenth century:



### First edition OS mapping below:



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With the coming of the railway to the Burnhams in 1866, commercial shipping declined and the last cargo is believed to have been shipped from the Staithe soon after the end of the First World War, the station was then closed in 1952.

1988 shows a significant tourism influx into the area, with caravan parks appearing and then developing into static accommodation.

### RAF aerial photo from C.1947:

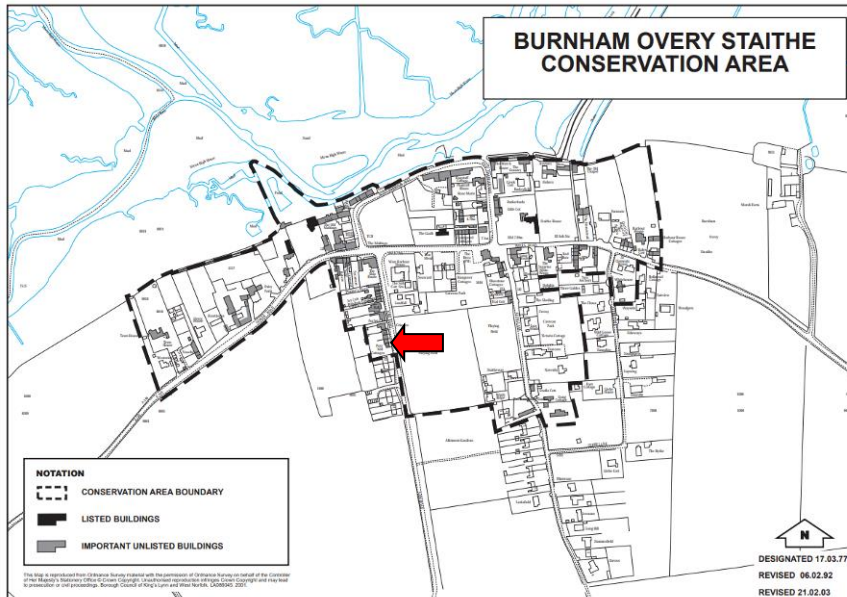


### NCC aerial photo from 1988:



The site falls on the boundary of the Local Authority's conservation area, as depicted below.

**Conservation area map:**



The local conservation policies seek to preserve the character and appearance of the conservation areas and reduce the overall impact on any listed or historical buildings within the immediate vicinity.

**Flood risk map:**

The Site is identified on the Environment Agency indicative flood risk map as being located within Flood Zone 1 and as such is not at risk of flooding.



**Location**

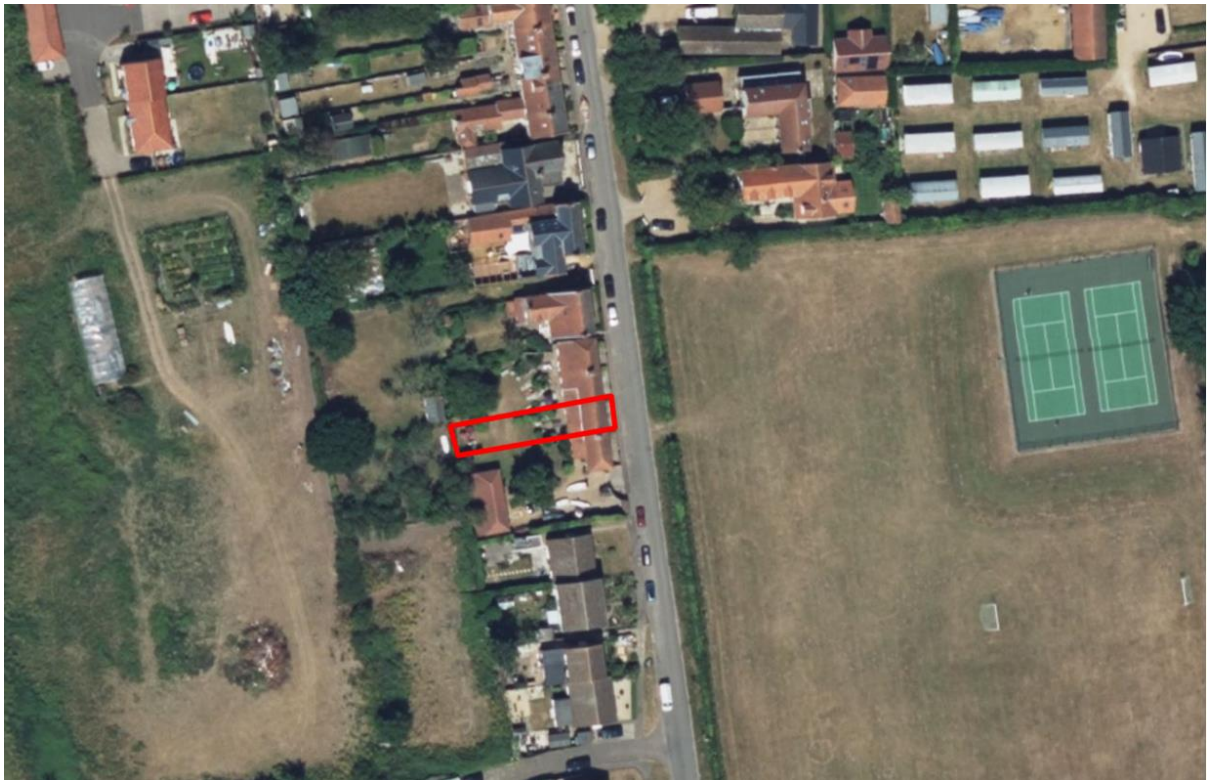
2 POST MILL COTTAGE

**County**  
Norfolk

**District**  
Kings Lynn & West Norfolk

**District Type**  
District Authority

**Parish**  
Burnham Overy  
Parish Council



## Existing Building



The sites' boundary to the west is agricultural, and the road and access is from New Road to the West. The property is constructed of brick and Chalk block dating from the 1800s, presumably workers accommodation from the local corn windmill and referenced in the name (Post Mill).





The house was renovated by the owner's father and is commemorated in a plaque on the wall of the front of the terrace, the row of houses were then shared within the family.



### **Brief**

The brief is to provide an extension which provides enlarged living accommodation including an open plan Living/Dining/Kitchen and better proportioned bedrooms.

Consideration is to be given for improvements to the fabric of the extension from a sustainability perspective, and of a design which is sympathetic to the Conservation Area, surrounding buildings and site features.

### **Design**

It is considered that the additional accommodation may be provided by a modest two-storey rear extension which complements the existing fabric and context whilst clearly being of their own time helping to identify the evolution of the dwelling.

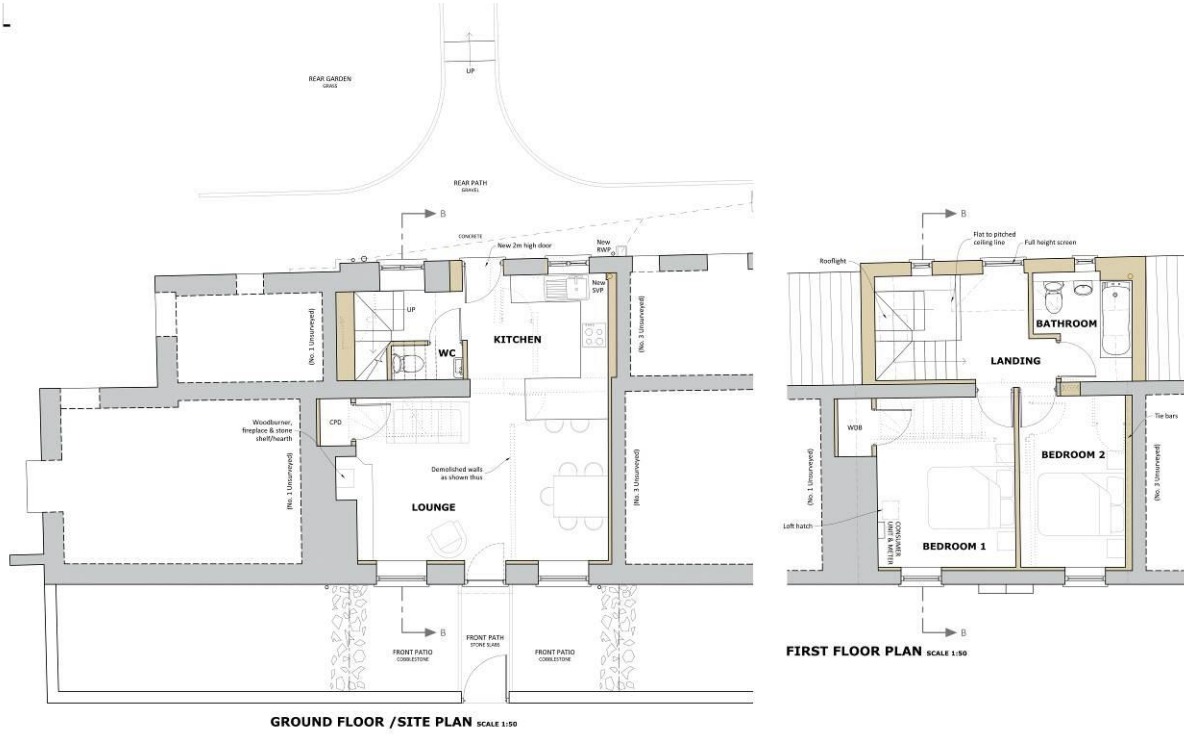
The two gables are in keeping with the proportions of the terrace and keep the bulk subservient. The footprint will be preserved and the front elevation will be unchanged.

The design, whilst of a moderately contemporary appearance, is in keeping with the character of the neighbouring properties and existing building.

The new central door will be of a more useable height, and one existing window on the rear is to be made larger.

The materials are as existing on the ground floor; brick with chalk infill, and new horizontal timber cladding above. The glazed central opening will bring light into the core of the building and stairs. The internal accommodation although still small in scale, will feel lighter and more open, with the stair being moved to the outside wall.

Proposed Floor Plans



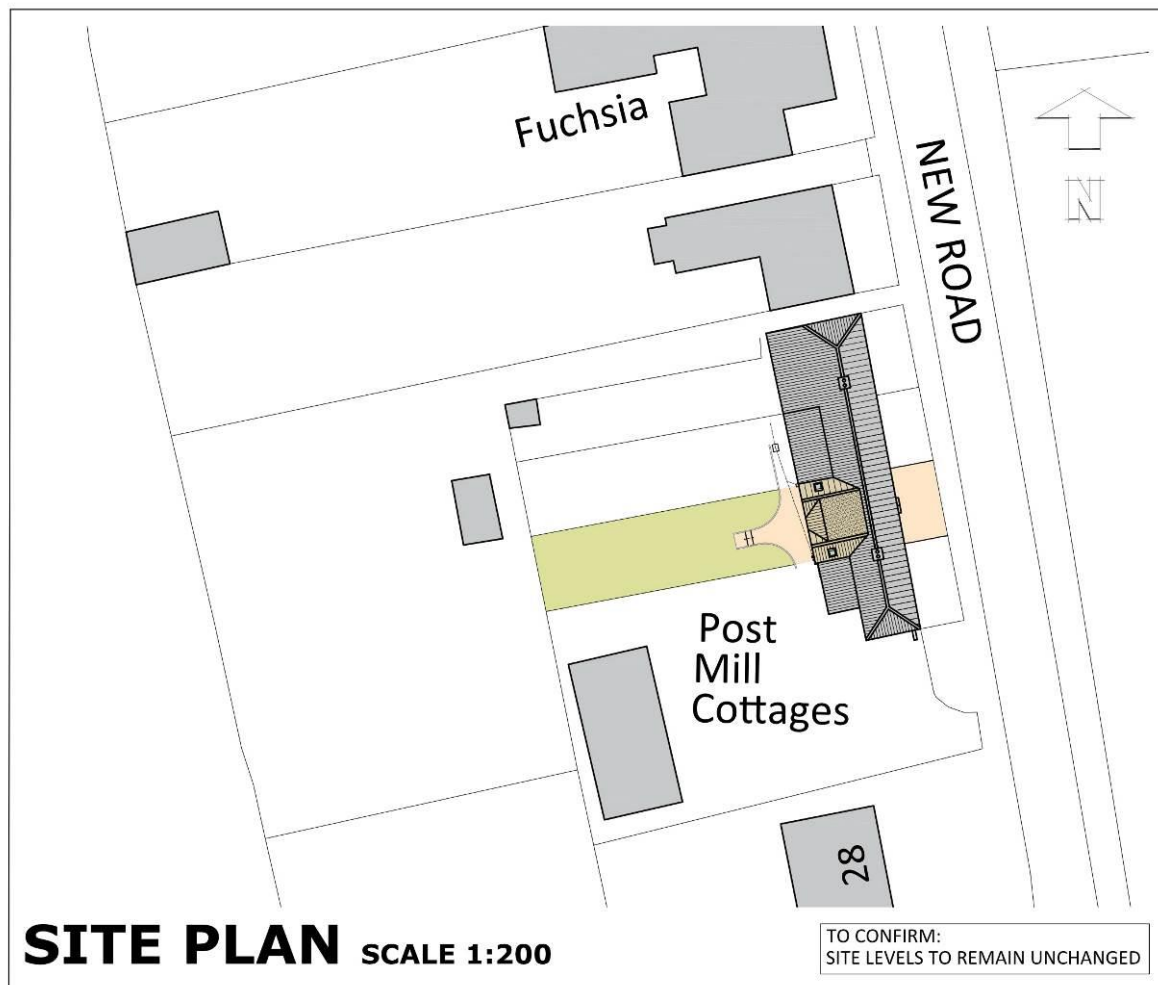
Proposed Elevations



**Access**

The existing pedestrian access is retained to the existing dwelling, and parking arrangements are as existing.

**Proposed Site Plan**



**Conclusion**

The perceived benefits of the proposed development are as follows:

- The design is of an appropriate scale and character to neighbouring properties and to the Conservation Area
- The design, whilst of a contemporary appearance, is in keeping with the character of the neighbouring properties and existing building on site

**Void Architecture**

07 September 2023

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