



CONSTRUCTION ENVIRONMENTAL MANAGEMENT PLAN

Barcham Trees Visitor Centre, Eye Hill Drove, Soham

On behalf of Barcham Trees Plc

SEPTEMBER 2023

Table of Contents

1	INTRODUCTION	1
2	CEMP.....	Error! Bookmark not defined.
3	CONCLUSION.....	13

Appendices

Appendix A: Site Location Plan

Appendix B: Proposed Construction Layout

Appendix C: Conceptual Drainage Layout

1 INTRODUCTION

- 1.1 This Construction Environmental Management Plan (CEMP) has been prepared by a Ceres Property in consultation with John Meredith, the appointed ground works contractor for the project, on behalf of Barcham Trees Plc.
- 1.2 It has been prepared in order to seek a partial discharge of planning condition 4 attached to the decision notice for planning application reference 22/00827/FUM, in order to allow the preliminary ground works to be commenced on site, prior to the appointment of the main project building contractor.

The Site

- 1.3 The site is located on the north-western side of Eye Hill Drove and comprises the former Eye Hill Engineering workshop and its associated yard. The arboretum lies to the north-west and wraps around the rear of the neighbouring properties in Eye Hill Drove and extends along A142 to the West. It is connected to the existing Barcham Trees dispatch yard and buildings which lie to the east and have established access from Eye Hill Drove, designed to accommodate visitors, staff and commercial traffic. Site plans can be found in the appendices.

Background

- 1.4 In January 2018, planning permission was originally granted to enable Barcham Trees to create a new 20-acre arboretum, with a new build visitor centre on part of their existing commercial site at Eye Hill Drove, Ely. This permission was not implemented, and subsequently planning permission was granted under application reference 19/00658/FUM for the engineering works to create the new arboretum only, which included a lake, bunds and full landscaping details. This permission has now substantially been implemented with the re-contouring of the site, the lake and a significant proportion of tree planting having been completed. Further works associated with arboretum establishment are ongoing in preparation for it be opened to the public when the new visitor centre is completed on the adjoining, former Eye Hill Engineering site.
- 1.5 On 24th of July 2023, planning permission was granted for the following development:

Change of use and extension of former engineering workshop to create a new visitor centre with a cafe, restaurant and retail facilities, car parking, new highway access arrangements and public access to arboretum.

- 1.6 The planning permission was subject to planning conditions, a number of which are pre-commencement. Planning condition 4 requires:
- Prior to any work commencing on the site a Construction Environmental Management Plan (CEMP) shall be submitted to and agreed in writing with the Local Planning Authority regarding mitigation measures for noise, dust and lighting during the construction phase. These shall include, but not be limited to, other aspects such as access points for deliveries and site vehicles, and proposed phasing/timescales of development etc. The CEMP shall be adhered to at all times during all phases.*
- 1.7 While the main contractor responsible for the conversion of the former engineering workshop and works associated with delivery of the visitor centre is yet to be appointed, it is necessary to commence ground works, in particular those works which relate to the surface water drainage strategy. The intention is for these works to be carried out later this year so that the site is ready for the main contractor to commence work in March 2024 with the drainage infrastructure in place. A copy of the approved surface water drainage strategy can be found at Appendix C.
- 1.8 John Meredith, the groundwork contractor is the same contractor who undertook and will complete the ground works for the arboretum. The majority of the plant and equipment which will be used is already on site.
- 1.9 The former engineering workshop site will not be accessed directly from Eye Hill Drove, the frontage fencing will be retained, and gates will remain closed. At this stage, all access to the site will be from Barcham Trees commercial site and through the arboretum.
- 1.10 Condition 3 requires the submission of an Arboricultural Method Statement. Tree protection measures will be installed in accordance with the recommendations before any works commence.
- 1.11 Accordingly, this document and supporting information is submitted in order to secure a partial discharge of planning condition 4 to allow the preliminary ground works associated with the surface water drainage strategy to be undertaken. A further CEMP will be submitted by the appointed main contractor ahead of them commencing work on site next year.

2 CEMP

	Issue	Action
1.3	Development Site Address: Barcham Trees, Eyes Hill Drove, Ely, Cambridge, CB7 5ZF	
1.3.1	Please provide a plan of the proposed development site with any nearby sensitive receptors marked accordingly (e.g., residential dwellings including care homes, nurseries and schools, businesses)	Plans attached at Appendix A & B. There are residential properties either side of the former engineering workshop site. There are also residential properties to the east at Eye Hill Farm and beyond.
1.3.2	Please provide a description proposed demolition and/or construction and details of the potential issues and site constraints (e.g., narrow streets, site access, tree preservation orders (TPOs), nearby watercourses, existing utility services, etc.).	Provide new surface water drainage as per the concept scheme submitted, see appendix C. There are no Tree Preservation Orders within this site.
2.0	Site Management	
2.1	Site Personnel	Team of between 2 and 4 people on site at any one time.
2.1.1	Prior to commencement of development, please provide contact details of the person(s) on site with an overall responsibility for compliance with the CEMP.	John Meredith t. 07917095921 e. meredithfarmersltd@gmail.com
2.2	Development site layout and welfare arrangements	
2.2.1	Please provide a site layout plan for the development site including locations of the site office, material storage areas, waste storage areas, staff parking, vehicle access points, wheel wash locations, generators, delivery loading/unloading areas, and details of any site hoardings or acoustic screening to be erected	Site office is new arboretum area. Material storage within arboretum area. Staff parking on site or within Barcham Trees car park. Site access through Bracham Trees site. No excavated materials will be leaving site, all to be reused on the existing site. There is no requirement for site hoardings. Wheel washing if required can undertake in Barcham Trees adjoining dispatch yard. See Proposed Construction Layout Plan at Appendix B.

	Issue	Action
2.2.2	Please provide details of the measures to ensure the segregation of pedestrians, cyclists and development traffic (where Public Rights of Way are likely to be affected)	The new site is completely separate from access by any member of the public. Pedestrian access through Barcham Trees site is already segregated.
2.3	Managing Materials, Site Storage and Good Housekeeping	
2.3.1	Please provide information on where raw materials, demolition arisings, and other waste products will be stored at the development site. (Note: Silos and mobile crushers will require relevant environmental permits)	Materials will be stored in the southeastern corner of the existing arboretum site. A mobile crusher will be located in this area and the operator already has the relevant environmental permit. (This is already on site and has been used as part of the arboretum development)
2.3.2	Please provide details of the housekeeping arrangements for the development site to ensure that stored materials, arisings, and equipment do not cause a nuisance to nearby residents and occupiers of other adjacent premises.	There are 2 No houses adjacent to the site and these will be liaised with as work proceeds. They are a reasonable distance from the site and previous works associated with the arboretum establishment did not raise any issues. It is not envisaged that any nuisance will be caused to these properties.
2.3.3	Please provide details of the measures to be taken to ensure that materials stored on the site such as soil and sand, including any contaminated waste are adequately secured to prevent unnecessary and unsightly dispersal around the site and public areas.	All materials will be stored in the arboretum. There is no evidence of any contaminated material. There are no public areas applicable to this development. Any loose material will be covered and sheeted if required. Sprinklers and damping down will be initiated as necessary.
3.0	Community Liaison and Communication including Complain Procedure	
	A display board shall be prominent and shall detail the nature of the works being undertaken, a contact name and telephone number (including a telephone number to be used outside normal working hours)	Display board to be place in site office in the new arboretum. John Meredith t. 07917 095921 e. meredithfarmersltd@gmail.com

	Issue	Action
		Barcham Trees will also liaise with local residents, and act as a point of contact if necessary.
	A complaints register shall be kept and shall include complainant's details, date and time of the complaint, cause(s) of the complaint, action taken to resolve the complaint, date and time of action taken to resolve the complaint, and reasons for any unresolved complaints.	To be complied with.
4.0	Implementation, Monitoring and Corrective Action	
	A responsible person shall undertake regular site inspections to monitor compliance with the construction management plan and to ensure that nuisance is not caused to surrounding uses. Where non-compliance is identified, the responsible person shall ensure that corrective action is taken	John Meredith t. 07917095921 e. meredithfarmersltd@gmail.com Barcham Trees will also monitor.
4.1	Please provide further information on how the implementation of the construction management plan will be monitored including frequency.	Frequency to be every 2 weeks. Weekly meeting to be held between the contractor and Barcham Trees.
5.0	Site Operations	
5.1	Working hours / Deliveries and transport of materials, plant, and equipment to site	Condition 16 establishes the authorised working hours as follows: Construction times and deliveries, with the exception of fit-out, shall be limited to the following hours: 0730 to 1800 each day Monday - Friday, 0730 to 1300 Saturdays, and none on Sundays, Bank Holidays and Public Holidays.
5.1.1	Please detail any planned works that may have to be undertaken at times outside of these hours, their expected duration, and any specific mitigation measures to be employed during these works to minimise impacts on nearby sensitive	No work planned outside the hours stated above.

	Issue	Action
	premises e.g., installation of utility services, delivery of large/bulky plant and equipment, concrete pouring, etc.	
	If a school is located in the vicinity of the development site or on the proposed access and/or egress routes, deliveries shall be restricted to between 9:30 and 15:00 on Monday to Friday during term time	Not applicable.
5.2.1	Please provide details of any planned delivery arrangements that may be required outside of the above hours.	None planned.
5.2.2	Please provide details of the proposed procedures and location(s) for the loading and unloading of plant and materials at the development site. Wherever possible loading and unloading should only take place within the development site.	All loading and unloading to take place within the new arboretum area.
5.3	Noise and Vibration	
	These must be included in your construction management plan – Essential Requirements	
	<ul style="list-style-type: none"> All vehicles and plant used during the development will be maintained in good and efficient working order, and in accordance with manufacturer's specification. 	All plant are C E registered.
	<ul style="list-style-type: none"> All vehicles, mechanical plant, and machinery used during the development shall be fitted with proper and effective silencers (where available AND/OR in compliance with health & safety requirements) and shall be maintained in good and efficient working order. 	To be complied with.
	<ul style="list-style-type: none"> All plant and machinery in intermittent use shall be shut down in the intervening periods between works 	To be complied with.
	<ul style="list-style-type: none"> Plant and machinery capable of generating significant noise and vibration levels will be 	To be complied with.

	Issue	Action
	operated in a manner to restrict its duration.	
	<ul style="list-style-type: none"> Static plant and machinery shall be sited as far away as possible from inhabited buildings or other noise sensitive locations. 	To be complied with.
	<ul style="list-style-type: none"> All compressors shall be 'noise reduced' models that are fitted with properly lined and sealed acoustic covers which shall be kept closed whenever the machines are in use. All ancillary pneumatic percussion tools shall be fitted with mufflers or silencers of the type recommended by the manufacturers. 	To be complied with.
	<ul style="list-style-type: none"> Wherever possible mains electricity or battery powered equipment shall be used instead of diesel or petrol powered generators. 	To be complied with.
	<ul style="list-style-type: none"> The handling of materials shall be conducted in such a manner that minimises noise, including minimising drop heights into hoppers and lorries. 	To be complied with.
	<ul style="list-style-type: none"> No stereos or similar amplified devices shall be audible beyond the site boundary. 	To be complied with.
5.3.1	Please provide details of site-specific noise and vibration mitigation measures.	All plant is standard construction machinery and will be compliant.
5.3.2	Please provide any noise impact assessments conducted, including relevant noise thresholds, monitoring arrangements and procedures for taking corrective action.	No noise impact assessment has been carried out.
	The requirement for a noise impact assessment will normally be identified at the planning application stage and will be determined based on a variety of factors including (but not limited to); the scale of the development, the likely duration of the project, the proximity to residential or other noise sensitive properties, the history of noise complaints in the locality, and the cumulative	A noise impact assessment for construction activity was not deemed necessary at the planning application stage.

	Issue	Action
	impact of any other concurrent developments in the vicinity.	
5.3.4	Please provide details of any site hoardings and acoustic screens where a noise impact assessment has identified these as necessary to mitigate the potentially adverse effects of noise on nearby sensitive receptors.	No hoardings are currently required. This will be reviewed as work proceeds
5.4	Dust	
	<ul style="list-style-type: none"> All plant and equipment shall be maintained in accordance with manufacturer's recommendations to ensure emissions to atmosphere are minimised. 	To be complied with.
	<ul style="list-style-type: none"> Any equipment used to cut paving blocks, kerbs, flagstones etc. shall be operated with a water suppression attachment or a dust filter. 	To be complied with.
	<ul style="list-style-type: none"> Engines of plant, machinery, and lorries shall be turned off at all times when not in use. 	To be complied with.
	<ul style="list-style-type: none"> Delivery activities, plant, stockpiled materials and/or any other activities liable to significant dust generation shall be located as far away as possible from the development site boundaries and neighbouring properties. 	To be complied with.
	<ul style="list-style-type: none"> Stored materials liable to dust generation shall be dampened down, covered with tarpaulin, or otherwise contained as far as reasonably possible. 	To be complied with.
	<ul style="list-style-type: none"> Drop heights from conveyors, loading shovels, hoppers, and other loading or handling equipment shall be minimised, and fine water sprays should be used on equipment where necessary. 	To be complied with.

	Issue	Action
	<ul style="list-style-type: none"> • Skips, chutes, and conveyors shall be covered and if necessary enclosed to ensure that dust does not escape. 	To be complied with
	<ul style="list-style-type: none"> • All vehicles carrying dusty materials shall be securely covered. Water suppression shall be used in dry conditions to reduce dust emissions (e.g., mobile bowsers or fixed sprayers as appropriate). A water suppression contingency plan should be included detailing water supply to site and what equipment will be kept available (e.g., number and size of bowsers, sprinklers, mist canons etc.) 	To be complied with. (Note: there is currently an 80mm water supply throughout the arboretum which can be tapped off as required.)
5.4.1	Please provide details of site-specific dust mitigation measures proposed for operations/activities to be carried out at the development site.	If dust is identified as a problem the current water supply will be utilised to provide adequate spray suppression.
5.4.2	Please provide a dust impact assessment conducted for the development site where applicable.	No dust impact assessment has been carried out.
5.4.3	The requirement for a dust impact assessment will normally be identified at the planning application stage and will be determined based on a variety of factors including (but not limited to); the scale and nature of the development works, the sensitivity of the area, the likely duration of the project, the history of dust complaints in the locality, and the cumulative impact of any other concurrent developments in the vicinity.	The requirement for a dust impact assessment was not identified as a requirement at the planning application stage.
5.4.4	Please provide details of how dirt or dust spread onto the public highway will be prevented and/or cleaned.	Due to the site location the public highway it is very unlikely to be impacted. No materials are to be taken off site and construction plant will remain on site for the duration of the project. However, if there is a problem Barcham Trees will employ their current contractor to ensure compliance.

	Issue	Action
5.5	Air Quality	
	<ul style="list-style-type: none"> All Non-Road Mobile Machinery used on site must be compliant with the Non-Road Mobile Machinery (Emission of Gaseous and Particulate Pollutants) Regulations 2018. Where requested by a relevant officer, documentation shall be provided evidencing manufacturers emission limits or that equipment has been appropriately retrofitted in accordance with the regulations 	To be complied with.
5.6	Mud	
	<ul style="list-style-type: none"> The public highway must be kept in a condition whereby it is mud free. This is applicable to both roads and pavements. 	To be complied with.
5.6.1	Please provide details of proposed wheel washing facilities and other measures to prevent mud or other materials being deposited onto the highway.	To be complied with. It should be noted that no materials will be leaving site. Wheel washing can be undertaken in the existing dispatch yard if required.
5.6.2	Please provide details of any proposed road sweepers including details of when and where road sweepers will be deployed.	Barcham Trees will incorporate this requirement within their normal operating procedures.
5.7	Artificial Lighting	Not applicable.
	These must be included in your construction management plan – Essential requirements	Not applicable.
	<ul style="list-style-type: none"> Flood lighting, security lights, and any other obtrusive external lighting shall be sensitively located so as to avoid nuisance to neighbouring properties and should only provide the necessary luminance for the relevant task(s). 	Not applicable.
	<ul style="list-style-type: none"> Lighting schemes shall be compliant with the Institution of Lighting Professionals Guidance Note 01/21 "The Reduction of Obtrusive Light". 	Not applicable.
5.7.1	Please provide details on how obtrusive artificial light will be minimised during the development	Not applicable.

	Issue	Action
	including any drawings and/or assessments of temporary lighting installations where applicable.	
6.0	Waste Management	No materials to be removed from site.
	<ul style="list-style-type: none"> There shall be no burning of waste at any time. 	To be complied with.
	<ul style="list-style-type: none"> The appointed contractor(s) shall have an appropriate means of waste disposal in place for the duration of the development works. Appropriate waste transfer and/or disposal documentation shall be made available for inspection by the LPA on request. 	No materials to be removed from site.
	<ul style="list-style-type: none"> The appointed contractor(s) shall ensure that any waste materials stored on the site are adequately secured to prevent unnecessary and unsightly dispersal of the materials around the site and beyond its boundary. 	To be complied with.
6.1	Please provide details of measures for waste management at the development site and mitigation measures to protect local amenity.	No materials to be removed from site.
6.1.2	Please provide details of any hazardous or dangerous materials identified at or likely to be encountered at the development site (e.g., asbestos, contaminated soil) and arrangements for its identification, removal and safe, licensed disposal. Note: Imperative that any mitigation is undertaken in line with associated contaminated land conditioning and timescales.	A Phase I & II Environmental Assessment has shown no levels of contamination that pose a risk to human health or controlled waters.
7.0	Environment	
7.1	Soil and land management	
7.1.1	Please provide details and locations of any planned storage areas for materials (e.g., topsoil, demolition waste, contaminated ground) or construction materials, and how these will be managed.	Storage areas to be within the new arboretum (see Appendix B).

	Issue	Action
7.1.2	Please provide details of your procedures for controlling and dealing with spillages, reducing the need for stockpiling and/or controlling the size of stockpiles, environmental monitoring, and regular site inspections.	All materials will be stored on site for reuse in the arboretum. Stockpiles will be kept to a minimum, inspected regularly and reused as soon as possible.
7.1.3	Please provide details of your procedures for identifying and dealing with any previously unidentified contamination discovered at the site during development.	If hazardous materials are detected all works to that area will cease and expert advice sort and reported prior to any recommencement.
8.0	Supporting Information	
	Please use this section to provide any supplementary or supporting documents too large to include in the main construction management plan, such as:	
	- Drawings	See attached appendices.
	- Noise Assessments	Not required, to be monitored.
	- Dust Risk Assessments	Not required, to be monitored.
	- Health & Safety based Risk Assessments	To be complied with.
	- Non-road mobile machinery (NRMM), mobile crushers and concrete batching plants	To be retained on site for duration of the project.
	- Heavy duty vehicle routing and/or traffic management plan	All plant to be retained on site for duration of the project.

3 CONCLUSION

- 3.1 This CEMP has been prepared in order to seek a partial discharge of planning condition 4 attached to the decision notice for planning application reference 22/00827/FUM, in order to allow the preliminary ground works to be commenced on site, prior to the appointment of the main project building contractor.
- 3.2 The ground works contractor (John Meredith) is the ground works contractor who is responsible for the establishment of the arboretum and already has plant on site. The works to be undertaken primarily relate to the surface water drainage strategy works to be carried out later this ahead of the main contractor starting on site next spring.
- 3.3 A further CEMP will be submitted by the appointed main contractor ahead of them commencing work on site next year.

APPENDICES

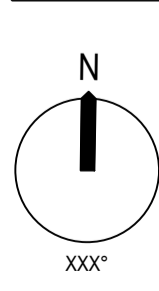
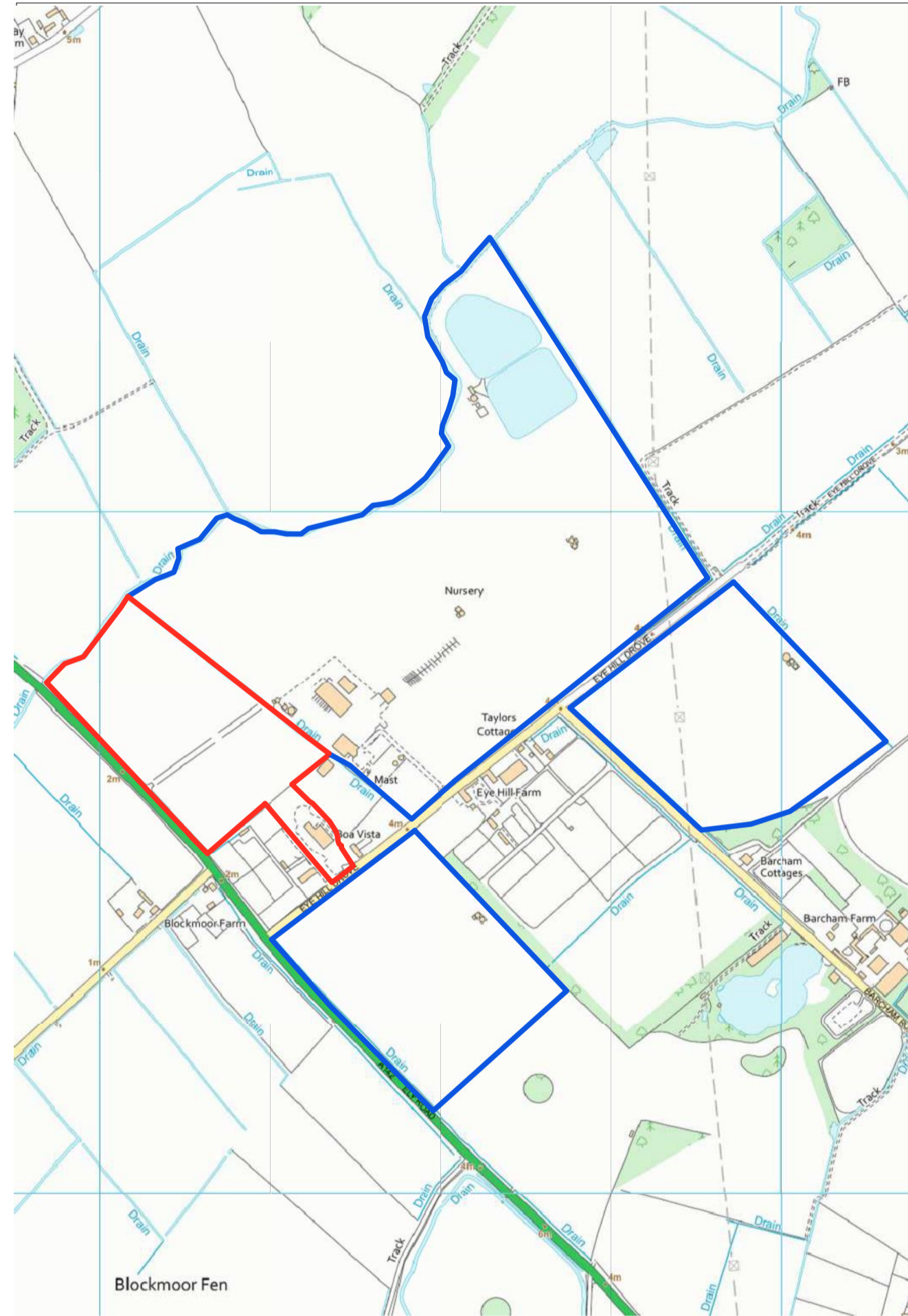
Appendix A: Site Location Plan

Appendix B: Proposed Construction Layout

Appendix C: Conceptual Drainage Layout



APPENDIX A: LOCATION PLAN



Rev	Date	CHK	DRW
0			

Revision Schedule	
Rev	Description

REF	HEALTH AND SAFETY INFORMATION - CONSTRUCTION RISKS
XXX	
XXX	
XXX	

NOTES
XXX
XXX
XXX

Feilden+Mawson

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CLIENT Barcham Trees
 JOB Barcham Trees - Visitor Centre

RIBA Stage 3
 S2 Issue for Information

JOB 9070 PAPER A1 SCALE 1:7500, 1:200

Drawing Number
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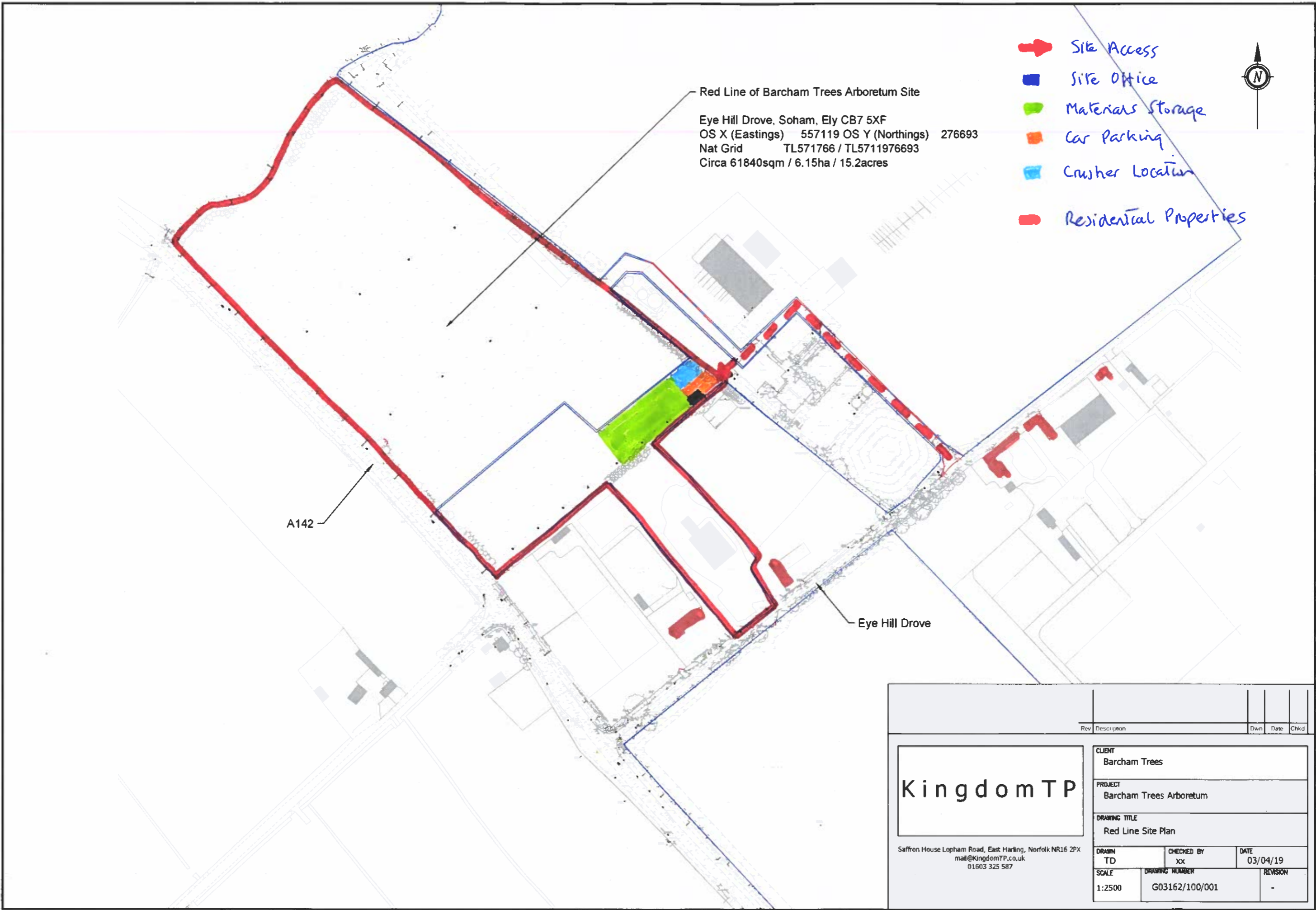
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APPENDIX B: Proposed Construction Layout



Red Line of Barcham Trees Arboretum Site
 Eye Hill Drove, Soham, Ely CB7 5XF
 OS X (Eastings) 557119 OS Y (Northings) 276693
 Nat Grid TL571766 / TL5711976693
 Circa 61840sqm / 6.15ha / 15.2acres

- ▬ Site Access
- Site Office
- Materials Storage
- Car Parking
- Crusher Location
- ▬ Residential Properties



A142

Eye Hill Drove

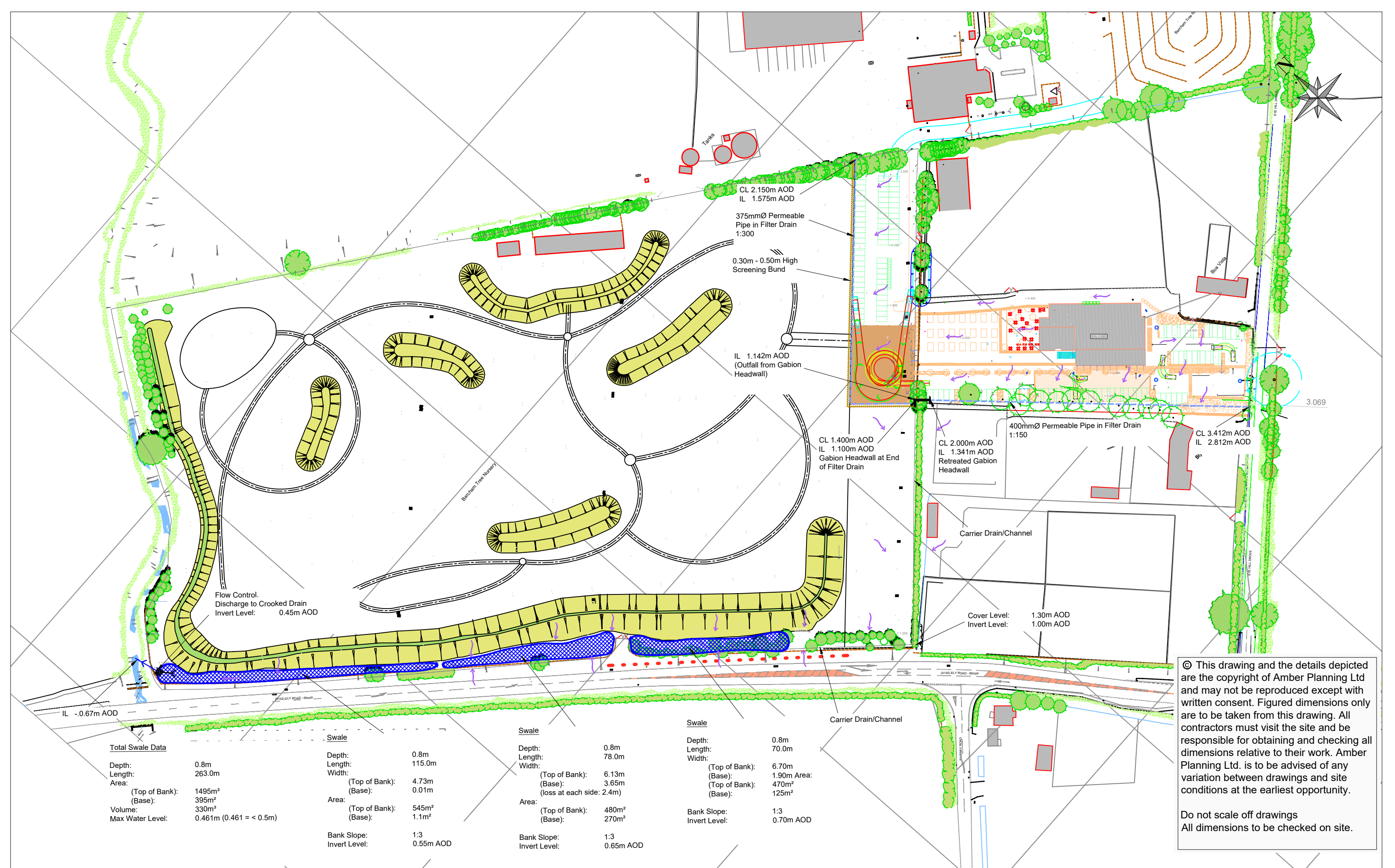
Rev	Description	Dwn	Date	Chkd

<h1>Kingdom TP</h1>		CLIENT Barcham Trees	
		PROJECT Barcham Trees Arboretum	
DRAWING TITLE Red Line Site Plan			
DRAWN TD	CHECKED BY XX	DATE 03/04/19	
SCALE 1:2500	DRAWING NUMBER G03162/100/001	REVISION -	

Saffron House Lopham Road, East Harling, Norfolk NR16 2PX
 mail@KingdomTP.co.uk
 01603 325 587



APPENDIX C: Conceptual Drainage Layout



Flow Control.
Discharge to Crooked Drain
Invert Level: 0.45m AOD

Total Swale Data

Depth:	0.8m
Length:	263.0m
Area:	
(Top of Bank):	1495m ²
(Base):	395m ²
Volume:	330m ³
Max Water Level:	0.461m (0.461 = < 0.5m)

Swale

Depth:	0.8m
Length:	115.0m
Width:	
(Top of Bank):	4.73m
(Base):	0.01m
Area:	
(Top of Bank):	545m ²
(Base):	1.1m ²
Bank Slope:	1:3
Invert Level:	0.55m AOD

Swale

Depth:	0.8m
Length:	78.0m
Width:	
(Top of Bank):	6.13m
(Base):	3.65m
(loss at each side: 2.4m)	
Area:	
(Top of Bank):	480m ²
(Base):	270m ²
Bank Slope:	1:3
Invert Level:	0.65m AOD

Swale

Depth:	0.8m
Length:	70.0m
Width:	
(Top of Bank):	6.70m
(Base):	1.90m Area:
(Top of Bank):	470m ²
(Base):	125m ²
Bank Slope:	1:3
Invert Level:	0.70m AOD

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Do not scale off drawings
All dimensions to be checked on site.

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KEY

	Swale
	Carrier Drain/Channel
	Permeable Pipe in Filter Drain
	Screening Bund
	Flow Exceedance Route

NOTES:

SCALE
1:1,500 @ A3

DATE
April 2023

DRAWN
KR

PROJECT NO.
H8423

DRAWING NO.
H8423-001

CHECKED
KdS

PROJECT
Visitor Centre, Barcham Trees, Ely

DRAWING TITLE
Conceptual Drainage Layout

CLIENT
 Barcham Trees PLC