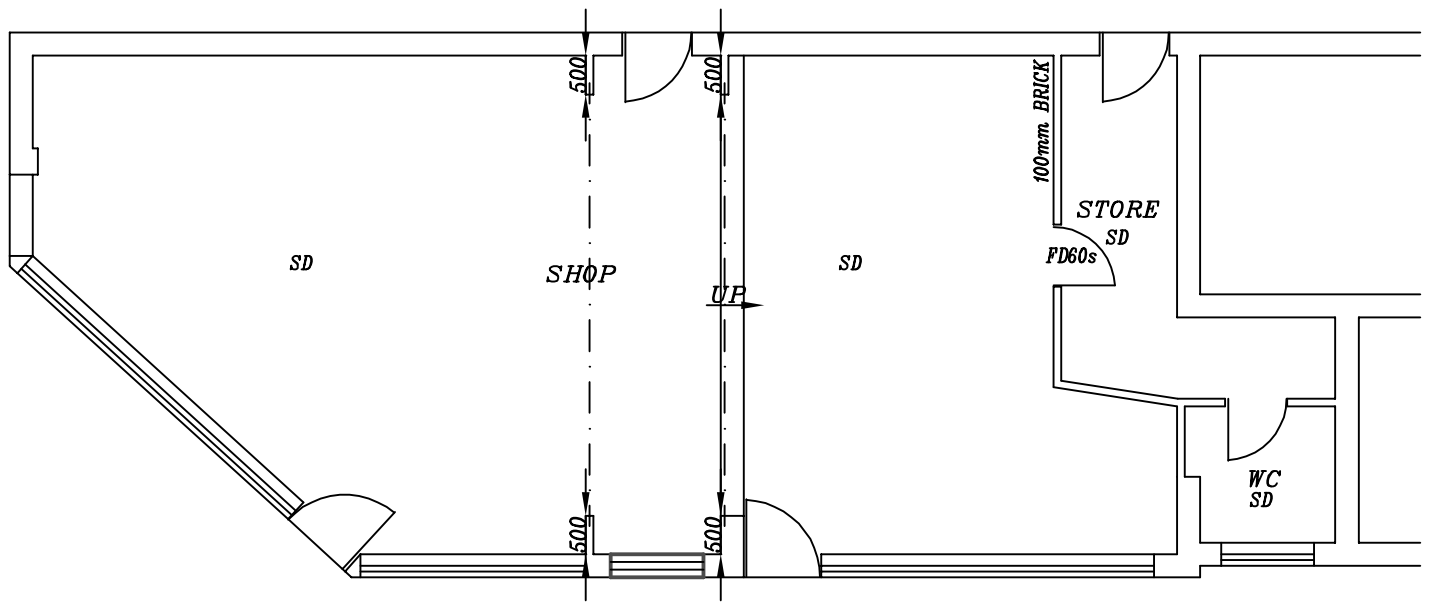


EXISTING GROUND FLOOR PLAN



PROPOSED GROUND FLOOR PLAN

PROPOSED NEW POWDER COATED ALUMINIUM SHOP FRONTAGE WITH TOUGHENED GLASS TO FRONT & SIDE ELEVATIONS

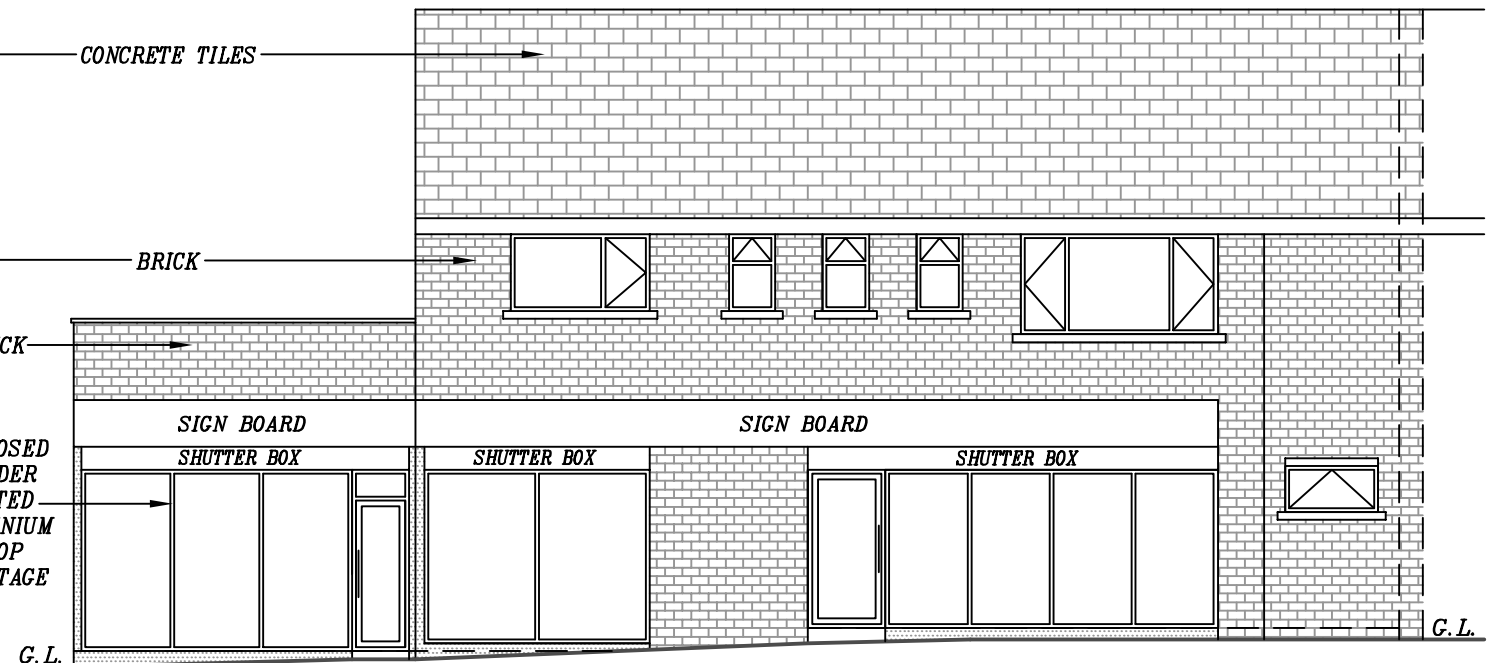
EXISTING ROLLER SHUTTERS TO REMAIN

1No. 254x146x37UB ON CONCRETE PADSTONES WITH 1Hr. FIRELINE TO PROPOSED SHOP @2No. INDICATED POSITIONS

INFILL EXISTING FRONT WC WINDOW OPENING SEE WALL NOTES OVERLEAF



EXISTING FRONT ELEVATION



PROPOSED FRONT ELEVATION

PROPOSED NEW ALUMINIUM SHOP FRONTAGE, ROLLER SHUTTERS & INTERNAL ALTERATIONS AT 38-42 CLIFFE LANE WEST, BAILDON, BD17 5QP, FOR MR JALIL KHAN

SCALE: 1:100(A3)	DATE: AUG 2023	DRAWN BY: ZESHAN KHAWAJA
PLANNING/BUILD REGS		DRAWING NUMBER: 23/3009/JK1

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