



DESIGN and ACCESS STATEMENT

And

FLOOD RISK ASSESSMENT

Nash Bungalow,
Nash, nr Canterbury,
Kent
CT3 2JU



INTRODUCTION

This statement sets out the proposed single-storey rear extension; front and rear facing dormers; alterations and modifications at Nash Bungalow, Nash, nr Canterbury, CT3 2JU to create and provide improved and enlarged facilities.

The application further seeks Change of Use of the additional parcel of land to the rear and west of the residential curtilage to allow for the installation of ground source heating coils to service the main residential dwelling.

The subject property is a single-storey, brick built 1960's style residential bungalow. This property is not listed nor contained within any local Conservation Areas.

The property sits on a large-sized plot of land with vehicular access available from the highway to the front elevation. The subject property is arranged over the Ground and first floor levels and is subject to all standard statutory amenities

LOCATION

Site Location



Front Elevation

THE PROPOSAL & DESIGN

The design proposal is to create:

- Demolition of existing uPVC rear lean-to conservatory
- Creation of new single-storey rear pitched roof extension.
- Formation of front and rear facing roof dormers
- Replacement windows and doors throughout
- Change of Use of rear agricultural land to residential to permit the installation of Ground Source heating coils

The finish and appearance of the proposed features are designed to match the existing brick finishes of the main house. The proposed extension roof is to be of a pitched roof construction to mirror the existing in finish; pitch and design



Existing Rear Elevation



Proposed Rear Elevation

PLANNING HISTORY

Planning history indicates that has been 1nr former applications for proposed development upon this site.

- Application Ref nr: 16/00366 APPROVED
 - Erection of a single storey rear extension, rear dormer roof extension, enlargement of existing rear dormer, installation of solar panels to front elevation, erection of a detached garage with solar panels, erection of a retaining wall with ramp, construction of access and alterations to existing vehicular access (existing garage to be demolished)

ACCESS

The proposal does not affect any existing access to the property. Access to the main house is afforded via the public highway to the front elevation. There is currently off-street parking available within the rear garden with a former approved detached garage and areas formed as hard-standing.

The nearest railway station is located approx. 4.0 mile away, at Sandwich Station; providing a regular service to both the South and London via a number of connections. There is also a daily local bus service with the nearest bus stop located a short walking distance

SUSTAINABLE CONSTRUCTION

Energy conservation is controlled by Building Regulations. We are very keen for the level of insulation within the design to meet and where possible exceed the current Building Regulations. All internal lighting would be energy efficient fittings

LANDSCAPING

The proposed development falls within the existing landscaped gardens to the rear and as such the majority of the existing gardens will be unaffected to any great extent by the proposed works, with the exception of works to the rear field and the installation of the ground source heating coils which, upon completion, will be returned to a grassed paddock/field to mirror the existing arrangements.

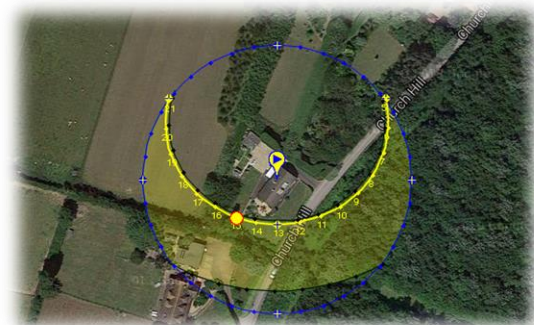
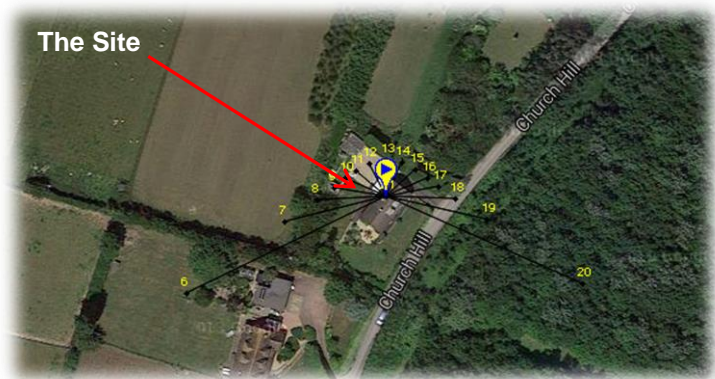
VENTILATION/DAYLIGHT

The designation of the original dwelling is east facing, resulting in most elevations of the property benefitting from direct sun for periods of the day. The proposed extension and alterations will not cause any additional shadowing over and above that currently experienced from the main house.

The existing house is set within large gardens and bounded by large trees and as such the proposed works would not cause any issues of shadowing or light to any local properties

These images indicated the path of the sun in July 2023, highlighting the arc of natural daylight the original dwelling receives. The lines on these images indicate both the sun's path and the shadowing this creates.

This demonstrate the level of shadowing the proposed extension and alterations would cast to the adjoining properties, or and above that already experienced.



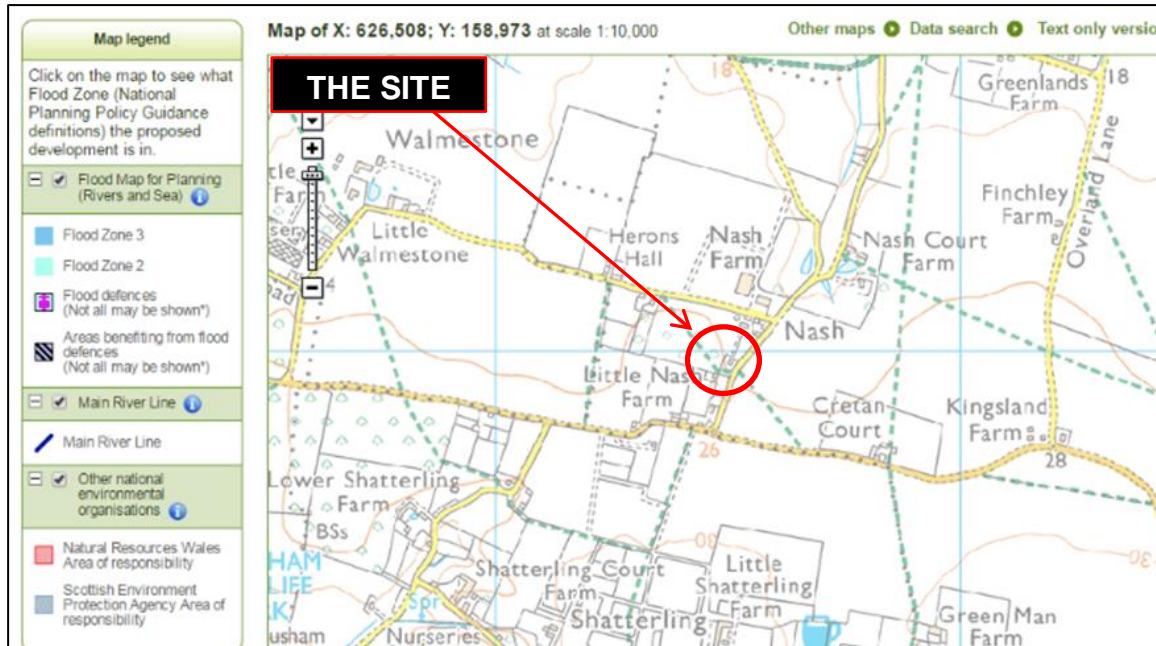
SUMMARY

In summary, it is believed this proposed application offers an aesthetically pleasing solution to the needs of this family whilst adhering to all current Local Plan policies

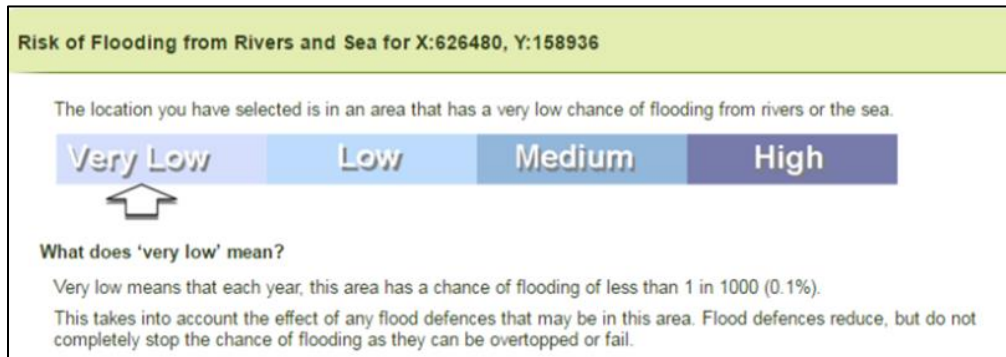
End of Design & Access Statement

FLOOD RISK ASSESSMENT

This property has been checked against the Environmental Agency Flood Risk Mapping models which confirmed that this does not fall within any existing Flood Risk areas.



ENVIRONMENT AGENCY FLOOD RISK PLAN



End of Flood Risk Assessment

AERIAL IMAGE OF SITE (Incl Change of Use)

