

Supporting Statement

Design and Access and Heritage Statement

1254-02-DOC-001

Location
Smithy Cottage,
North Road,
Bretherton,
PR26 9AY

Date
24/08/2023



1.0 Supporting Statement

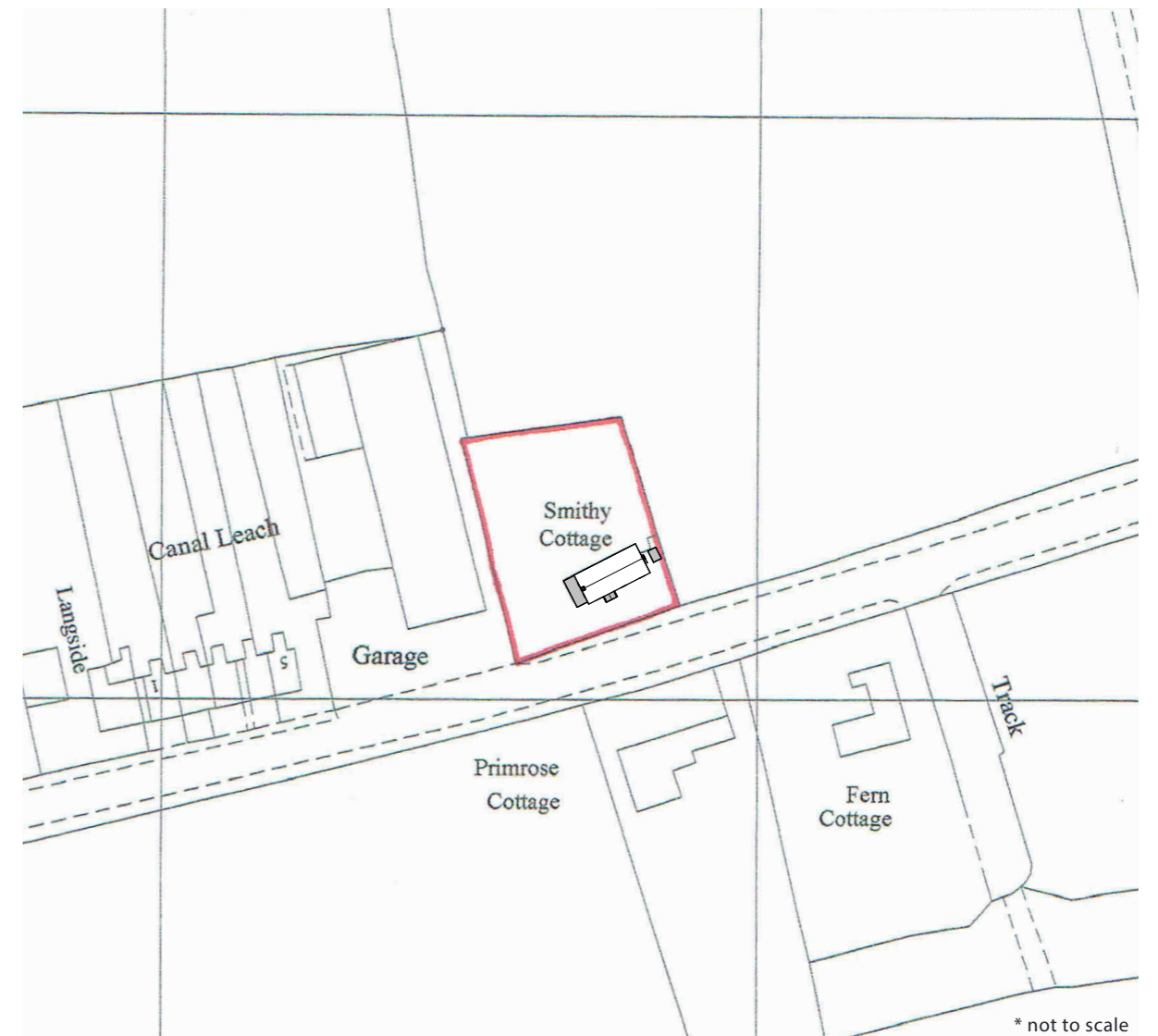
1.1 The Brief

This document has been produced by Studio 256 on behalf of our client, James Barlow, alongside submission for the alterations to the existing roof, replacement of the existing thatched roof and asbestos overlay with a new lightweight metal roof.

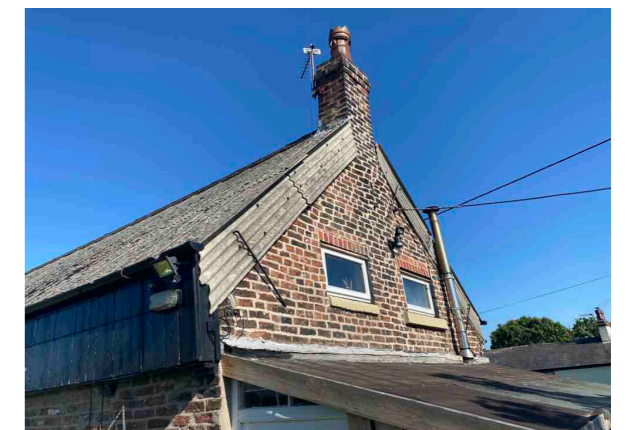
The request was made to solve the following issues in the existing dwelling:

- Cost of maintaining the existing thatched roof is increasing.
- The internal cruck frame is gradually deteriorating due to the weight and condition of the existing thatched roof and asbestos covering.
- Originally the house had a thatched roof, however this has been covered over throughout the years with an asbestos roof covering, posing increasing health issues to the owner.

The supporting statement is intended as a positive and helpful tool for the client and interested third parties alike to demonstrate in succinct terms the extent of consideration that has been invested in the design intentions and allow for feedback to be received as part of the design process.



01. View of existing



02. View of existing thatched roof encased with clay panelling

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1.2 Listed Building Information

On the 30th of January 1987 Smithy Cottage entered as a Grade II listed building.

The cottage was built around the 17th century and altered first in the 18th century and further in the 19th century.

Main details are listed as a cruck frame, with cladding of handmade brick on rendered plinth, corrugated sheet roof with boarded eaves and gable chimneys.

There are three bays, a one and a half storey modern brick gabled porch offset to the left with a two-light casement to the left. The casement to the right has been altered and a little two-light casement is within the eaves above it. A vertical joint to the third bay and a segmental-headed two-light casement can be seen within the bay.

On the left end two square windows have been inserted in the gable above. An inter alia a door, two-light sliding sash with four panels per leaf and to the right an exposed end of a tie beam are visible at the rear.

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1.3 Comparative Costing

Replacing existing thatched and asbestos roof with new thatched roof costs:

Approx. total cost - £50k plus additional insurance every year

- Thatch labour and materials - £26k plus vat
- Timber work Labour and materials - £6k plus vat
- French drain labour and materials - £6k plus vat
- Remedial brickwork labour and materials - £4k plus vat
- Full house rewire in pyro cable (required as thatched roof) - £8k plus vat
- Additional house insurance of £850 per year

Proposed metal roof cost:

Approx. total cost - £25k

- Metal roof and structure £16k plus vat (increasing insulation up to 400mm thickness, labour and materials included)
- Additional associated internal and remedial works and insulation - £8k
- Velux roof lights Approx. £1,200



01. Proposed roof material

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1.4 Reasons for proposal

The proposed roof material has a lower cost, but it is also lightweight. By changing the roofing material the existing timber structure/ purlins will be retained and will benefit, as damage will not continue.

In July 2019 a historical assessment was completed by Tom Lockwood to support the approved planning application 19-00643-FULHH. In this statement it was noted that 'Many of the internal beams and framing are exposed and are some of the most important original features of the house structure. Much of the internal and external joinery elements are now modern replacements. The most important remaining elements are the cruck frame and lath and plaster raking ceiling with exposed rafters. Part of the original thatch may be in place below the corrugated roof'.

This proposal does not seek to alter any of what has been identified as the most important original features and elements. It is only sought to replace the thatched roof structure, which had been previously approved in the application 19-00643-FULHH.

Within the original listing the roof has been noted as 'corrugated sheet roof with boarded eaves and gable chimneys'. From the time of the original listing the thatched roof was not visible and has remained this way. The proposal only seeks to replace the current roof which is causing structural damage and posing an increasing health risk to the owner, due to the asbestos covering.



01. View of damage caused due to existing roof weight

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1.5 Front Elevation - Existing and Proposed



Materials

Existing:

- Farmhouse brick
- Orange brick
- White wooden door
- White uPVC windows
- Timber cladding
- Thatched roof with asbestos
- Slate roof (porch)

Front Elevation - Existing

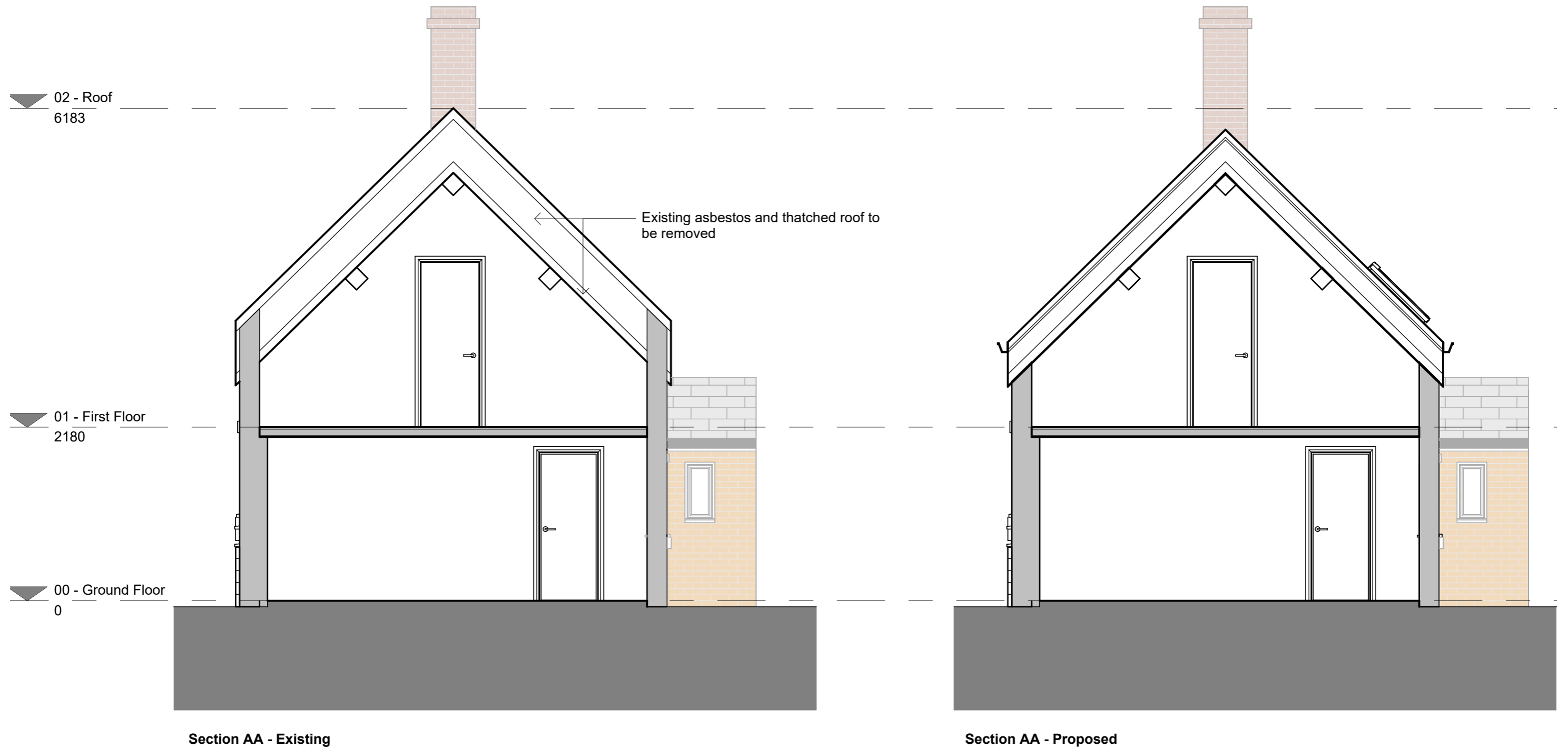


Materials

Proposed roof finish:

- Thick Mica Coated Roof (tile form)

Front Elevation - Proposed



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1.7 Conclusion

In conclusion, this document sets out the proposal for the alterations to the existing roof, replacement of the existing thatched roof with a new lightweight metal roof.

The design is intended to be a sensitive scheme, that stops gradual damage to the cruck frame from the thatched roof weight and is instead replaced by a lightweight and cost effective metal roof.



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