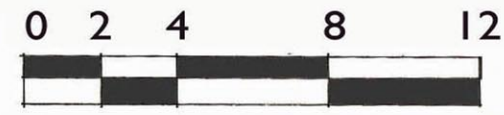
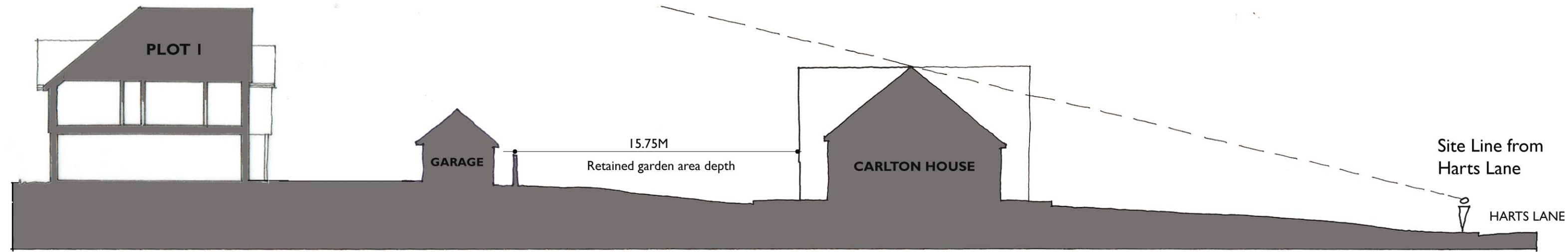




SECTIONAL ELEVATION AA - 1:200@A1



New Houses to rear masked by frontage properties.



CROSS SECTION BB - 1:200@A1



Outbuildings within existing rear garden area to be removed.



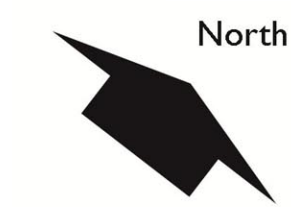
Carlton House - Elevation to Harts lane



Campana House - Elevation to Harts lane

Enhancements for biodiversity to be incorporated into the woodland area, including provision of bat and bird boxes and a bug hotel. (refer to Section 5 of the Ecological Appraisal forming part of the application submission.)

Approximate line of current settlement boundary



Existing outbuildings to be removed shown hatched.

2no detached 4 bed properties with single garages and parking area served from new shared private drive set between frontage properties.

New development boundary set back 15M from closest point of both Carlton and Campana house.

New Bin and recycling drop off and pick up point.

Existing Drive layout to Carlton House to be retained.

Existing woodland area forming part of the site and residential curtilage outside of the existing settlement boundary.

Existing outbuildings to be removed shown hatched.

8M landscape buffer zone from the rear of the maintained garden area and limit of TPO land at rear of new properties to act as gradient to limit encroachment on to the woodland area to the rear of the site. Boundary between maintained garden and 'buffer zone' to be demarcated with new native hedgerow with a mix of local plant species to encourage further biodiversity within the site area.

Position of TPO Boundary line as confirmed by LA Tree Officer.

12M residential garden area set within TPO boundary line from rear wall of Plots 1 & 2.

TPZ area to boundary trees.

Parking and drive areas for 3 vehicles/property excluding garage. Parking spaces 2.7M x 5.4M

Visitor area and turning head for service vehicles.

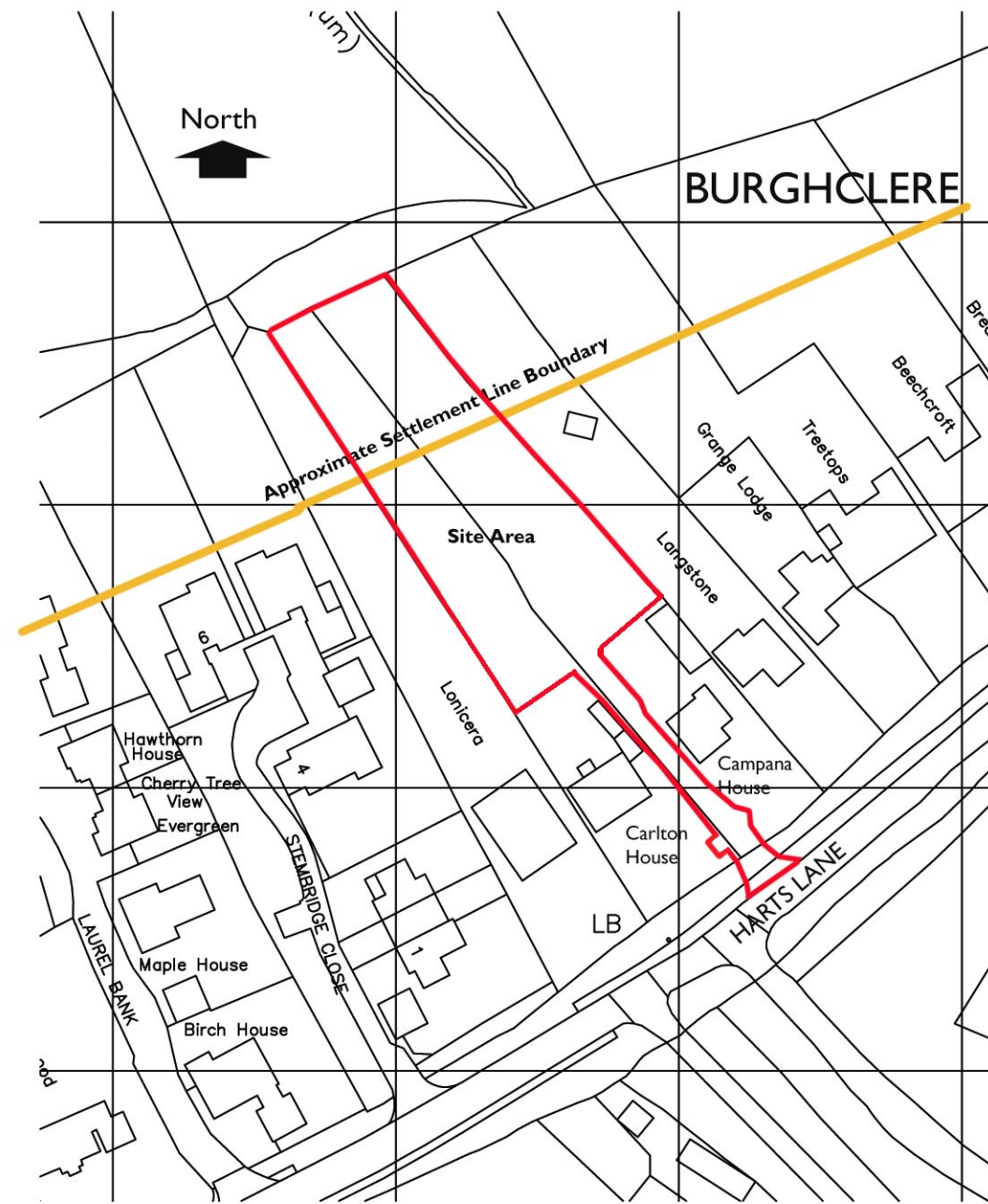
New 3.5M wide Private drive with 5.5M x 10M entrance and passing bay sections. Passing bay set centrally

Close boarded fencing

Hedge planting with post and rail fencing.

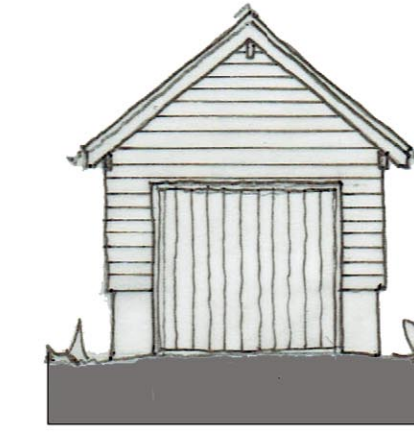
New access to Campana House from new private drive serving properties to the rear. Existing planting cutback from boundary.

Existing entrance drive to Campana House to be closed off and infilled with new hedge planting.



LOCATION PLAN

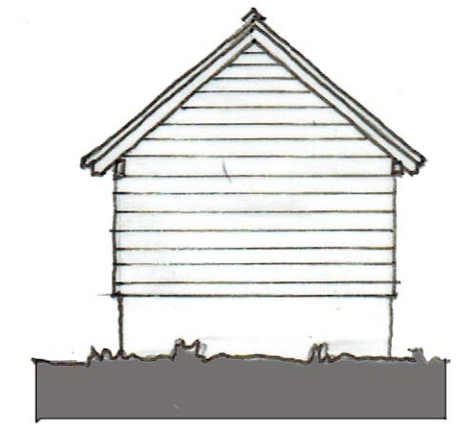
Scale 1:1250 @ A1



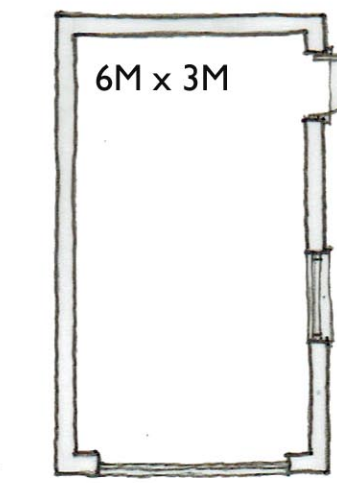
NE ELEVATION



NW ELEVATION

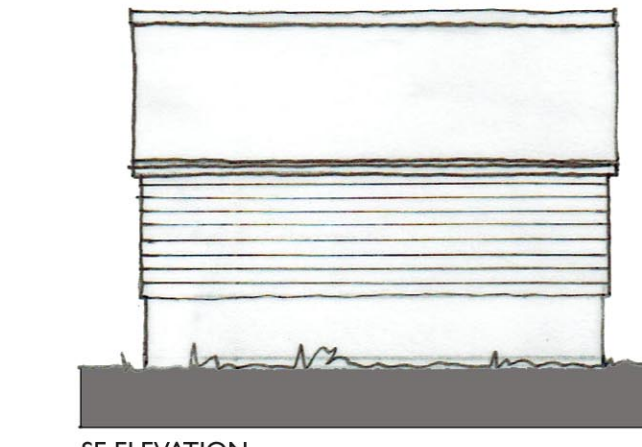


SW ELEVATION



GARAGE PLAN AND ELEVATIONS (Plots 1- Plot 2 Handed)

Scale 1:100 @ A1



SE ELEVATION

Slate tiled roof with facing brick plinth and timber cladding to walls.

REVISIONS



Harts Lane - Site frontage - View NE



Harts Lane - Site frontage - View SW (Campana)

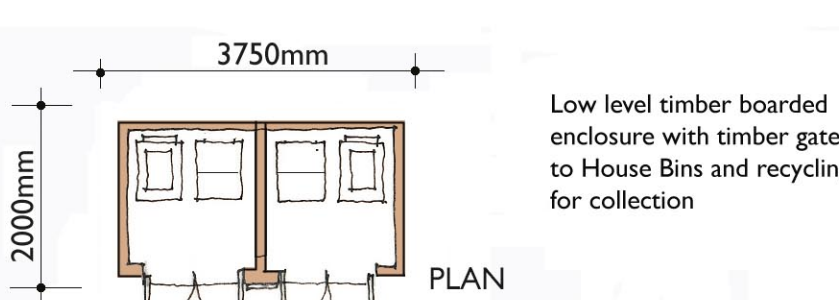
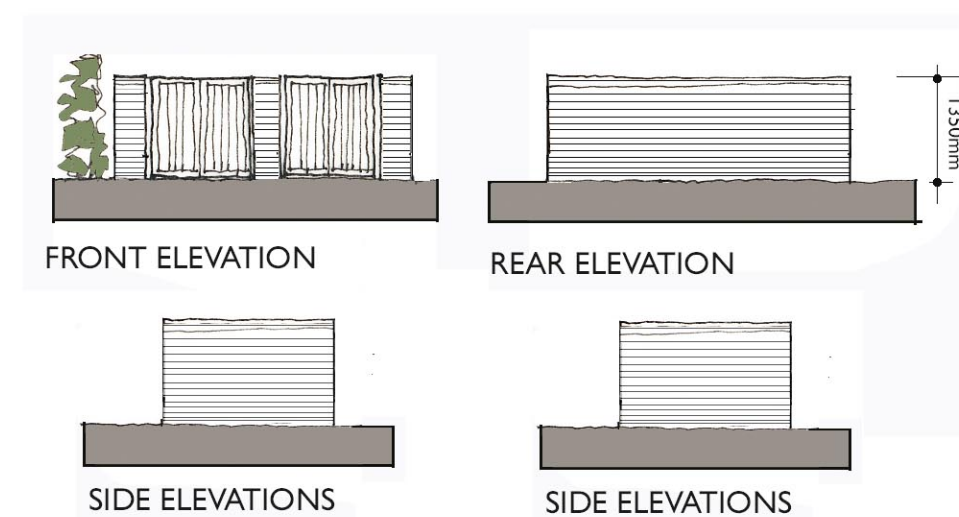
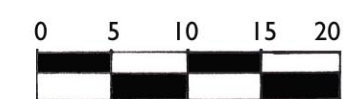


New access located between Carlton & Campana - Front and rear views



SITE LAYOUT PLAN

Proposed Residential Development
Land to the rear of Carlton and Campana House
Scale 1:500 @ A1



BIN STORE/ENCLOSURE

Scale 1:100 @ A1



Aerial View - Not to Scale



Client Mr & Mrs C Cockburn and Mr & Mrs P Carson

Project title Proposed Residential Development
Land to the rear of Carlton and Campana House

Drawing title Site Layout, Location Plan and site
Photographs

project no. A277 drawing no. DP200 scale 1:500/1:200/1:100
1:1250 @ A1

date Sept 2023 drawn LB checked

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