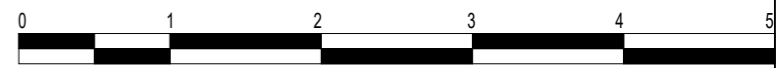


- Existing walls and partitions**
1. As the building is existing some walls may not be straight and measurements may vary.
  2. Thickness of the floor slabs is assumed.
  3. Electrical, gas and water services to be inspected by certified specialists.
  4. Existing floors, ceilings and walls may need to be upgraded to meet Building Regulations.
  5. Existing walls and wall nibs to be inspected by Structural Engineer to confirm if they are load-bearing.
  6. Fire Strategy shall be approved by the Building Control Inspector.
- Drainage**
- Assumed and suggested drainage route TBC on site by Plumber.
  - Existing soil pipe and rainwater pipes. Internal pipes to be insulated and boxed in with an access hatch where required. Allow new guttering, fixings and flashing. All pipes to be connected to the existing sewage system.
- svp  
○ rwp

Existing building with an extension 32 Oakland Way Road

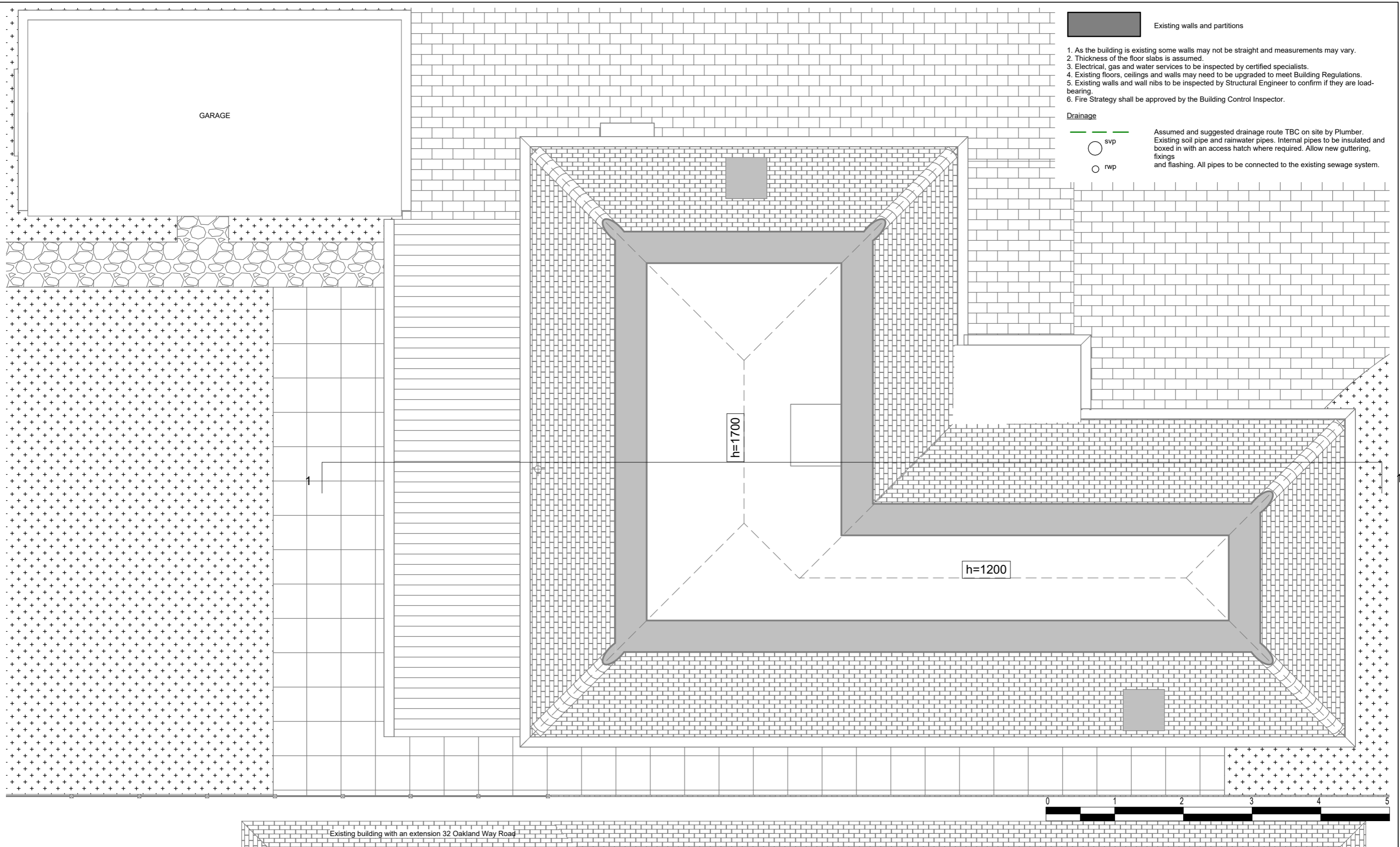


No.	Description	Date

<b>Gartwork Architecture Ltd</b>			
CODE	STATUS	SUITABILITY DESCRIPTION	PURPOSE OF ISSUE

PROJECT	30 Oakland Way Epsom KT19
SHEET	Existing Ground Floor Plan

CLIENT			Lyn Myers		
Date	Project number	Scale (@ A3)			
10/09/2023	N/A	1 : 50			
Drawn by	DRWAING NUMBER	REV			
ND	1010				
Checked by					
AG					



- Existing walls and partitions**
1. As the building is existing some walls may not be straight and measurements may vary.
  2. Thickness of the floor slabs is assumed.
  3. Electrical, gas and water services to be inspected by certified specialists.
  4. Existing floors, ceilings and walls may need to be upgraded to meet Building Regulations.
  5. Existing walls and wall nibs to be inspected by Structural Engineer to confirm if they are load-bearing.
  6. Fire Strategy shall be approved by the Building Control Inspector.
- Drainage**
- Assumed and suggested drainage route TBC on site by Plumber.
  - Existing soil pipe and rainwater pipes. Internal pipes to be insulated and boxed in with an access hatch where required. Allow new guttering, fixings and flashing. All pipes to be connected to the existing sewage system.
- svp  
 rwp

Existing building with an extension 32 Oakland Way Road

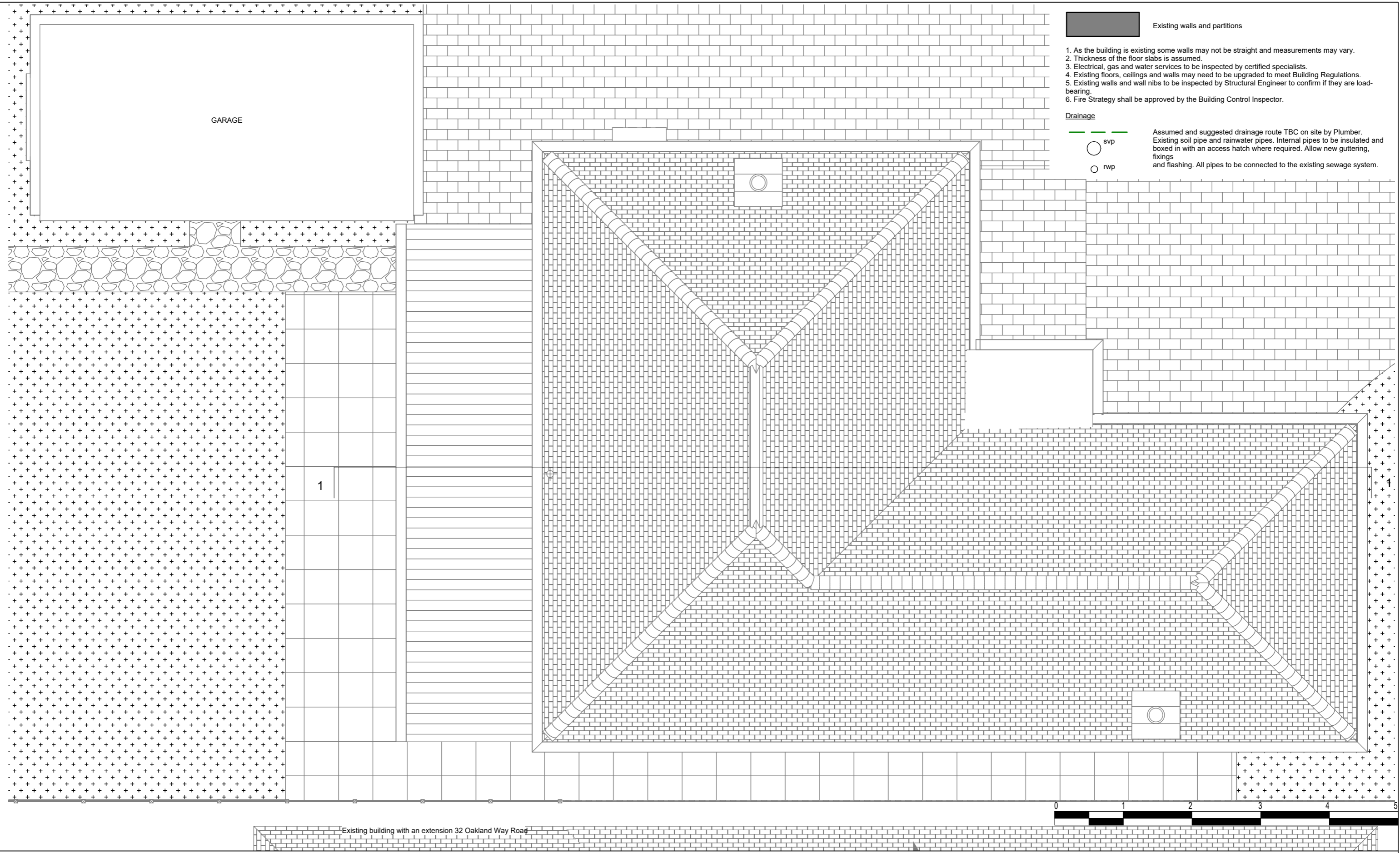


No.	Description	Date

<b>Gartwork Architecture Ltd</b>			
CODE	STATUS	SUITABILITY DESCRIPTION	PURPOSE OF ISSUE

PROJECT	30 Oakland Way Epsom KT19
SHEET	Existing Loft Plan

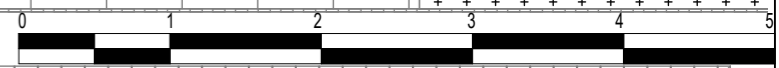
CLIENT			Lyn Myers		
Date	Project number	Scale (@ A3)			
10/09/2023	N/A	1 : 50			
Drawn by	DRWAING NUMBER	REV			
ND	1011				
Checked by					
AG					



- Existing walls and partitions**
1. As the building is existing some walls may not be straight and measurements may vary.
  2. Thickness of the floor slabs is assumed.
  3. Electrical, gas and water services to be inspected by certified specialists.
  4. Existing floors, ceilings and walls may need to be upgraded to meet Building Regulations.
  5. Existing walls and wall nibs to be inspected by Structural Engineer to confirm if they are load-bearing.
  6. Fire Strategy shall be approved by the Building Control Inspector.
- Drainage**
- Assumed and suggested drainage route TBC on site by Plumber.
  - Existing soil pipe and rainwater pipes. Internal pipes to be insulated and boxed in with an access hatch where required. Allow new guttering, fixings and flashing. All pipes to be connected to the existing sewage system.
- svp  
rwp

1

1



Existing building with an extension 32 Oakland Way Road

No.	Description	Date

<b>Gartwork Architecture Ltd</b>			
CODE	STATUS	SUITABILITY DESCRIPTION	PURPOSE OF ISSUE

PROJECT	30 Oakland Way Epsom KT19
SHEET	Existing Roof Plan

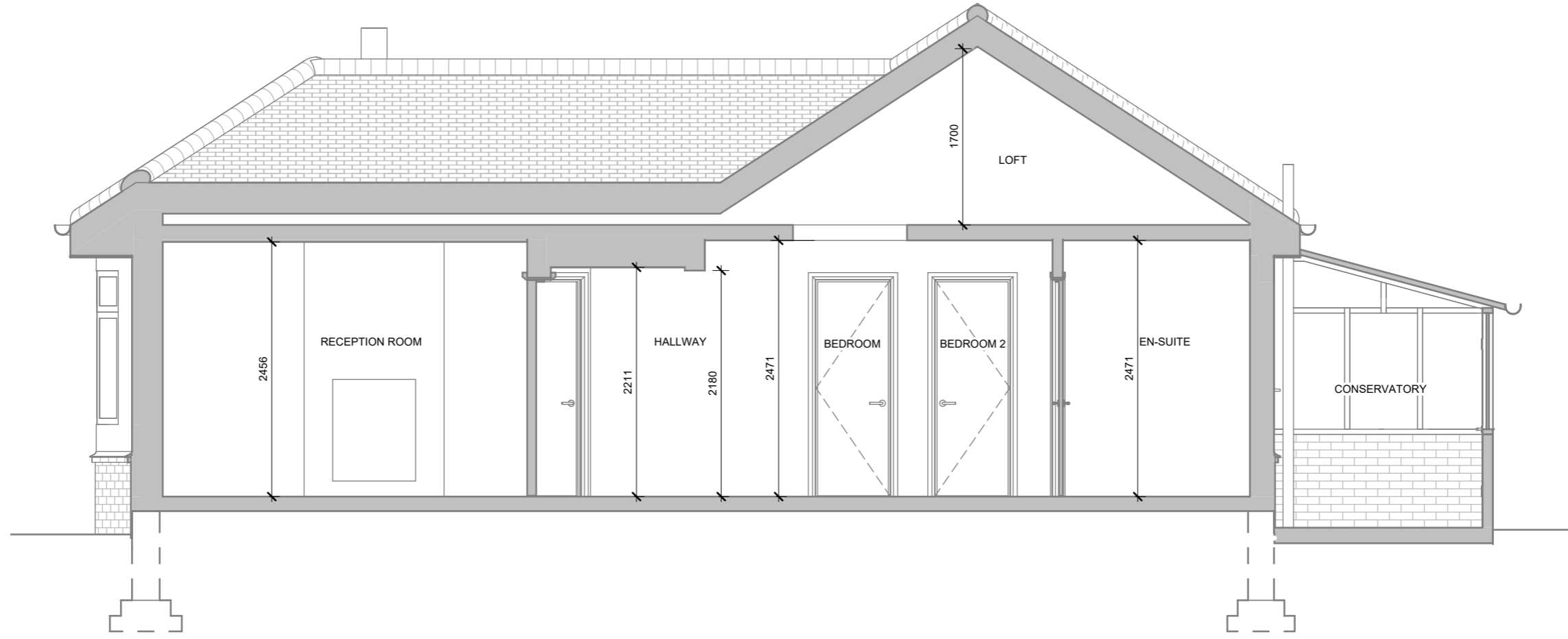
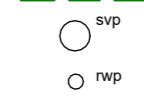
CLIENT			Lyn Myers		
Date	Project number	Scale (@ A3)			
10/09/2023	N/A	1 : 50			
Drawn by	DRWAING NUMBER		REV		
ND	1012				
Checked by					
AG					

Existing walls and partitions

1. As the building is existing some walls may not be straight and measurements may vary.
2. Thickness of the floor slabs is assumed.
3. Electrical, gas and water services to be inspected by certified specialists.
4. Existing floors, ceilings and walls may need to be upgraded to meet Building Regulations.
5. Existing walls and wall nibs to be inspected by Structural Engineer to confirm if they are load-bearing.
6. Fire Strategy shall be approved by the Building Control Inspector.

Drainage

Assumed and suggested drainage route TBC on site by Plumber.  
 Existing soil pipe and rainwater pipes. Internal pipes to be insulated and boxed in with an access hatch where required. Allow new guttering, fixings and flashing. All pipes to be connected to the existing sewage system.



No.	Description	Date

<b>Gartwork Architecture Ltd</b>			
CODE	STATUS	SUITABILITY DESCRIPTION	PURPOSE OF ISSUE

PROJECT	30 Oakland Way Epsom KT19
SHEET	Existing Section 1-1

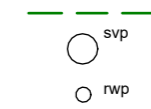
CLIENT			Lyn Myers		
Date	Project number	Scale (@ A3)			
10/09/2023	N/A	1 : 50			
Drawn by	DRWAING NUMBER	REV			
ND	1013				
Checked by					
AG					



Existing walls and partitions

1. As the building is existing some walls may not be straight and measurements may vary.
2. Thickness of the floor slabs is assumed.
3. Electrical, gas and water services to be inspected by certified specialists.
4. Existing floors, ceilings and walls may need to be upgraded to meet Building Regulations.
5. Existing walls and wall nibs to be inspected by Structural Engineer to confirm if they are load-bearing.
6. Fire Strategy shall be approved by the Building Control Inspector.

**Drainage**



Assumed and suggested drainage route TBC on site by Plumber. Existing soil pipe and rainwater pipes. Internal pipes to be insulated and boxed in with an access hatch where required. Allow new guttering, fixings and flashing. All pipes to be connected to the existing sewage system.



No.	Description	Date

<b>Gartwork Architecture Ltd</b>			
CODE	STATUS	SUITABILITY DESCRIPTION	PURPOSE OF ISSUE

PROJECT	30 Oakland Way Epsom KT19
SHEET	Existing Front Elevation

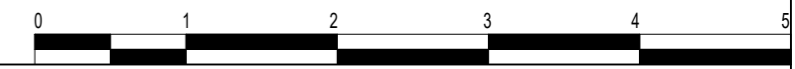
CLIENT Lyn Myers		
Date 10/09/2023	Project number N/A	Scale (@ A3) 1 : 50
Drawn by ND	DRWAING NUMBER 1014	REV
Checked by AG		

Existing walls and partitions

1. As the building is existing some walls may not be straight and measurements may vary.
2. Thickness of the floor slabs is assumed.
3. Electrical, gas and water services to be inspected by certified specialists.
4. Existing floors, ceilings and walls may need to be upgraded to meet Building Regulations.
5. Existing walls and wall nibs to be inspected by Structural Engineer to confirm if they are load-bearing.
6. Fire Strategy shall be approved by the Building Control Inspector.

Drainage

Assumed and suggested drainage route TBC on site by Plumber.  
 Existing soil pipe and rainwater pipes. Internal pipes to be insulated and boxed in with an access hatch where required. Allow new guttering, fixings and flashing. All pipes to be connected to the existing sewage system.



No.	Description	Date

<b>Gartwork Architecture Ltd</b>			
CODE	STATUS	SUITABILITY DESCRIPTION	PURPOSE OF ISSUE

PROJECT	30 Oakland Way Epsom KT19
SHEET	Existing Rear Elevation

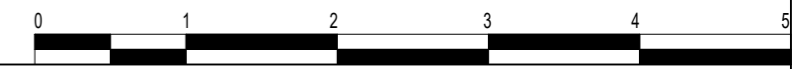
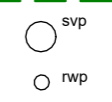
CLIENT Lyn Myers		
Date 10/09/2023	Project number N/A	Scale (@ A3) 1 : 50
Drawn by ND	DRWAING NUMBER 1015	REV
Checked by AG		

Existing walls and partitions

1. As the building is existing some walls may not be straight and measurements may vary.
2. Thickness of the floor slabs is assumed.
3. Electrical, gas and water services to be inspected by certified specialists.
4. Existing floors, ceilings and walls may need to be upgraded to meet Building Regulations.
5. Existing walls and wall nibs to be inspected by Structural Engineer to confirm if they are load-bearing.
6. Fire Strategy shall be approved by the Building Control Inspector.

Drainage

Assumed and suggested drainage route TBC on site by Plumber.  
 Existing soil pipe and rainwater pipes. Internal pipes to be insulated and boxed in with an access hatch where required. Allow new guttering, fixings and flashing. All pipes to be connected to the existing sewage system.



No.	Description	Date

<b>Gartwork Architecture Ltd</b>			
CODE	STATUS	SUITABILITY DESCRIPTION	PURPOSE OF ISSUE

PROJECT	30 Oakland Way Epsom KT19
SHEET	Existing Side Elevation

CLIENT			Lyn Myers		
Date	Project number	Scale (@ A3)			
10/09/2023	N/A	1 : 50			
Drawn by	DRWAING NUMBER		REV		
ND	1016				
Checked by					
AG					



Existing walls and partitions

- 1. As the building is existing some walls may not be straight and measurements may vary.
- 2. Thickness of the floor slabs is assumed.
- 3. Electrical, gas and water services to be inspected by certified specialists.
- 4. Existing floors, ceilings and walls may need to be upgraded to meet Building Regulations.
- 5. Existing walls and wall nibs to be inspected by Structural Engineer to confirm if they are load-bearing.
- 6. Fire Strategy shall be approved by the Building Control Inspector.

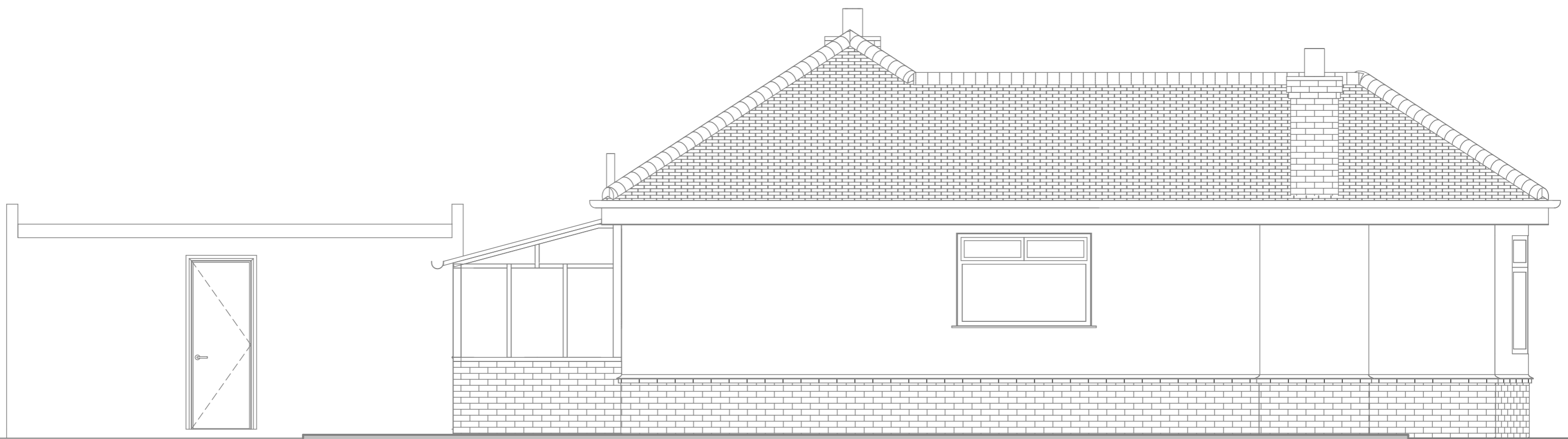
**Drainage**



svp

rwp

Assumed and suggested drainage route TBC on site by Plumber. Existing soil pipe and rainwater pipes. Internal pipes to be insulated and boxed in with an access hatch where required. Allow new guttering, fixings and flashing. All pipes to be connected to the existing sewage system.



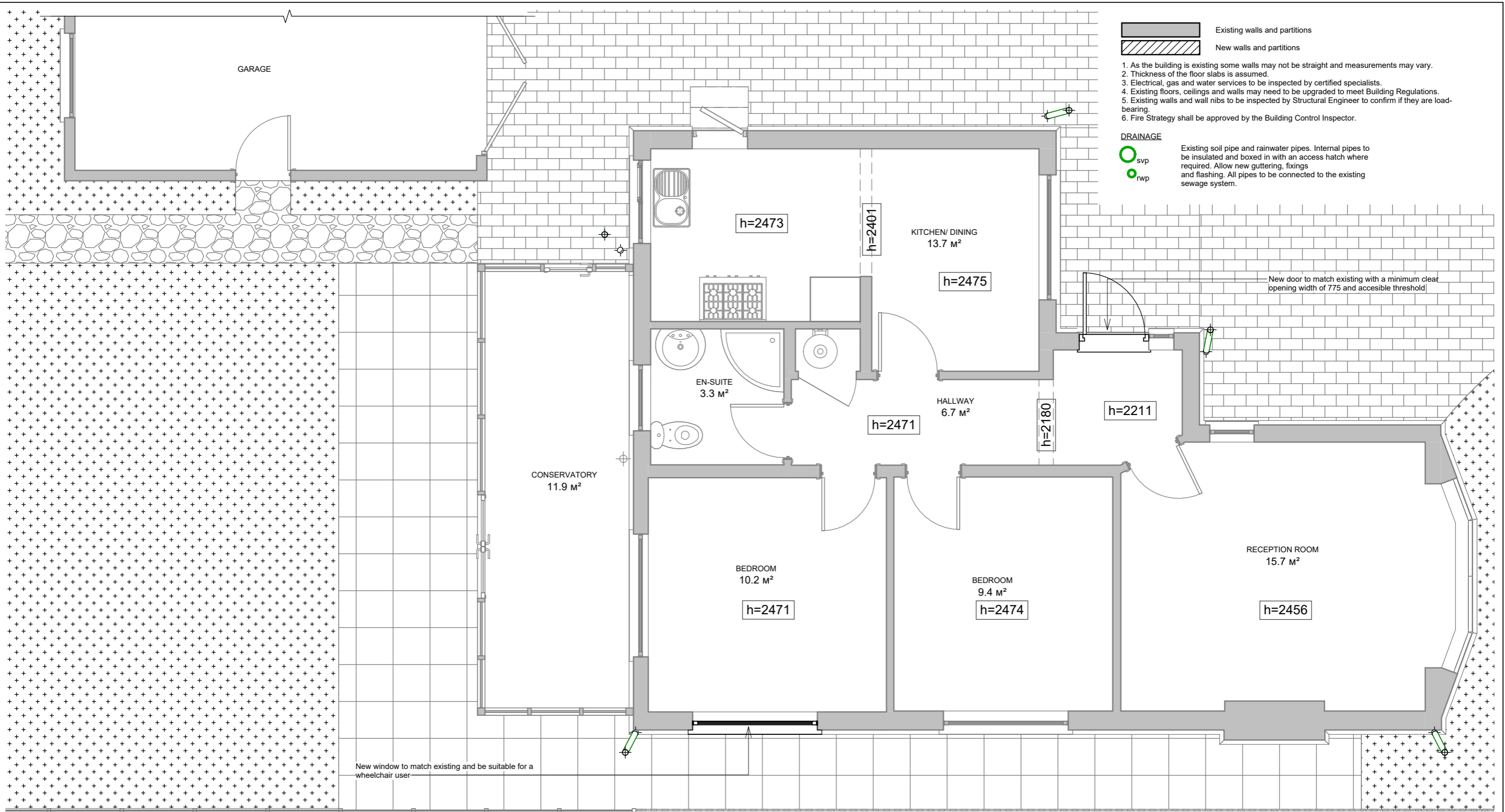
No.	Description	Date

<b>Gartwork Architecture Ltd</b>			
CODE	STATUS	SUITABILITY DESCRIPTION	PURPOSE OF ISSUE

PROJECT	30 Oakland Way Epsom KT19
SHEET	Existing Side Elevation

CLIENT			Lyn Myers	
Date	Project number	Scale (@ A3)		
10/09/2023	N/A	1 : 50		
Drawn by	DRWAING NUMBER		REV	
ND	1017			
Checked by				
AG				





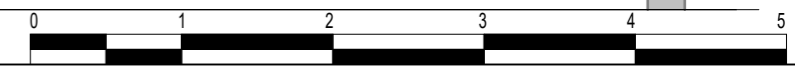
- Existing walls and partitions  
 New walls and partitions
1. As the building is existing some walls may not be straight and measurements may vary.
  2. Thickness of the floor slabs is assumed.
  3. Electrical, gas and water services to be inspected by certified specialists.
  4. Existing floors, ceilings and walls may need to be upgraded to meet Building Regulations.
  5. Existing walls and wall nibs to be inspected by Structural Engineer to confirm if they are load-bearing.
  6. Fire Strategy shall be approved by the Building Control Inspector.

**DRAINAGE**  
 Existing soil pipe and rainwater pipes. Internal pipes to be insulated and boxed in with an access hatch where required. Allow new guttering, fixings and flashing. All pipes to be connected to the existing sewage system.

svp  
 rwp

New window to match existing and be suitable for a wheelchair user

Existing building with an extension 32 Oakland Way Road



No.	Description	Date

<b>Gartwork Architecture Ltd</b>			
CODE	STATUS	SUITABILITY DESCRIPTION	PURPOSE OF ISSUE

PROJECT	30 Oakland Way Epsom KT19
SHEET	Proposed Ground Floor Plan

CLIENT Lyn Myers		
Date 10/09/2023	Project number N/A	Scale (@ A3) 1 : 50
Drawn by ND	DRWAING NUMBER 2001	REV
Checked by AG		

Existing walls and partitions  
 New walls and partitions

1. As the building is existing some walls may not be straight and measurements may vary.
2. Thickness of the floor slabs is assumed.
3. Electrical, gas and water services to be inspected by certified specialists.
4. Existing floors, ceilings and walls may need to be upgraded to meet Building Regulations.
5. Existing walls and wall nibs to be inspected by Structural Engineer to confirm if they are load-bearing.
6. Fire Strategy shall be approved by the Building Control Inspector.

**DRAINAGE**

svp  
 rwp

Existing soil pipe and rainwater pipes. Internal pipes to be insulated and boxed in with an access hatch where required. Allow new guttering, fixings and flashing. All pipes to be connected to the existing sewage system.

New door to match existing with a minimum clear opening width of 775 and accessible threshold



No.	Description	Date

<b>Gartwork Architecture Ltd</b>			
CODE	STATUS	SUITABILITY DESCRIPTION	PURPOSE OF ISSUE



PROJECT	30 Oakland Way Epsom KT19
SHEET	Proposed Side Elevation

CLIENT Lyn Myers		
Date 10/09/2023	Project number N/A	Scale (@ A3) 1 : 50
Drawn by ND	DRWAING NUMBER 2005	REV
Checked by AG		

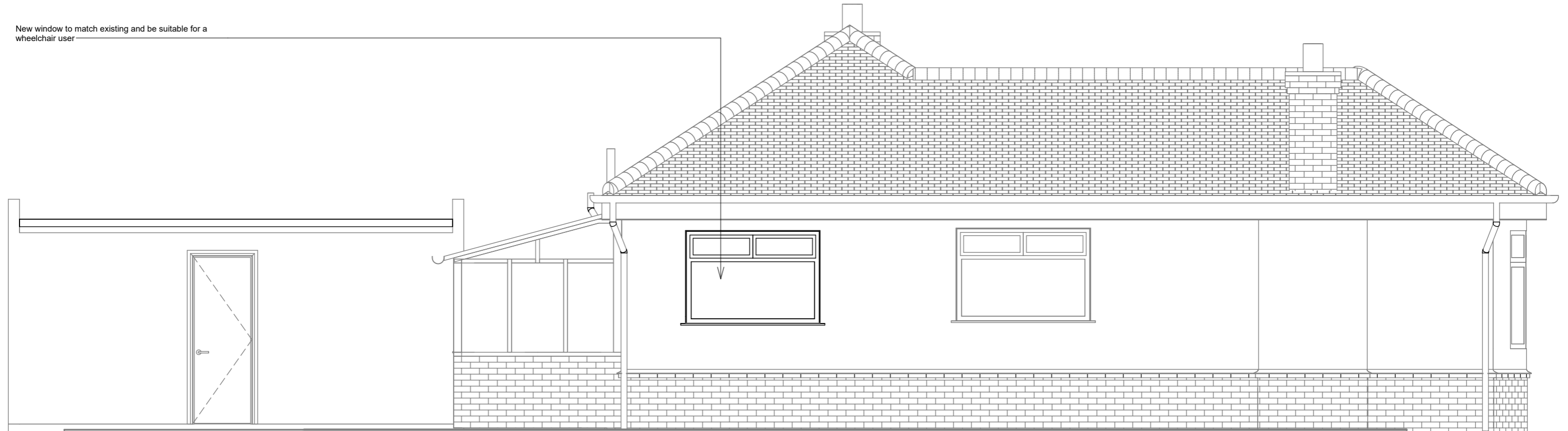
-  Existing walls and partitions
-  New walls and partitions

1. As the building is existing some walls may not be straight and measurements may vary.
2. Thickness of the floor slabs is assumed.
3. Electrical, gas and water services to be inspected by certified specialists.
4. Existing floors, ceilings and walls may need to be upgraded to meet Building Regulations.
5. Existing walls and wall nibs to be inspected by Structural Engineer to confirm if they are load-bearing.
6. Fire Strategy shall be approved by the Building Control Inspector.

**DRAINAGE**

-  svp
  -  rwp
- Existing soil pipe and rainwater pipes. Internal pipes to be insulated and boxed in with an access hatch where required. Allow new guttering, fixings and flashing. All pipes to be connected to the existing sewage system.

New window to match existing and be suitable for a wheelchair user



No.	Description	Date

<b>Gartwork Architecture Ltd</b>			
CODE	STATUS	SUITABILITY DESCRIPTION	PURPOSE OF ISSUE

PROJECT	30 Oakland Way Epsom KT19
SHEET	Proposed Side Elevation

CLIENT Lyn Myers		
Date 10/09/2023	Project number N/A	Scale (@ A3) 1 : 50
Drawn by ND	DRWAING NUMBER 2006	REV
Checked by AG		