

VOLUME CALCULATIONS

Total demolished volume	
Building 1	259.1m ³
Building 2	143.7m ³
Total	402.8m³

Proposed volume
 = area of gable x roof length
 = 16.85m² x (6.745m+16.983m)
 = 399.82m³
 = area ensuite gable x length
 = 1.78m² x 2.465m
 = 4.39m³
 = 399.82m³+ 4.39m³ = 404.2m³

Proposed volume as %age of existing
 = $\frac{\text{proposed volume} \times 100}{\text{existing volume}}$
 = $\frac{404.2 \times 100}{402.8} = 100.34\% \Rightarrow 100\%$

MATERIALS KEY

- ① Roof coverings - Marley Edgemere Smooth Grey, Ref: MA35528
- ② Facing bricks - Ibstock Otterburn Antique bricks
- ③ Solar panels on south facing roof
- ④ Windows - upvc, colour ref: Anthracite
 Doors - Powder coated aluminium, colour ref: Anthracite
 obsc - denotes obscured glass to bathroom window
- ⑤ Gutters and downpipes - UPVC, colour ref: Anthracite
- ⑥ Timber framed entrance canopy
- ⑦ Roof light windows
- ⑧ Fascias and soffits - woodgrain UPVC, colour ref: Anthracite
- ⑨ Natural stone heads and cills to Elevation A, Cills to porch and date stone to Elevation B

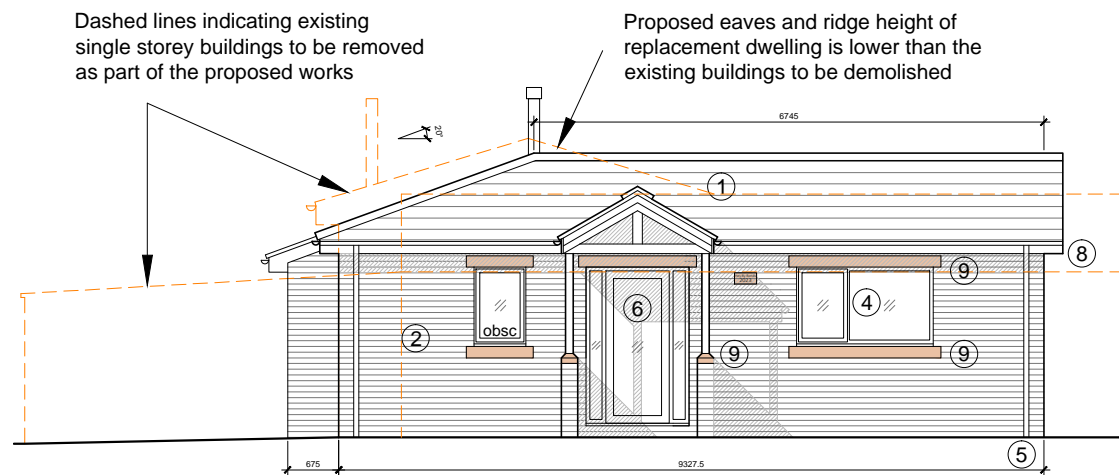
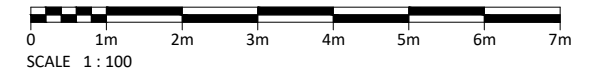
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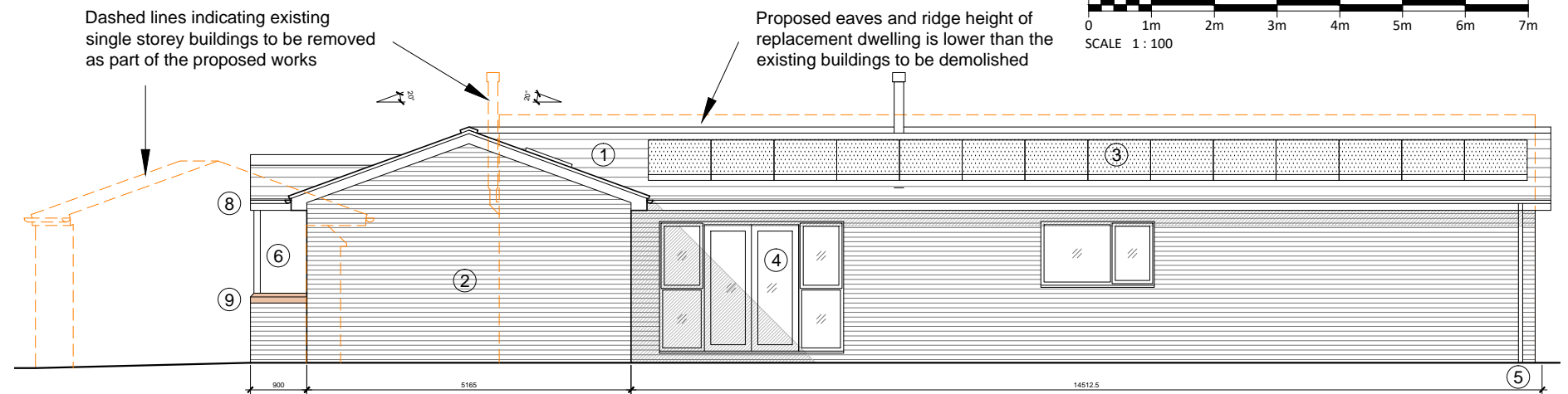
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Do not scale from this drawing. All dimensions are to be checked by site measurements and discrepancies reported immediately

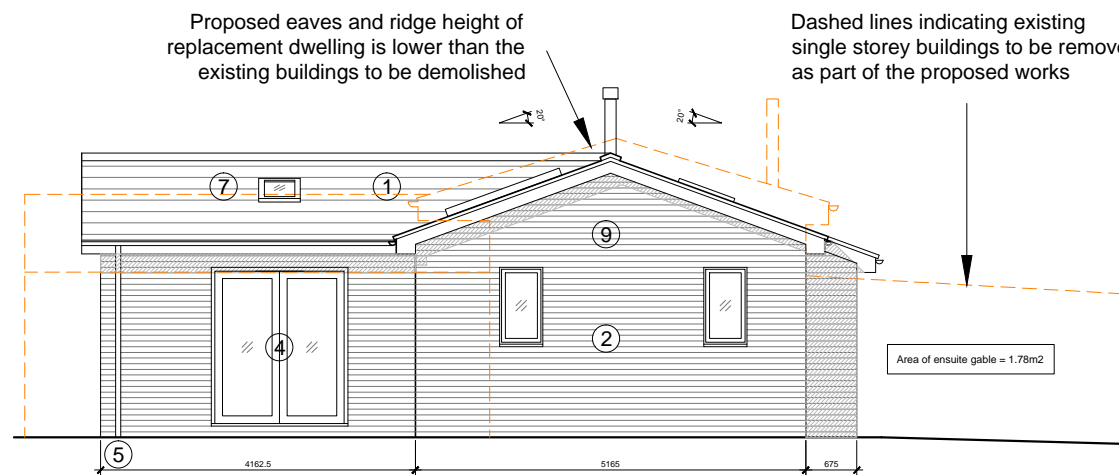
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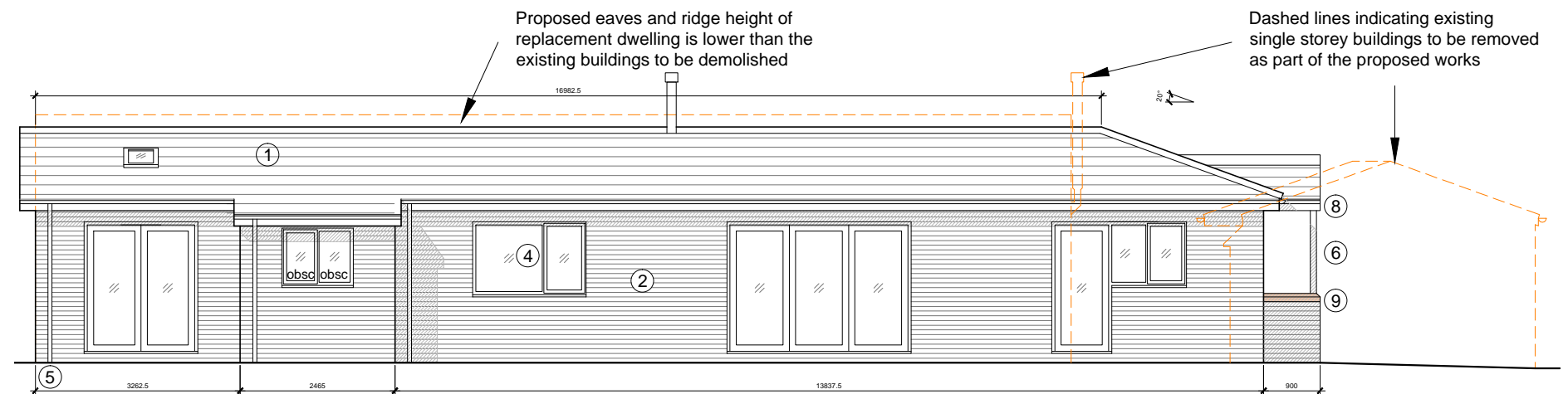
PROPOSED ELEVATION A
scale 1:100



PROPOSED ELEVATION B
scale 1:100



PROPOSED ELEVATION C
scale 1:100



PROPOSED ELEVATION D
scale 1:100

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Client	Mr & Mrs Donley	Scale	1:100 @ A3	Date	May 2022	Issue	PLANNING APPLICATION			
Project	Proposed replacement dwelling at Harwarden, Southport Road Scarisbrick, L40 8HQ	Dwg	Proposed Elevations and Volumetric Calculations			Rev	Description			
						B	2 nr roof lights re-introduced			
						A	External materials key updated; all roof lights omitted; Multi fuel stove flue added; Elev A -natural stone heads and cills and date/name stone added; Elev B -Lounge bi-folds changed to french doors and side screens; Elev C -gable fascia cross bars omitted, add 2 nr additional master bed windows; Elev D -Bed 2 french doors changed to window.			
							Aug 23	Issue		
							July 23	Project Ref	1194	Revision
								Drawing No.	08	B